



Location
6746 Fairhaven Road

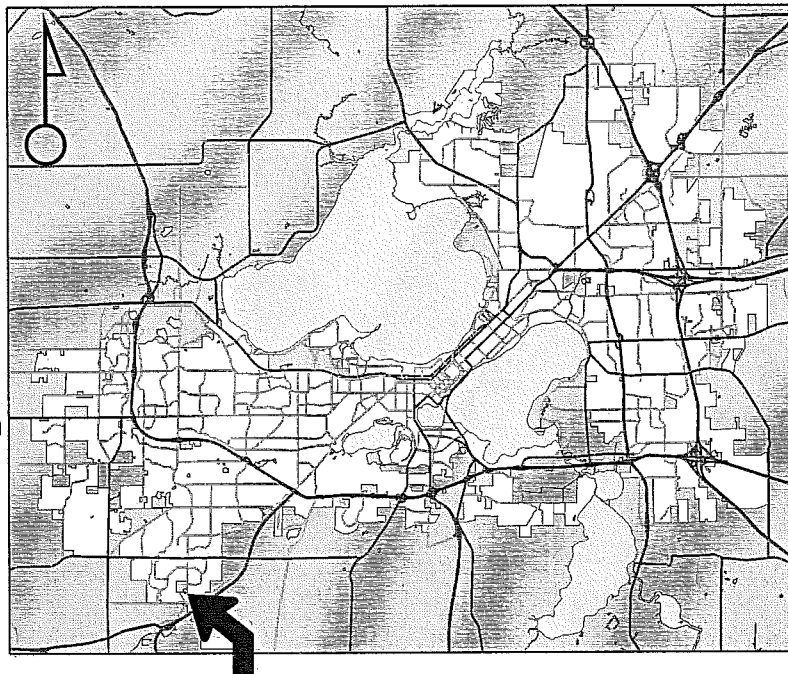
Applicant
Cornerstone Development II, LLC/
Thomas Ellefson - Ellefson Construction

From: PUD-SIP To: Amended
PUD-GDP-SIP

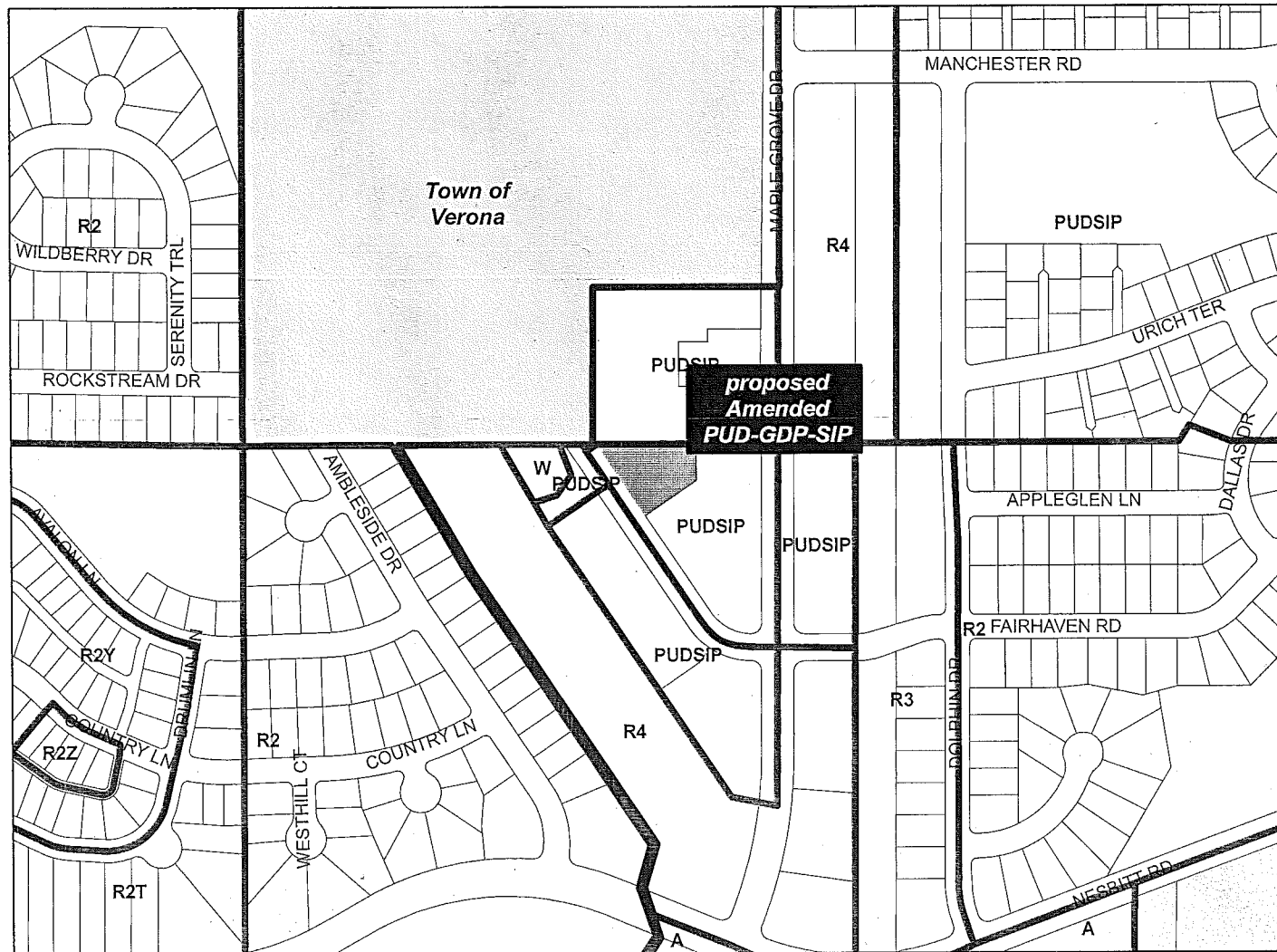
Existing Use
Previously approved 10-unit condo

Proposed Use
Construct 10-unit apartment building
on site of approved 10-unit condominium
building

Public Hearing Date
Plan Commission
07 May 2012
Common Council
15 May 2012



For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 23 April 2012



Date of Aerial Photography : Spring 2010



LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All Land Use Applications should be filed directly with the Zoning Administrator.

FOR OFFICE USE ONLY:	
Amt. Paid	\$1200 Receipt No. 129849
Date Received	3/20/12
Received By	PDA
Parcel No.	0608-123-2002-0
Aldermanic District	7 STEVE KING
GQ	PUDSIP
Zoning District	PUDSIP
For Complete Submittal	
Application	Letter of Intent
IDUP	Legal Descript.
Plan Sets	Zoning Text
Alder Notification	Waiver
Ngrhd. Assn Not.	Waiver
Date Sign Issued	

1. **Project Address:** 6746 Fairhaven Rd, Madison **Project Area in Acres:** .62
Project Title (if any): Meadowbrook Manor

2. This is an application for:

Zoning Map Amendment (check the appropriate box(es) in only one of the columns below)	
<input type="checkbox"/> Rezoning to a Non-PUD or PCD Zoning Dist.: Existing Zoning: _____ to _____ Proposed Zoning (ex: R1, R2T, C3): _____	<input type="checkbox"/> Rezoning to or Amendment of a PUD or PCD District: <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-GDP <input checked="" type="checkbox"/> Ex. Zoning: <u>PUD-SIP</u> to PUD/PCD-SIP <input type="checkbox"/> Amended Gen. Dev. <input type="checkbox"/> Amended Spec. Imp. Plan
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Demolition Permit
<input type="checkbox"/> Other Requests (Specify): _____	

3. Applicant, Agent & Property Owner Information:

Applicant's Name: Thomas Ellerson Company: Ellerson Construction Inc.
Street Address: 1018 Gammon Ln, Ste 100 City/State: Madison, WI Zip: 53719
Telephone: (608) 274-1594 Fax: (608) 276-7880 Email: thomas@ellersonconstruction.com

Project Contact Person: Same as above Company: _____
Street Address: _____ City/State: _____ Zip: _____
Telephone: () _____ Fax: () _____ Email: _____

Property Owner (if not applicant): Cornerston Development II LLC
Street Address: 1018 Gammon Ln, Ste 100 City/State: Madison, WI Zip: 53719

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: to divide off "expansion area" as a 1 lot CSM and build a 10-unit apartment building originally designed to be condominiums.

Development Schedule: Commencement 3-1-12 Completion 7-1-12

5. Required Submittals:

- Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - **7 copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - **7 copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - **1 copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper
- Letter of Intent (12 copies):** describing this application in detail including, but not limited to: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail. For applications proposing rezoning to more than one district, a separate description of each district shall be submitted.
- Filing Fee:** \$ 1200 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer*.
- Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

In Addition, The Following Items May Also Be Required With Your Application:

- For any applications proposing demolition or removal of existing buildings, the following items are required:
 - Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City **30 or 60 days prior to filing** their application using the online notification tool found at: <https://www.cityofmadison.com/developmentCenter/demolitionNotification/>
 - A photo array (6-12 photos) of the **interior and exterior** of the building(s) to be demolished or removed. A written assessment of the condition of the building(s) to be demolished or removed is highly recommended.
 - Note: A Reuse and Recycling Plan approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits and the start of construction.
- Zoning Text (12 copies):** must accompany Planned Community or Planned Unit Development (PCD/PUD) submittals.

6. Applicant Declarations:

Conformance with adopted City plans: Applications shall be in accordance with all adopted City of Madison plans:
 → The site is located within the limits of _____ Plan, which recommends: _____ for this property.

Pre-application Notification: Section 28.12 of the Zoning Code requires that the applicant notify the district alder and any nearby neighborhood & business associations in writing no later than **30** days prior to filing this request:
 → List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:
Alder Steve King & Matthew Tucker, Tim Parks (C.O.M.) 2/13/12 & 2/14/12 &
 NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form. 2/15/12

Pre-application Meeting with staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.
 Planning Staff: Tim Parks Date: 2/14/12 Zoning Staff: Matthew Tucker Date: 2/14/12

Check here if this project will be receiving a public subsidy. If so, indicate type in your Letter of Intent.

The signer attests that this form is accurately completed and all required materials are submitted:

Printed Name Thomas J. Ellerson Date 2-14-12
 Signature [Signature] Relation to Property Owner Same
 Authorizing Signature of Property Owner _____ Date _____

LETTER OF INTENT

Project Name:
Meadowbrook Manor
6746 Fairhaven Rd
Madison WI 53719

Owner:
Thomas J Ellefson
MTEllefson Investments Inc
1018 Gammon Ln, Suite 100
Madison WI 53719

Intent: This Land Use Application is being submitted for the following purpose, to divide off the last "expansion area" as a 1 lot CSM, which I understand is allowable with new amendments to ordinance 16.23. I would like to build out the building, as designed, only to be apartments instead of condominiums. This project is zoned PUD-SIP and I intend to complete the project as originally designed and submitted.

Development Schedule: Would like to continue construction April 1, 2012 and be completed by August 1, 2012.

Person(s) Involved: Owner only, as listed above. MTEllefson Investments Inc. is a partnership entity between Thomas J Ellefson and Michael J Ellefson.

Hours of operation: will between 7am-4pm Monday-Saturday.


Square footage or acreage of project: 0.62 acres (27225 sq ft)

Gross square footage of building: 14795 sq ft, plus 7077 sq ft (basement) = 21872 sq ft

Number of dwelling units: 10 apartment homes

Rental price range of units: \$1250-\$1395/month

Number of parking stalls: 18 underground parking stalls, plus 5 exterior parking stalls


Thomas J. Ellefson-Owner

3/20/2012
Date

6

AMENDED ZONING TEXT

**AMENDED PLANNED UNIT DEVELOPMENT – SPECIFIC IMPLEMENTATION PLAN
PUD (SIP)**

New Residential Apartment Development
Lot 1 of Certified Survey Map No. _____
Part of Lot 1 of Certified Survey Map No. 10769
In the City of Madison, Dane County, Wisconsin

Statement of Purpose:

This amended Planned Unit Development – Specific Implementation Plan PUD (SIP) provides for a new 14,795 gross square foot, 10 unit apartment development. The proposed development is part of Madison’s very popular Cross Country Neighborhood.

This development has been designed to provide a maximum amount of functional and usable open space proximate to all units. Field stone walls will be used to accommodate grade changes and flat open lawn areas will be adjacent to all areas of the building. Asphalt paving has been minimized and proposed landscaping does not hinder the use of the lawn areas.

Front porches will be provided for all ground units of the townhouse residential apartment development and a variety of landscaping will be used to act as screening or for general separation.

Permitted Uses:

Permitted uses to be i. Multi-family residential buildings, ii. Accessory uses including but not limited to: a. Accessory uses directly associated with those permitted uses including parking for residents and guests and iii. Temporary building for storage of building materials and equipment for construction purposes when on the same lot as a principle use for a period not to exceed the duration of such construction.

Uses/Restrictions:

Residential Use. This multi-family development is to be owned and operated as a residential apartment development. The units and the common areas of the residential apartment development shall be used for residential purposes only, as per the R4 zoning code.

Family Definition:

The family definition shall coincide with the definition given in M.G.O. 28.03 for the R1 zoning district.

Building Descriptions:

<u>Units</u>	<u>Bldgs.</u>	<u>Density</u>	<u>Bedrooms</u>	<u>Unit Sq. Ft.</u>
10	1	16.1/acre	2/unit	1240 sq ft and 1620 sq ft

Yard Requirements:

Yard Requirements:

Front Yard 20 ft
Side Yard 10 ft
Rear Yard 25 ft min

*Lot Area Requirements/
Dwelling Units*

2000 sq ft/unit x (10) units = 20,000 sq ft (Lot is 27,225 sq ft)
Dwelling units proposed is 10
Lot area/dwelling unit = 2723 sq ft

*Usable Open Space
Requirements:*

Area Required: 500 sq ft x (10) units = 5000 sq ft
Open Space Area Provided: 20,148 sq ft

Height Requirements:

Proposed Building Heights are (2) stories.

Landscaping:

Landscaped areas will be provided as shown on approved plans. Upon commencement of building construction, a local provider will be responsible for the installation of all landscape materials.

*Accessory Off-Street
Parking:*

Min. Parking Stalls Required: (R4 based) = 18
Parking Stalls provided: Underground 18
 Surface 4
 Total 22

Bicycle Requirements:

Spaces required 10
Spaces provided 10 See attached plans. Spaces will be provided inside underground garages, plus surface spaces for visitors.

Site Lighting:

Lighting will be provided as shown on approved plans.

*Signage:
Madison Max.*

Signage will be allowed as per Chapter 31 of the General Ordinances as compared to the R4 district.

Allowable Signage: 32 sq ft
Proposed Signage: None
All signage will be per the approved PUD (SIP)

*Snow and Trash Storage
Removal, Maintenance:*

Snow and trash storage and removal will be done by private contractor. All on-site maintenance equipment will be stored within the underground parking garages.

Alterations and Revisions:

No alteration or revision of the Planned Unit Development shall be permitted unless approved by the City Plan Commission, however, the Zoning Administrator may issue permits for minor alterations of additions that are approved by the Director of Planning and Development and the Alderperson of the district and are compatible with the concept approved by the City Plan Commission.

SAVANNA ON THE PARK TOWNHOUSES

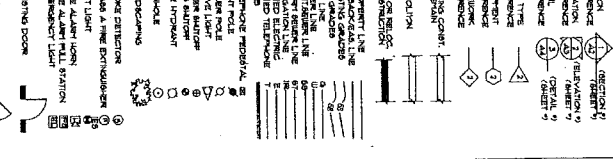
* PHASE 1* (50 UNITS) * CONDOMINIUMS *
 MAPLE GROVE DRIVE, MADISON, WISCONSIN

Clary
 8 radi. to 11' x 11'
 1 radi. 8' 1/2 x 11'
 A7. 8/11/18

GENERAL NOTES

1. THIS DRAWING IS A PART OF A SET OF CONSTRUCTION DOCUMENTS DATED 11/20/18.
2. THE PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE AND THE 2015 INTERNATIONAL FIRE AND SAFETY CODE, AND THE 2015 INTERNATIONAL BUILDING CODE, AND THE 2015 INTERNATIONAL PLUMBING AND MECHANICAL CODE, AND THE 2015 INTERNATIONAL ELECTRICAL CODE, AND THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE, AND THE 2015 INTERNATIONAL SCHEDULING CODE, AND THE 2015 INTERNATIONAL CONSTRUCTION DOCUMENTS.
3. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.
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SYMBOLS



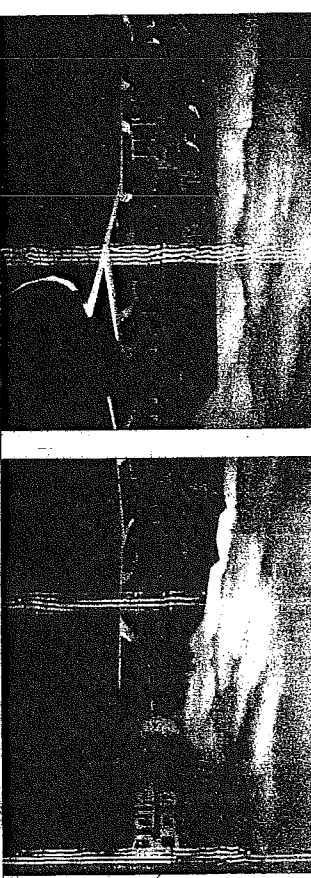
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ABBREVIATIONS

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RENDERINGS



OWNER/DEVELOPER:
 Elitson Companies LLC
 Madison, Wisconsin

CONSTRUCTION CONSULTANTS:
 Elitson Companies LLC
 Madison, Wisconsin

DESIGNER:
 LOUTHER & ASSOCIATES DESIGN LLC
 MADISON, WISCONSIN

CIVIL ENGINEER:
 ROYAL OAKS ENGINEERING
 MADISON, WISCONSIN

STRUCTURAL ENGINEER:
 SRI ENGINEERING P.E.
 MADISON, WISCONSIN

ENGINEER OF RECORD:
 HAL HOVORKA, P.E.
 MADISON, WISCONSIN

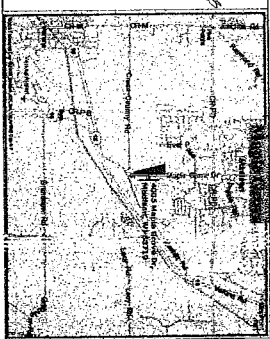
PROJECT DATA

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APPROVALS

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LOCATION MAP



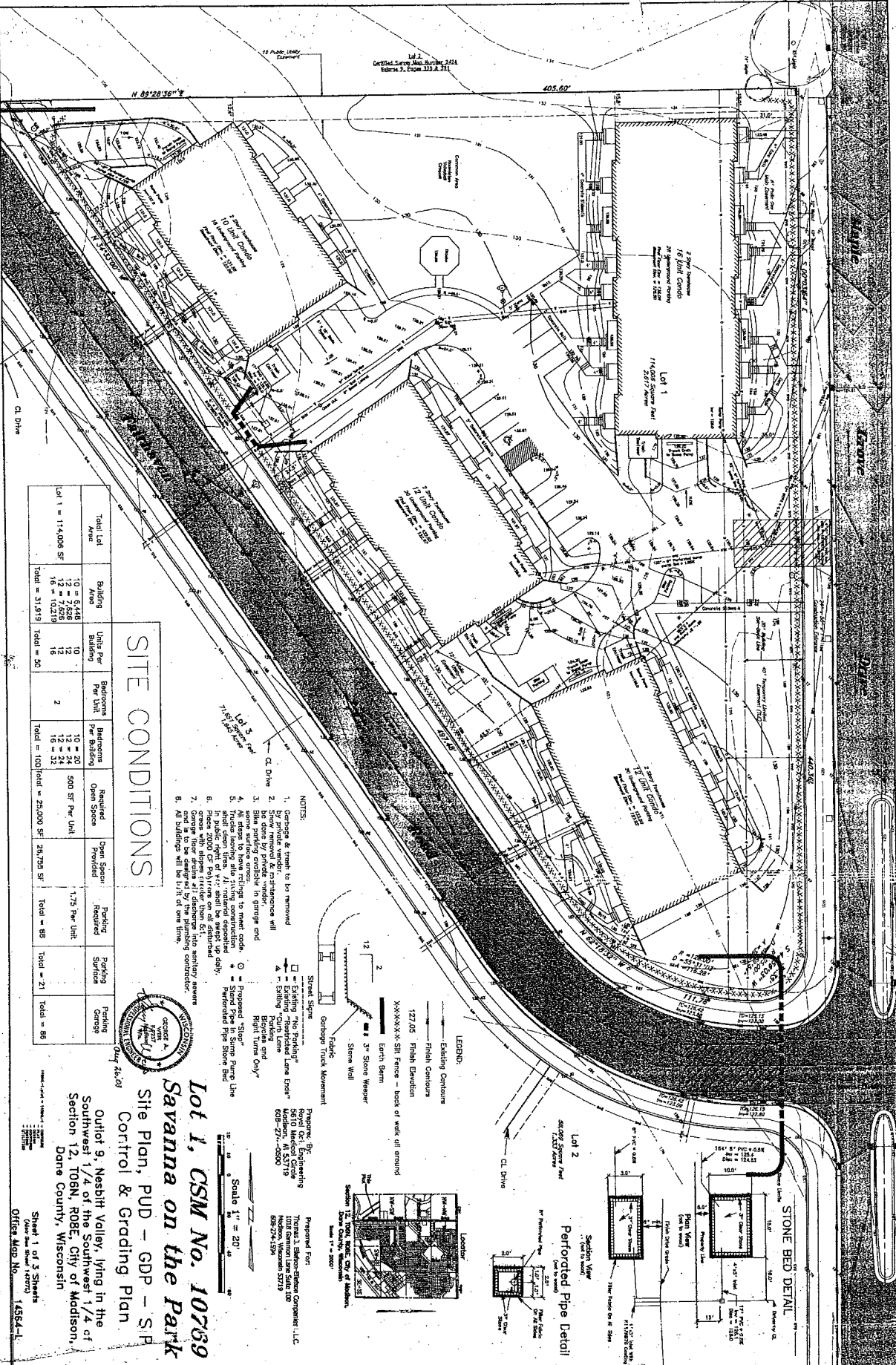
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LOUTHER & ASSOCIATES DESIGN LLC
 1000 UNIVERSITY AVENUE, SUITE 100
 MADISON, WISCONSIN 53706
 TEL: 608.261.1111 FAX: 608.261.1112
 WWW.LA-DESIGN.COM

SAVANNA ON THE PARK
 PHASE 1
 MAPLE GROVE DRIVE, MADISON, WISCONSIN

TITLE SHEET

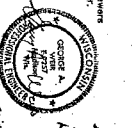
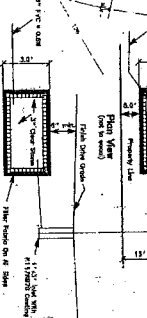
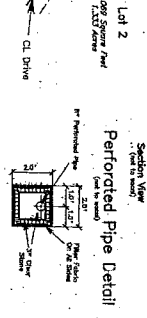
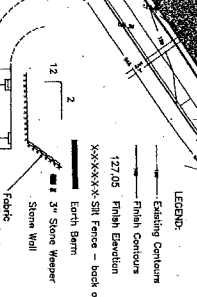
T.B



Total Lot Area	Building Area	Units Per Building	Bedrooms Per Unit	Bathrooms Per Building	Required Open Space	Open Space Provided	Parking Required	Parking Surface	Fencing
114,008 SF	5,148	10	12	10	500 SF Per Unit	1,725 Per Unit	88	21	86
	7,588	12	20	20					
	7,588	12	24	24					
	16	12	24	24					
	10,219	16	24	24					
Total = 319,919	Total = 50	Total = 100	Total = 25,200 SF	Total = 28,735 SF	Total = 88	Total = 21	Total = 86		

SITE CONDITIONS

- NOTES:
- Grading & finish to be removed by prime vendor.
 - Show removed & replacement will be made.
 - Site planing & construction will be made.
 - Some surface excavating to meet code.
 - Trade leaving site during construction shall clean their site. All material shall be removed from site.
 - Place 2000 SF of 20# rebar on all disturbed areas.
 - Grass with slope greater than 5% shall be planted with native plants.
 - All buildings will be built of one time.



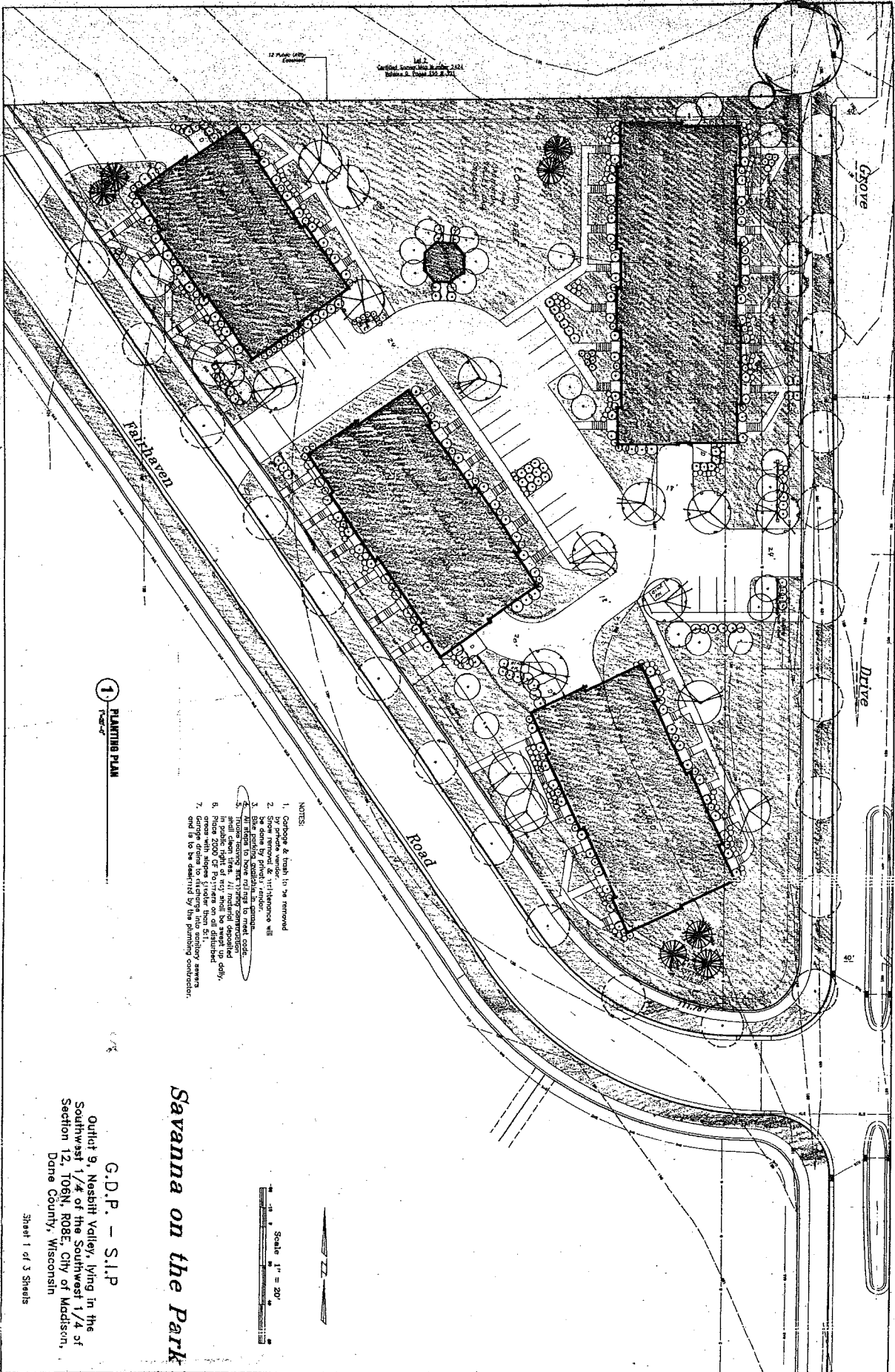
Lot 1, CSM No. 107639
Savannah on the Park
 Site Plan, PUD - GDP - SIF
 Control & Grading Plan

Prepared For:
 Thomas J. Larson-Decker Company, LLC
 5610 Medical Center
 Madison, WI 53719
 608-274-1594

Scale 1" = 20'
 Date: 7/26/09

Sheet 1 of 3 Sheets
 Office Map No. 14584-1

Outlot 9, Nesbit Valley lying in the Southwest 1/4 of the Southwest 1/4 of Section 12, T06N, R08E, City of Madison, Dane County, Wisconsin



Lot 2
 Certified Survey Map No. 2121
 State of Iowa 212 P. 231

12' PLANTING
 FOOTING

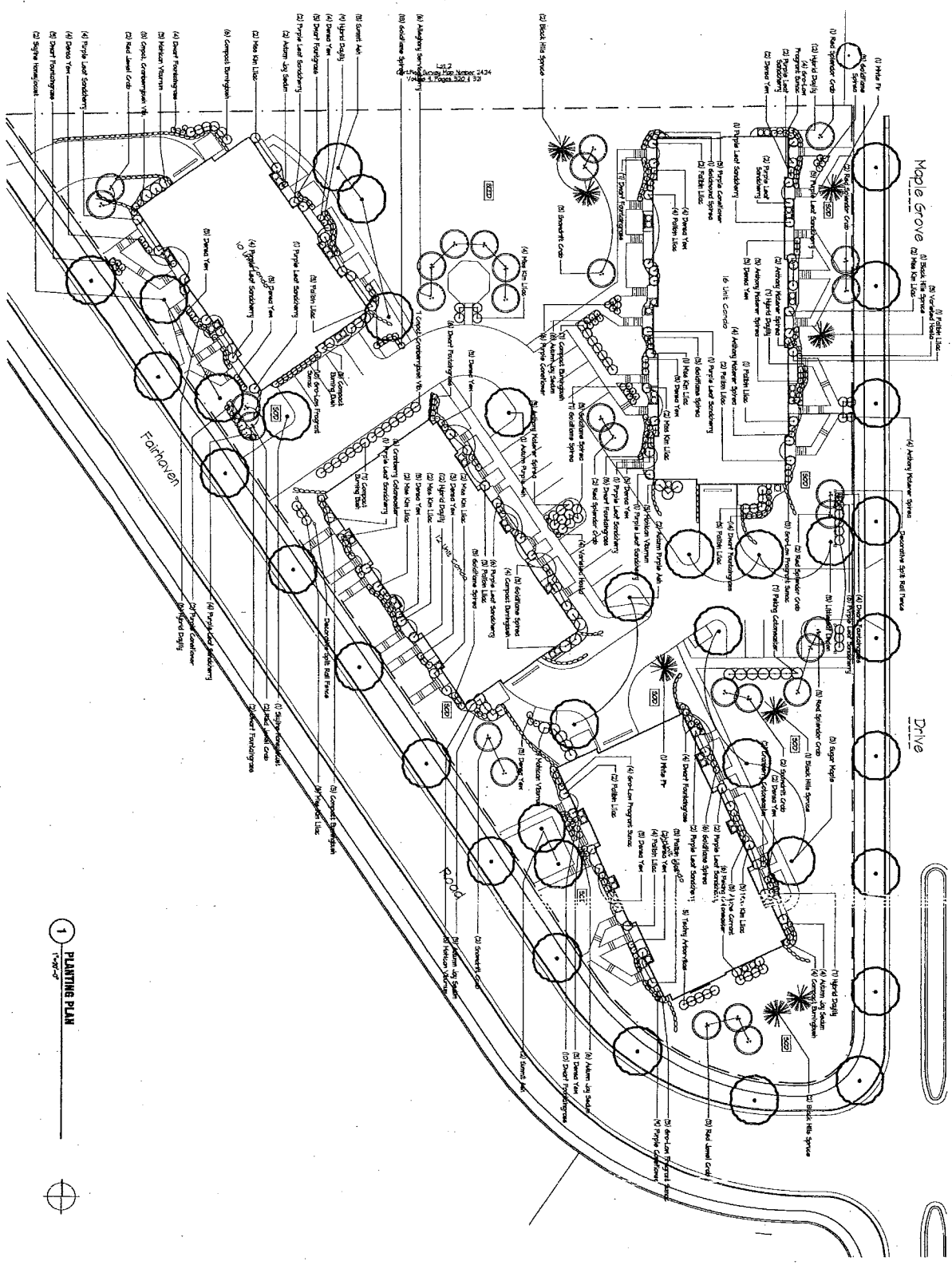
1 PLANTING PLAN

- NOTES
1. Garbage & trash to be removed
 2. Site ground surface, if difference will be done by private vendor.
 3. Site plan, conditions, and ground to be done by private vendor.
 4. Site plan, conditions, and ground to be done by private vendor.
 5. Trees to be removed are indicated by a circle with a diagonal slash.
 6. Trees to be planted are indicated by a circle with a dot.
 7. Trees to be planted are indicated by a circle with a dot.
 8. Trees to be planted are indicated by a circle with a dot.
 9. Trees to be planted are indicated by a circle with a dot.

Scale 1" = 20'

Savanna on the Park

G.D.P. - S.I.P
 Outlet 9, Neshbit Valley, lying in the
 Southwest 1/4 of the Southwest 1/4 of
 Section 12, T08N, R08E, City of Madison,
 Dane County, Wisconsin
 Sheet 1 of 3 Sheets



1 PLANTING PLAN



Planting Plan
and Details
USING INC.

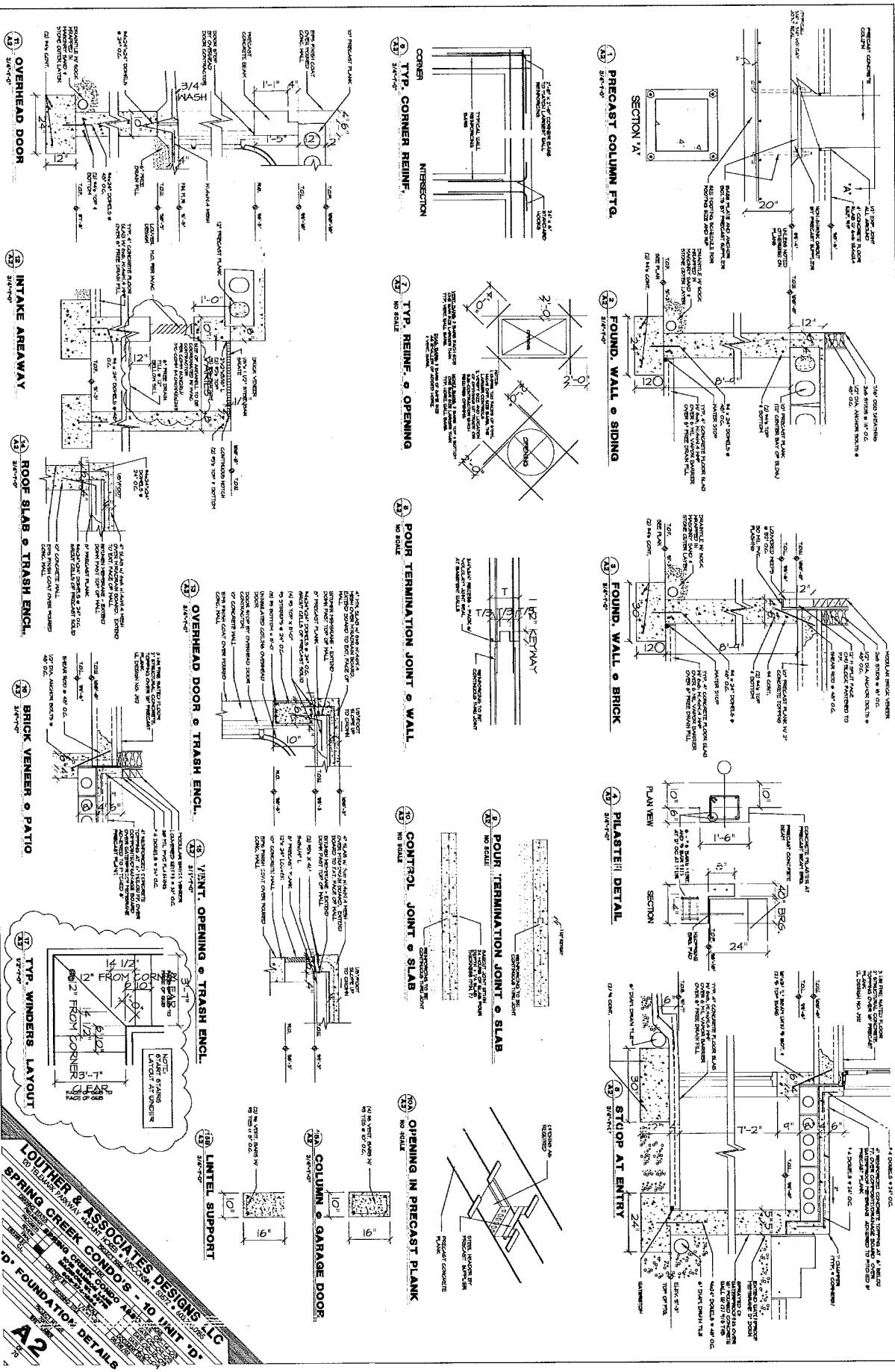
Savanna on the Park

Site on the Park, LLC
4625 Oyster Road - VALETON, VA 23714
Phone 276-4700

ELIPELSON
Landscape Architecture
10000 Old Dominion Road, Suite 200
Falls Church, VA 22041
Phone 703-271-1100
www.elipeelson.com

Code	Plant Name	Quantity	Notes
1	Palm Tree	30	
2	Black Hill Spine	20	
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
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30

1. ALL PLANTING SHALL BE INSTALLED WITHIN THE LAYOUT AND SPECIFICATIONS SHOWN ON THIS PLAN.
2. ALL PLANTING SHALL BE INSTALLED WITHIN THE LAYOUT AND SPECIFICATIONS SHOWN ON THIS PLAN.
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29. ALL PLANTING SHALL BE INSTALLED WITHIN THE LAYOUT AND SPECIFICATIONS SHOWN ON THIS PLAN.
30. ALL PLANTING SHALL BE INSTALLED WITHIN THE LAYOUT AND SPECIFICATIONS SHOWN ON THIS PLAN.

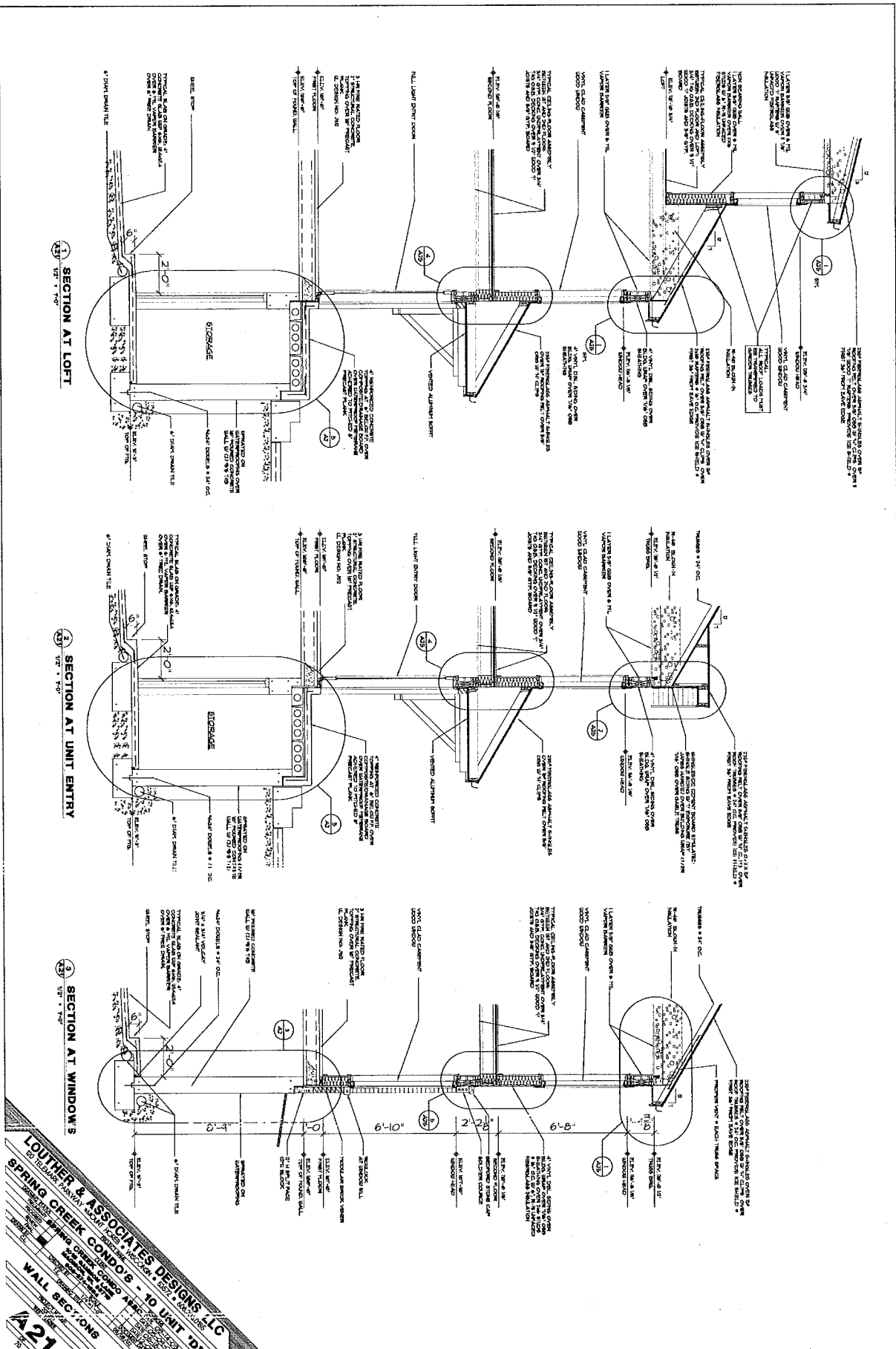


LOUTHER & ASSOCIATES DESIGNS LLC
 10000 W. 10th Ave., Suite 100, Denver, CO 80202
 (303) 751-1000
 www.loutherandassociates.com

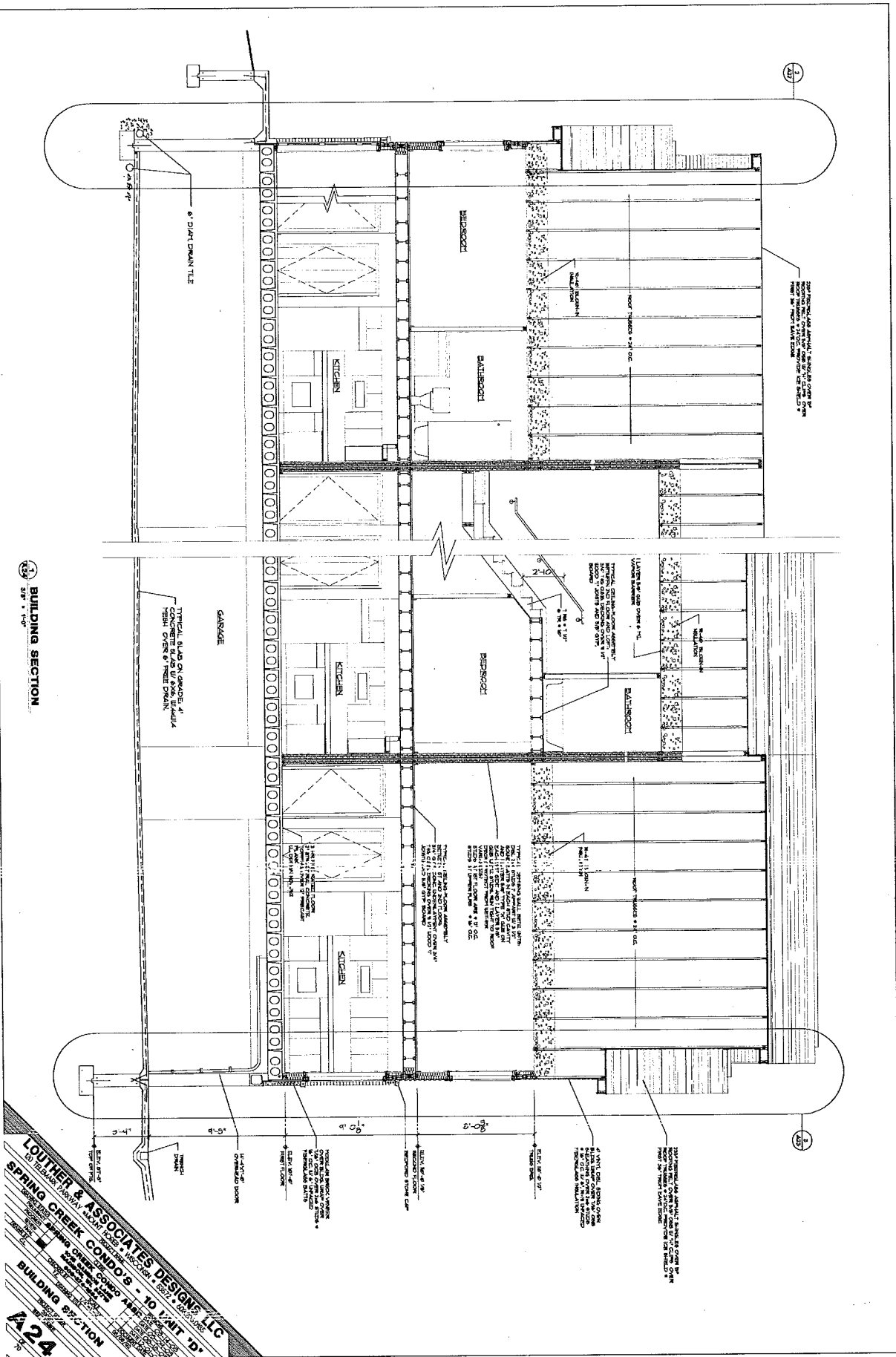
SPRING CREEK CONDOS - 10 UNIT 'D'
 10000 W. 10th Ave., Suite 100, Denver, CO 80202
 (303) 751-1000
 www.loutherandassociates.com

FOUNDATION DETAILS

A2



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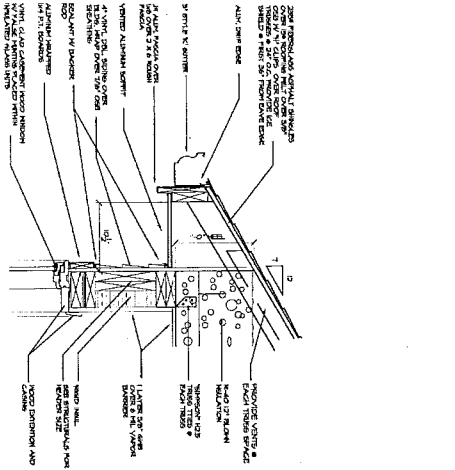
BUILDING SECTION

LOUTHER & ASSOCIATES DESIGN, LLC
 ARCHITECTS
 10000 SPRING CREEK DRIVE, SUITE 100
 FORT WORTH, TEXAS 76133
 (817) 336-1111
 www.louthera.com

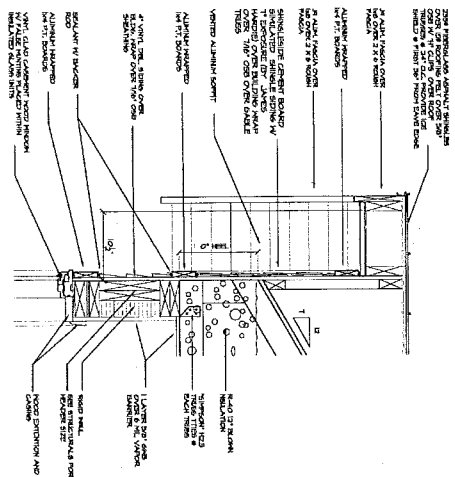
SPRING CREEK CONDOS - 10 UNIT TD
 PROJECT NO. SC-14-001
 SHEET NO. 14-001-10
 DATE: 08/14/14

BUILDING SECTION

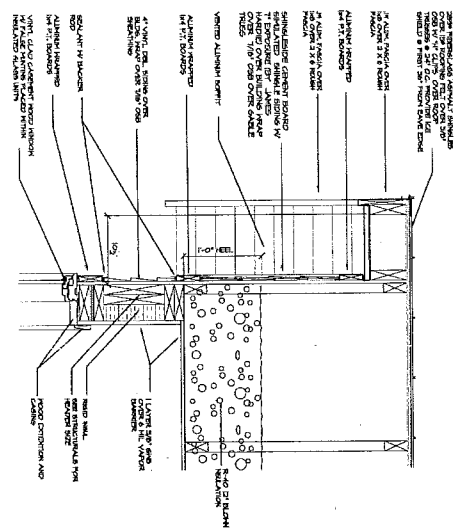
K-24



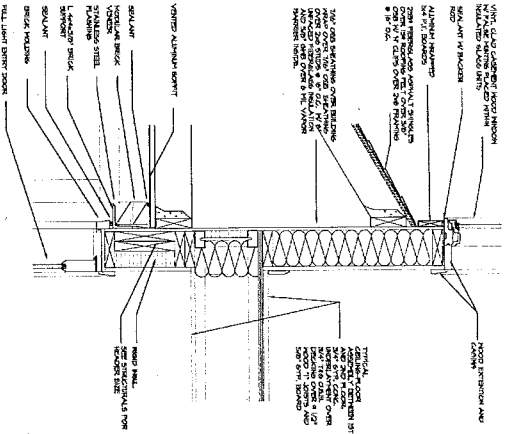
1 TYPICAL OVERHANG
1/2" = 1'-0"



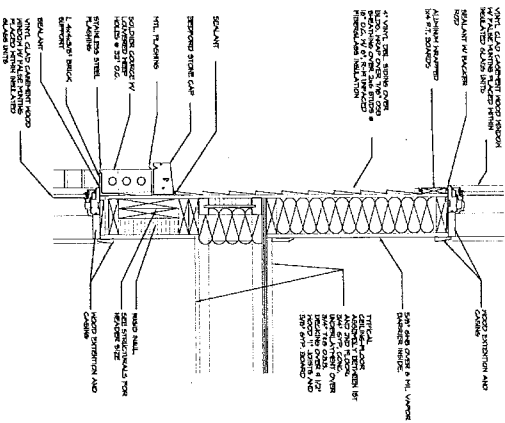
2 OVERHANG AT GABLE
1/2" = 1'-0"



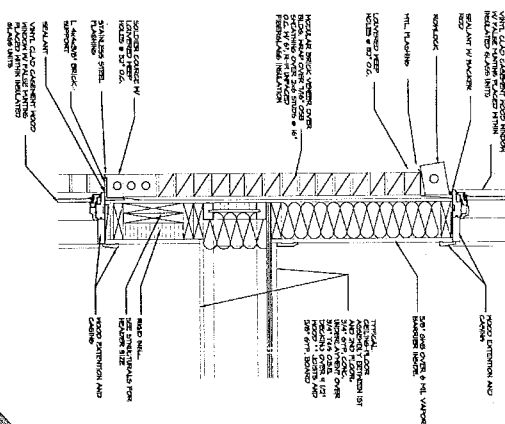
3 OVERHANG AT GABLE
1/2" = 1'-0"



4 OVERHANG AT ENTRY DOOR
1/2" = 1'-0"



5 WINDOW HEAD/SILL (AT BRICK/SIDING)
1/2" = 1'-0"



6 WINDOW HEAD/SILL AT BRICK VENEER
1/2" = 1'-0"

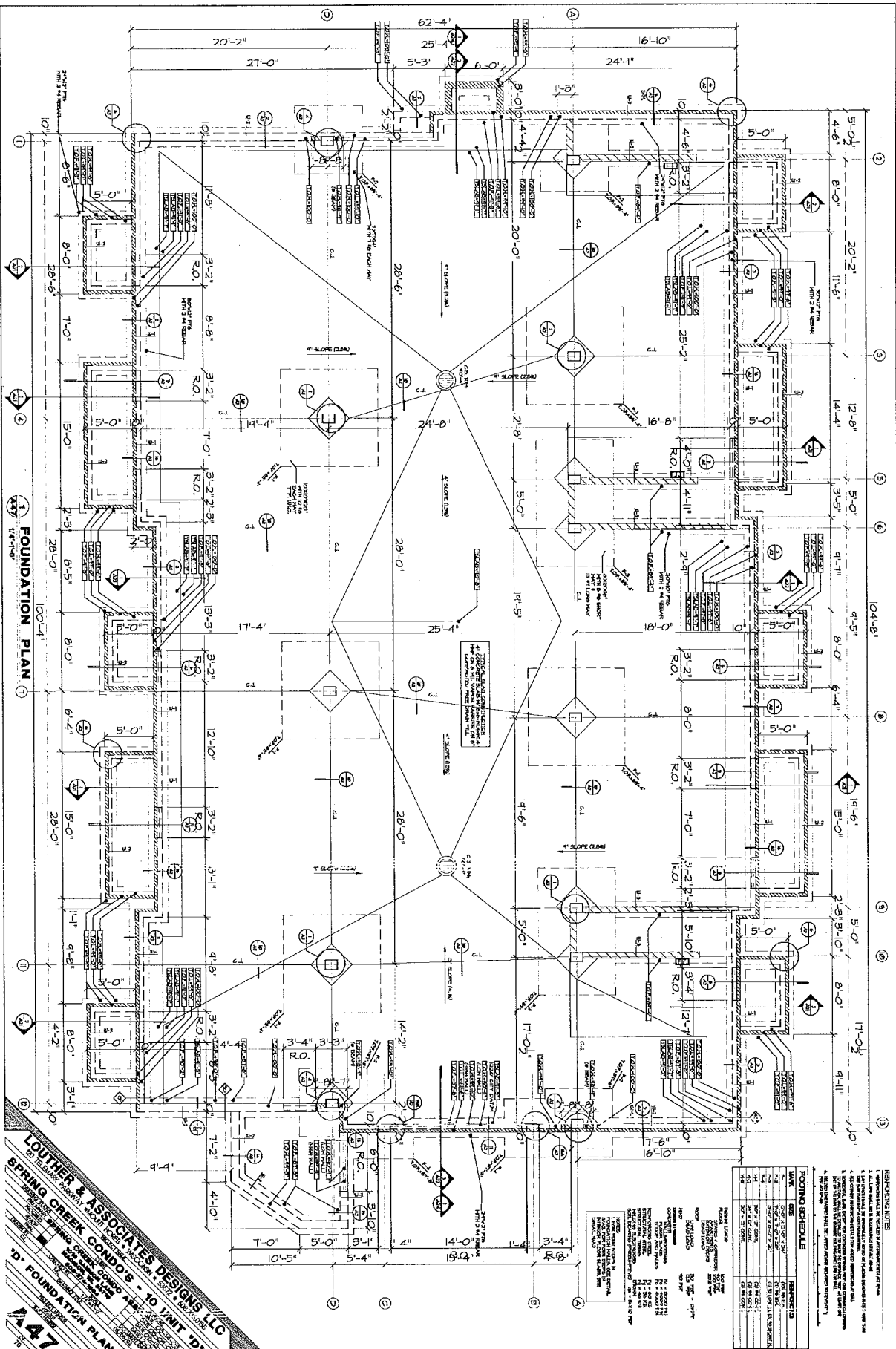
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LOUTHER & ASSOCIATES DESIGNS LLC
 1001 N. W. 10th St., Suite 100, Ft. Lauderdale, FL 33304
 (954) 561-1111
 FAX (954) 561-1112
 www.louthers.com

Spring Creek Condos - 10 Unit D
 1001 N. W. 10th St., Suite 100, Ft. Lauderdale, FL 33304
 (954) 561-1111
 FAX (954) 561-1112
 www.louthers.com

DATE: 1/2/02
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 APPROVED BY: [Signature]

15



FOUNDATION PLAN
1/4"=1'-0"

LOUTHER & ASSOCIATES DESIGNS, LLC
 200 S. MAIN ST., SUITE 100, MOBILE, AL 36688
 (904) 686-1111
SPRING CREEK CONDO'S - 10 UNIT 'D'
 FOUNDATION PLAN
 SHEET NO. **FA-47**

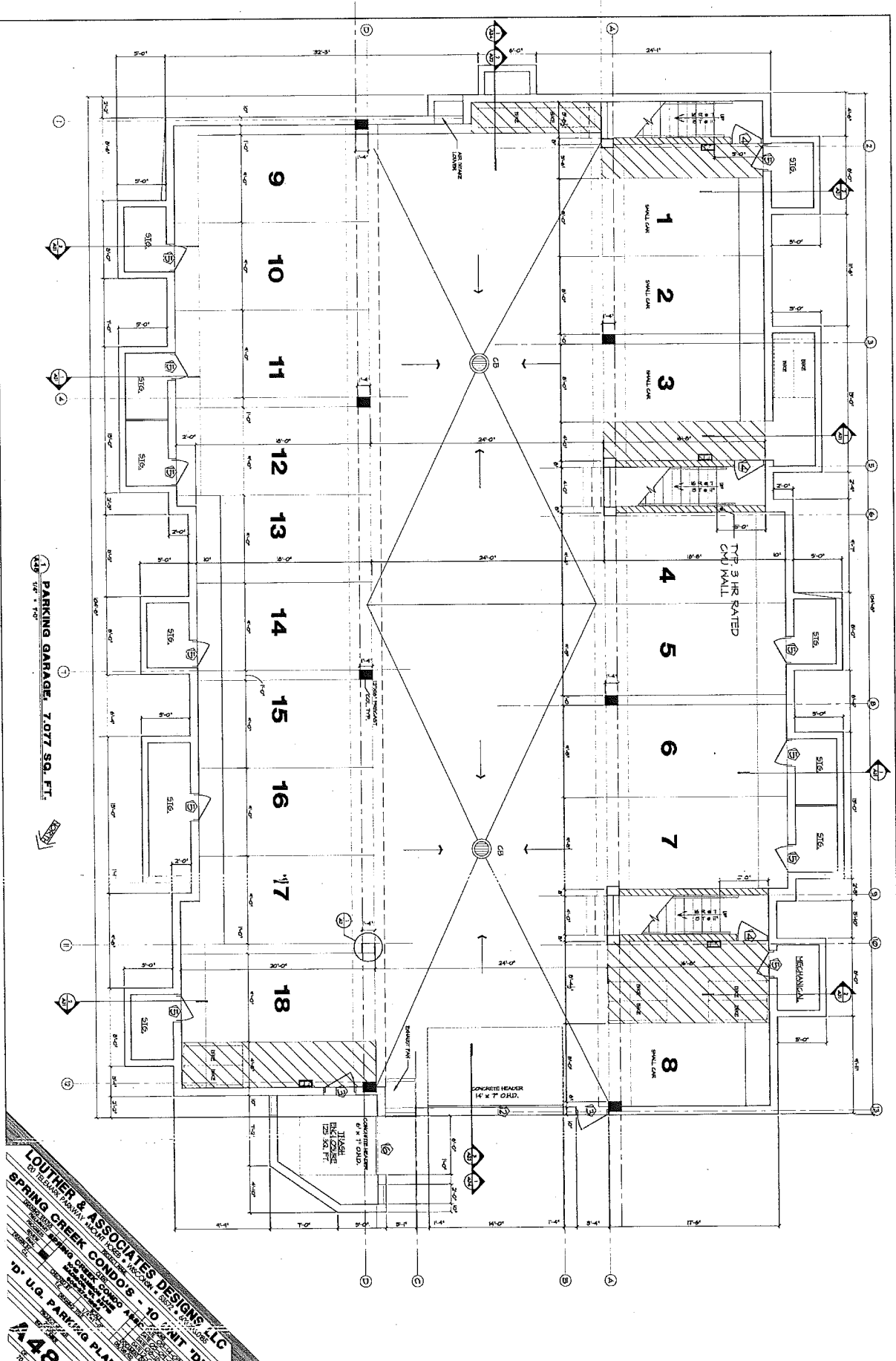
REVISIONS

NO.	DATE	DESCRIPTION
1	01/15/11	ISSUED FOR PERMITS
2	01/15/11	REVISED PER PERMIT COMMENTS
3	01/15/11	REVISED PER PERMIT COMMENTS
4	01/15/11	REVISED PER PERMIT COMMENTS
5	01/15/11	REVISED PER PERMIT COMMENTS
6	01/15/11	REVISED PER PERMIT COMMENTS
7	01/15/11	REVISED PER PERMIT COMMENTS
8	01/15/11	REVISED PER PERMIT COMMENTS
9	01/15/11	REVISED PER PERMIT COMMENTS
10	01/15/11	REVISED PER PERMIT COMMENTS

FOOTING SCHEDULE

NO.	SECTION	FOOTING TYPE	FOOTING DIMENSIONS	FOOTING ELEVATION
1	1-2	CONCRETE	24" x 24"	1'-0"
2	2-3	CONCRETE	24" x 24"	1'-0"
3	3-4	CONCRETE	24" x 24"	1'-0"
4	4-5	CONCRETE	24" x 24"	1'-0"
5	5-6	CONCRETE	24" x 24"	1'-0"
6	6-7	CONCRETE	24" x 24"	1'-0"
7	7-8	CONCRETE	24" x 24"	1'-0"
8	8-9	CONCRETE	24" x 24"	1'-0"
9	9-10	CONCRETE	24" x 24"	1'-0"
10	10-11	CONCRETE	24" x 24"	1'-0"
11	11-12	CONCRETE	24" x 24"	1'-0"
12	12-13	CONCRETE	24" x 24"	1'-0"

REMARKS:
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL WALLS AND FOOTINGS TO BE CONCRETE UNLESS OTHERWISE NOTED.
 3. ALL WALLS AND FOOTINGS TO BE FINISHED WITH 1/2" GYP BOARD.
 4. ALL WALLS AND FOOTINGS TO BE FINISHED WITH 1/2" GYP BOARD.
 5. ALL WALLS AND FOOTINGS TO BE FINISHED WITH 1/2" GYP BOARD.
 6. ALL WALLS AND FOOTINGS TO BE FINISHED WITH 1/2" GYP BOARD.
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 11. ALL WALLS AND FOOTINGS TO BE FINISHED WITH 1/2" GYP BOARD.
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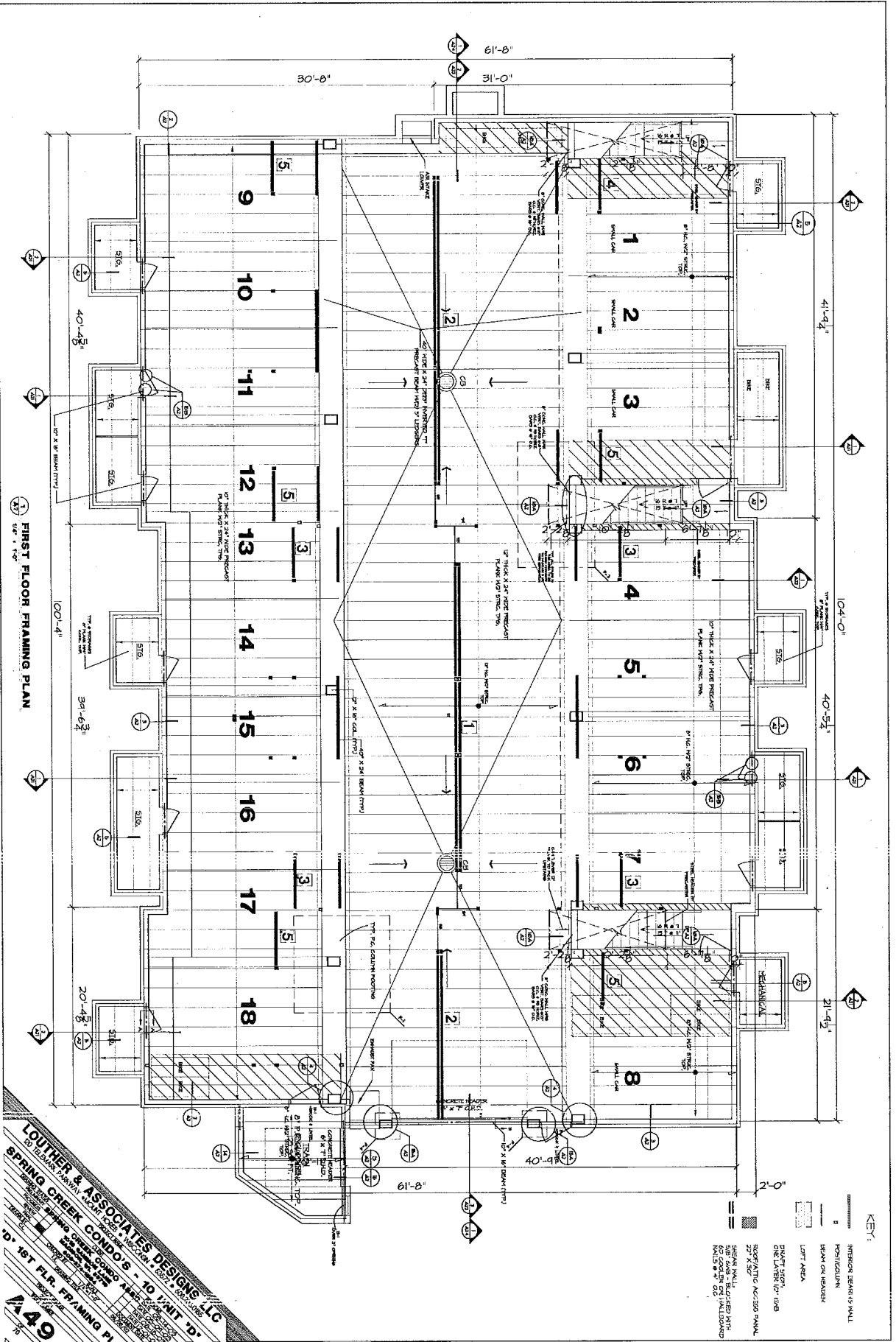
1 PARKING GARAGE, 7,077 SQ. FT.

LOUTHER & ASSOCIATES DESIGNS LLC
 20 BLANK CUMMAY
 10000 W. 100th Ave. Suite 100
 Golden, CO 80401
 303.440.1111
 www.louthers.com

SPRING CREEK CONDOS - 10 UNIT 'D'
 PROJECT NO. 1448
 SHEET NO. 1448-1
 DATE: 11/14/14
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

10' U.G. PARKING PLAN

NOT CONSIDERED WITH STRUCTURE. THE WALL WEIGHTS SHALL BE 250 LB/SQ FT.



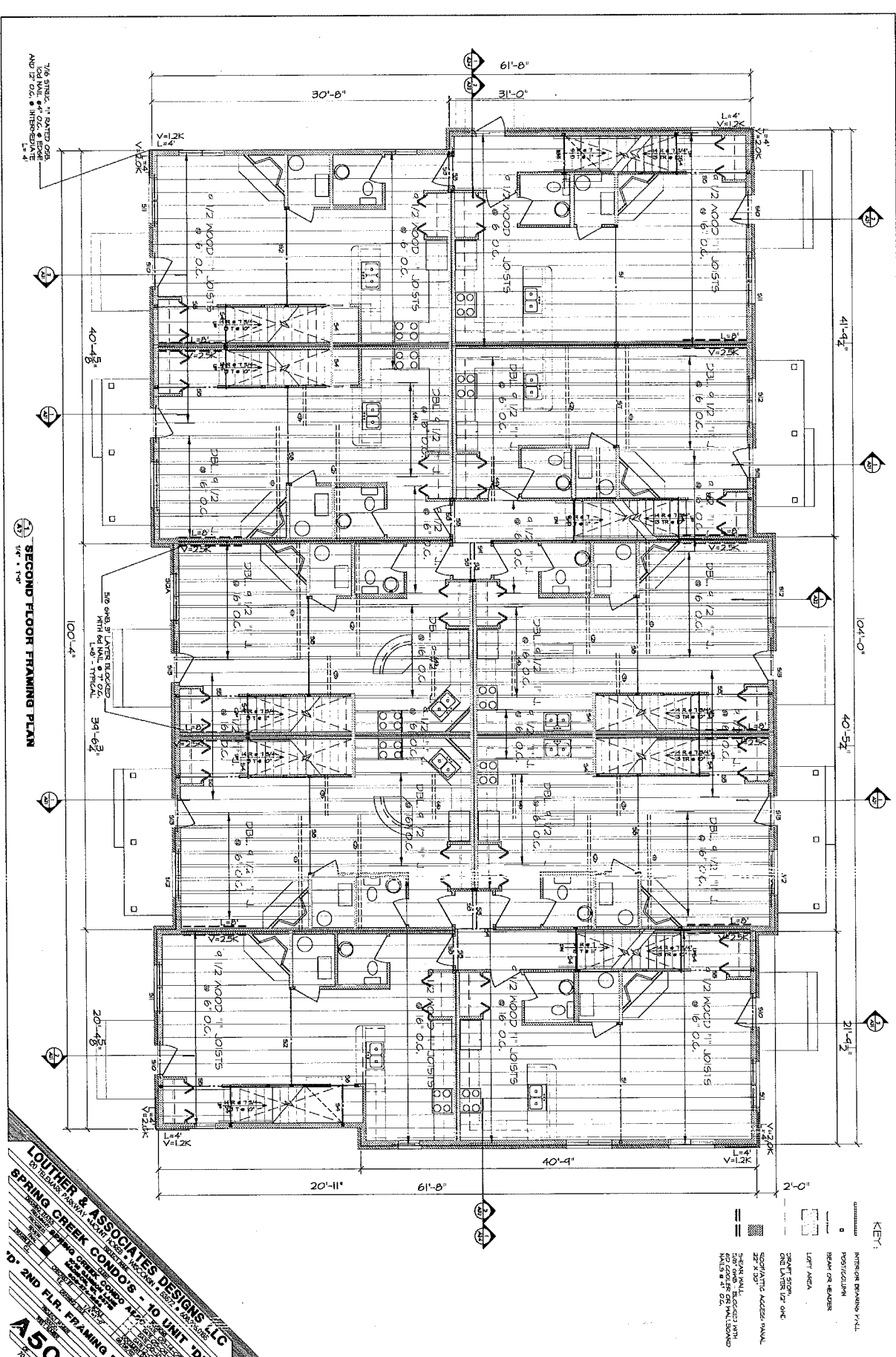
1 FIRST FLOOR FRAMING PLAN

LOUTHER & ASSOCIATES DESIGNS, LLC
 201 BELLAIR AVENUE, SUITE 100, HOUSTON, TEXAS 77025
 (713) 865-1111
 www.louthers.com

SPRING CREEK CONDO'S - 10 UNIT 'D'
 PROJECT NO. SC-10-D-01
 SHEET NO. 149
 DATE: 08/15/11

149

15



LOUTHER & ASSOCIATES DESIGNS LLC
 10115 W. 100th Ave., Suite 100, Overland Park, KS 66214
 781.649.1234
SPRING CREEK CONDO'S - 10 UNIT 'D'
 2ND FLR. FRAMING PL.
A50

- KEY:**
- INTERIOR FRAMING 2x11
 - POST/COLUMN
 - BEAM OR RAISER
 - LEFT ANGLE
 - 250 FT SIGN
 - ONE LAYER 1/2" GRC
 - 20 FT SIGN
 - 227 X 50
 - 20 FT SIGN, BLOCKED WITH RAILS @ 4' O.C.
 - 20 FT SIGN, BLOCKED WITH RAILS @ 4' O.C.
 - 20 FT SIGN, BLOCKED WITH RAILS @ 4' O.C.

7/16 STRONG 1" SAVED CORNER AND 1/2" O.C. INTERPRETIVE L# 4

30'-8"

61'-8"

V-12K

V-12K

41'-4 1/2"

104'-0"

40'-5 1/2"

21'-4 1/2"

SECOND FLOOR FRAMING PLAN
 1/4" = 1'-0"

500 ONS. 3" LATH IN CONC. MIN. L# 4 - 11/16" DIA. 34'-6 1/2"

20'-4 1/2"

V-12K

V-12K

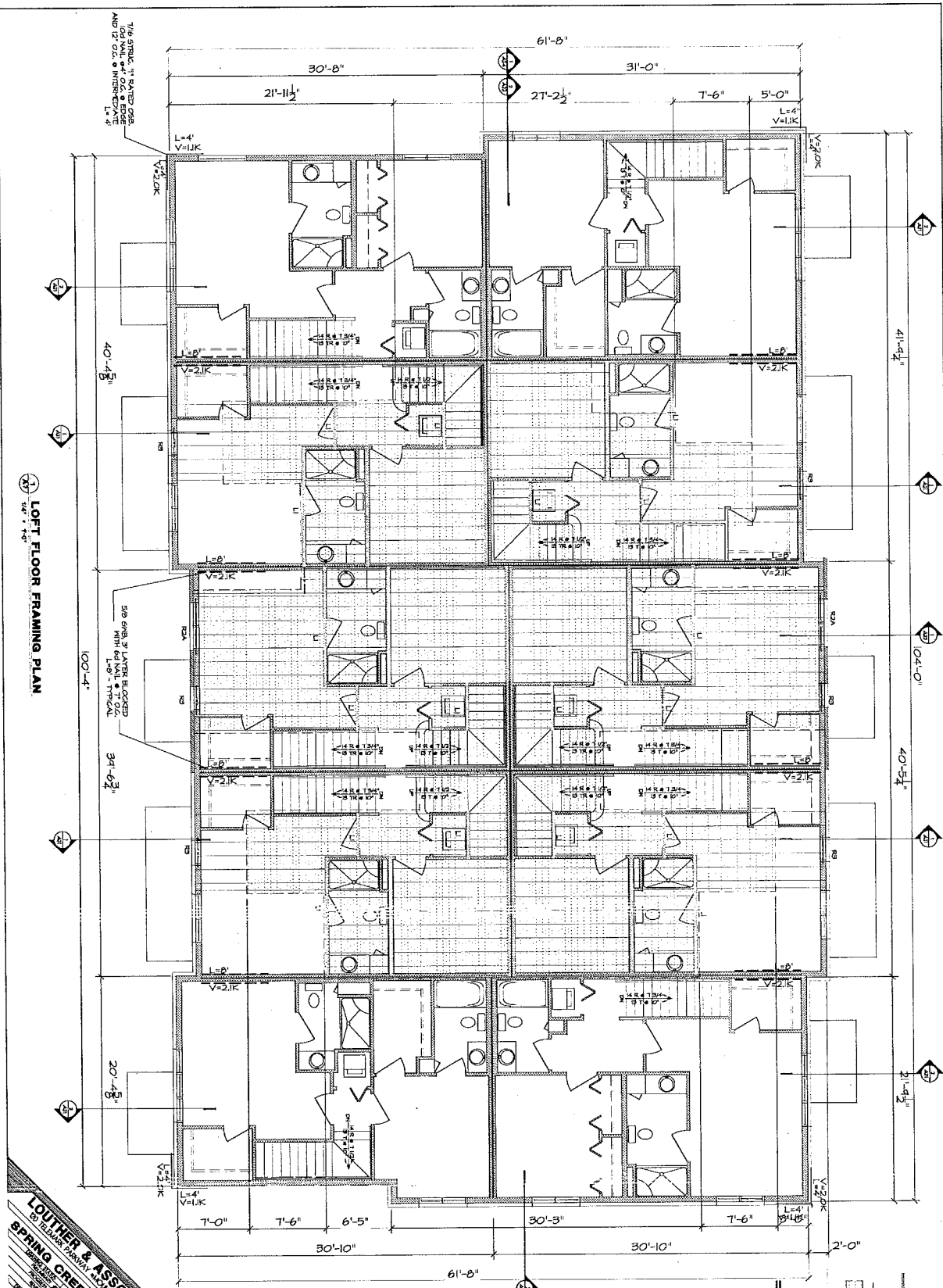
20'-11"

61'-8"

40'-4"

2'-0"

KEY:



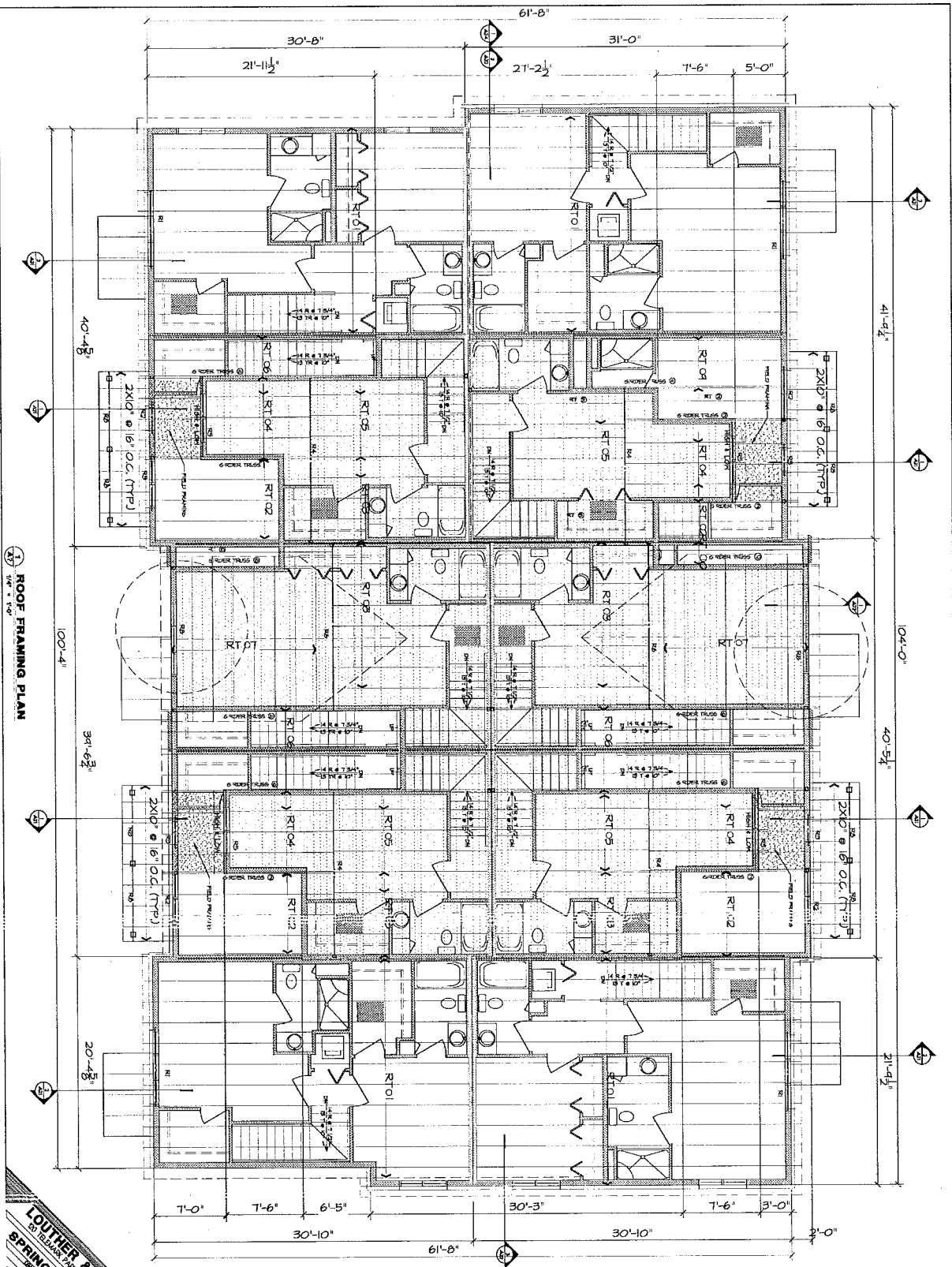
LOFT FLOOR FRAMING PLAN

LOUTHER & ASSOCIATES DESIGN'S LLC
30 BLANK ROAD
SPRING CREEK CONDO'S - 10 UNIT 'D'
10 UNIT 'D'
LOFT FLOOR FRAMING PLAN
DATE: 12/15/11
SCALE: AS SHOWN
PROJECT NO: 11-001

- KEY:**
- INTRUSION UPWARD HALL
 - POSTTENSION
 - DOOR OR WINDOW
 - LOFT AREA
 - SHOULDER SIGN
 - ONE LAYER 1/2" GIB
 - HOSPITALITY ACCESS PANEL
 - 27' X 20'
 - SEWER HALL
 - 500 GPM 1/2" CONCRETE
 - 500 GPM 1/2" CONCRETE
 - VALVE 5" 60

5

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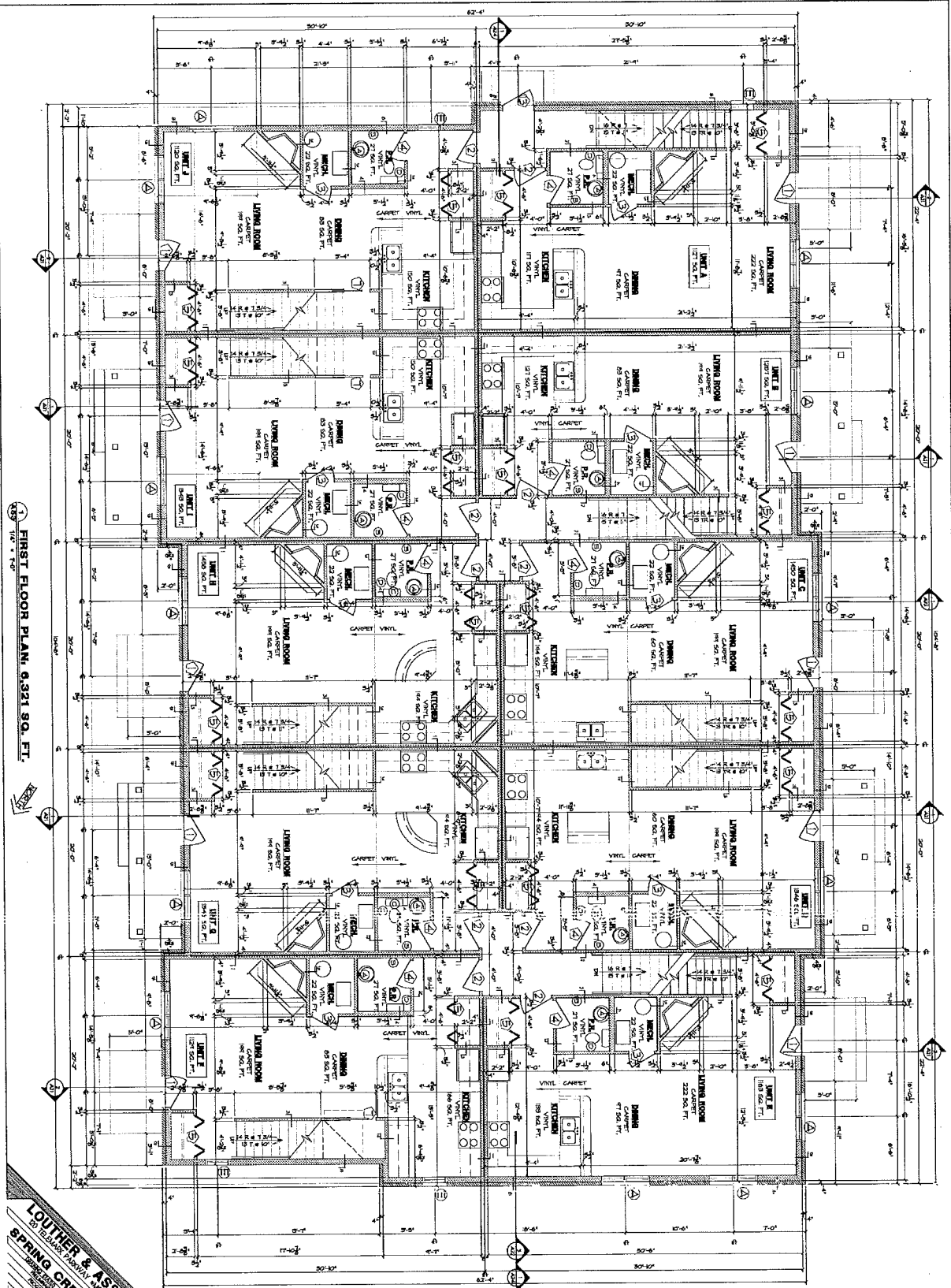


ROOF FRAMING PLAN

LOUTHER & ASSOCIATES DESIGN, LLC
 2010 BROADWAY, SUITE 200, WASHINGTON, DC 20004
 (202) 462-1100
SPRING CREEK CONDOS - 10 UNIT 'D'
 10' ROOF FRAMING PLAN
 DATE: 08/14/12
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO: [Number]

- KEY:**
- INDOOR FRAMING WALL
 - ROOF TRUSS
 - BEAM OR RIBBON
 - LEFT AREA
 - RIGHT SIDE
 - ONE LAYER 1/2" GYP
 - 2" X 4" STUDS
 - 2" X 6" STUDS
 - 2" X 8" STUDS
 - 2" X 10" STUDS
 - 2" X 12" STUDS
 - 2" X 14" STUDS
 - 2" X 16" STUDS
 - 2" X 18" STUDS
 - 2" X 20" STUDS
 - 2" X 22" STUDS
 - 2" X 24" STUDS
 - 2" X 26" STUDS
 - 2" X 28" STUDS
 - 2" X 30" STUDS
 - 2" X 32" STUDS
 - 2" X 34" STUDS
 - 2" X 36" STUDS
 - 2" X 38" STUDS
 - 2" X 40" STUDS
 - 2" X 42" STUDS
 - 2" X 44" STUDS
 - 2" X 46" STUDS
 - 2" X 48" STUDS
 - 2" X 50" STUDS
 - 2" X 52" STUDS
 - 2" X 54" STUDS
 - 2" X 56" STUDS
 - 2" X 58" STUDS
 - 2" X 60" STUDS
 - 2" X 62" STUDS
 - 2" X 64" STUDS
 - 2" X 66" STUDS
 - 2" X 68" STUDS
 - 2" X 70" STUDS
 - 2" X 72" STUDS
 - 2" X 74" STUDS
 - 2" X 76" STUDS
 - 2" X 78" STUDS
 - 2" X 80" STUDS
 - 2" X 82" STUDS
 - 2" X 84" STUDS
 - 2" X 86" STUDS
 - 2" X 88" STUDS
 - 2" X 90" STUDS
 - 2" X 92" STUDS
 - 2" X 94" STUDS
 - 2" X 96" STUDS
 - 2" X 98" STUDS
 - 2" X 100" STUDS

5



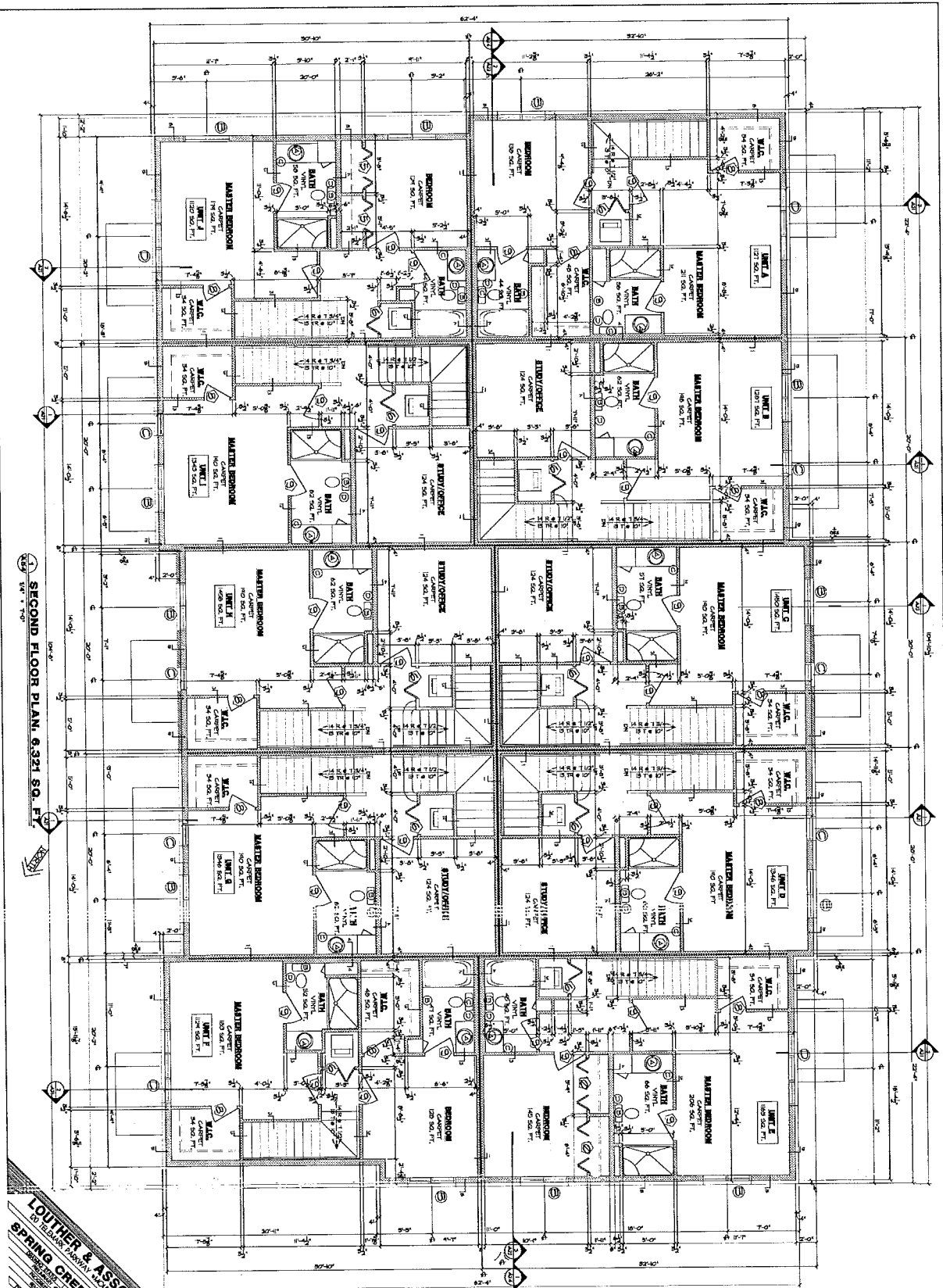
FIRST FLOOR PLAN 9,321 SQ. FT.

LOUTNER & ASSOCIATES DESIGN, LLC
ARCHITECTS
10000 W. 10th Ave., Suite 100
Denver, CO 80202
Tel: 303.751.1000
Fax: 303.751.1001
www.loutner.com

SPRING CREEK CONDOS - 10 UNIT 'D'
PROJECT NO. SC-10-01
DATE: 08/14/08
SCALE: AS SHOWN
SHEET NO. A53

1st FLOOR PLAN

5



SECOND FLOOR PLAN, 6,321 SQ. FT.

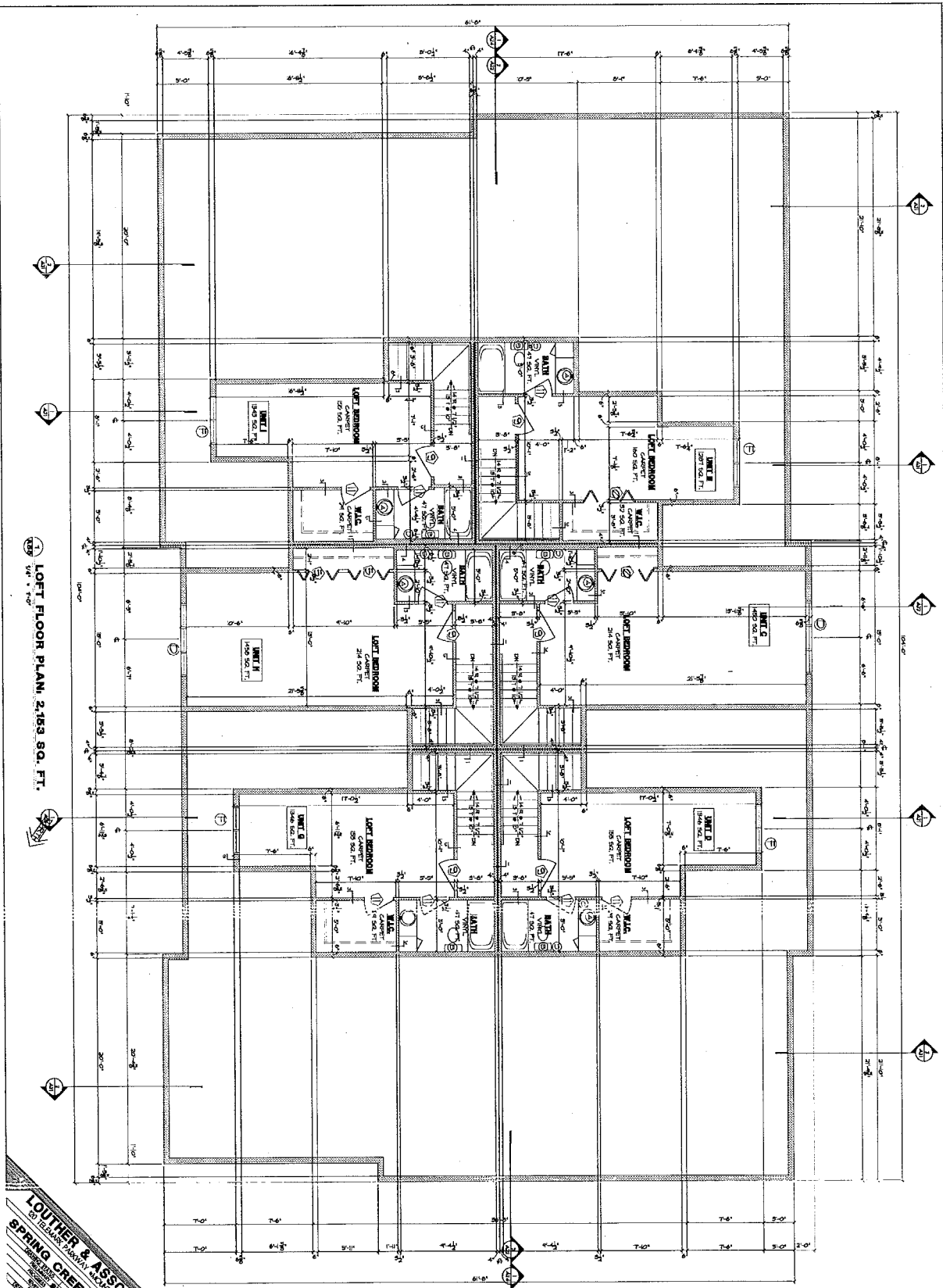
LOUTHER & ASSOCIATES DESIGN, LLC
ARCHITECTS
10150 BLANK MANOR, SUITE 100, FORT WORTH, TEXAS 76135
PHONE: 817.335.1234 FAX: 817.335.1235
WWW.LA-DESIGN.COM

SPRING CREEK CONDO'S - 10 UNIT 'D'
PROJECT NO. SC-10-01
DATE: 10/15/09
SCALE: AS SHOWN

1st SECOND FLOOR PLAN

A54

NOT CREATED WITH 2015/2017/17 THE 3RD VERSION 2002/2003/2004/2005



LOFT FLOOR PLAN, 2,183 SQ. FT.

LOUTHER & ASSOCIATES DESIGNS, LC
 ARCHITECTS
 10000 W. PARKWAY
 SUITE 100
 FORT WORTH, TEXAS 76134
 TEL: 817.336.1111
 FAX: 817.336.1112
 WWW.LA-DESIGNS.COM

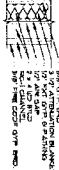
SPRING CREEK CONDO'S - 10 UNIT 'D'
 PROJECT NO. 10000 W. PARKWAY
 DATE: 10/15/17
 DRAWING NO. 10000 W. PARKWAY
 SHEET NO. 10000 W. PARKWAY
 10' LOFT FLOOR PLAN

55

5

ALL NOTES

1. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
2. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
3. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
4. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
5. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
6. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
7. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
8. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
9. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
10. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.



SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION. THIS DETAIL SHOWS THE REINFORCEMENT FOR A WALL TO BE CAST WITH A SLAB. THE WALL REINFORCEMENT SHALL BE 10# @ 16" ON CENTER. THE SLAB REINFORCEMENT SHALL BE 10# @ 12" ON CENTER. THE WALL SHALL BE CAST WITH A 3/4" THICK POLYURETHANE INSULATION. THE SLAB SHALL BE CAST WITH A 1" THICK POLYURETHANE INSULATION. THE WALL AND SLAB SHALL BE CAST IN ONE POUR.

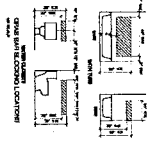
A41: BUILDING FOOTING FOUNDATION PLAN

REWORKING NOTES

1. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
2. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
3. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
4. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
5. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
6. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
7. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
8. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
9. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
10. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.

MARK	SIZE	REFERENCE
F-1	12" x 12" COCON	CG 4M COCON
F-2	12" x 12" COCON	CG 4M COCON
F-3	12" x 12" COCON	CG 4M COCON
F-4	12" x 12" COCON	CG 4M COCON
F-5	12" x 12" COCON	CG 4M COCON
F-6	12" x 12" COCON	CG 4M COCON
F-7	12" x 12" COCON	CG 4M COCON
F-8	12" x 12" COCON	CG 4M COCON
F-9	12" x 12" COCON	CG 4M COCON
F-10	12" x 12" COCON	CG 4M COCON

BEAM LOADS
 BEAM 1: 100 KIP
 BEAM 2: 100 KIP
 BEAM 3: 100 KIP
 BEAM 4: 100 KIP
 BEAM 5: 100 KIP
 BEAM 6: 100 KIP
 BEAM 7: 100 KIP
 BEAM 8: 100 KIP
 BEAM 9: 100 KIP
 BEAM 10: 100 KIP



SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION. THIS DETAIL SHOWS THE REINFORCEMENT FOR A COLUMN FOOTING. THE FOOTING REINFORCEMENT SHALL BE 4# @ 12" ON CENTER. THE COLUMN REINFORCEMENT SHALL BE 4# @ 12" ON CENTER. THE FOOTING SHALL BE CAST WITH A 3" THICK POLYURETHANE INSULATION. THE COLUMN SHALL BE CAST WITH A 2" THICK POLYURETHANE INSULATION. THE FOOTING AND COLUMN SHALL BE CAST IN ONE POUR.

A53 A54 A55: FLOOR PLANS

ROOM FINISH SCHEDULE

ROOM NO.	NAME	FLOOR		WALLS	CEILING	PARTITION	DETAILS
		FINISH	CONSTRUCTION				
101	Office	Paint	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board
102	Office	Paint	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board
103	Office	Paint	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board
104	Office	Paint	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board
105	Office	Paint	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board
106	Office	Paint	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board
107	Office	Paint	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board
108	Office	Paint	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board
109	Office	Paint	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board
110	Office	Paint	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board	1/2" Gypsum Board

A49, A50, A51, A52: FLOOR & RAFTING PLANS

PRECAST PLANK NOTES

1. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
2. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
3. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
4. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
5. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
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7. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
8. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
9. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
10. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.

MARK	SIZE	REFERENCE
P-1	12" x 12" COCON	CG 4M COCON
P-2	12" x 12" COCON	CG 4M COCON
P-3	12" x 12" COCON	CG 4M COCON
P-4	12" x 12" COCON	CG 4M COCON
P-5	12" x 12" COCON	CG 4M COCON
P-6	12" x 12" COCON	CG 4M COCON
P-7	12" x 12" COCON	CG 4M COCON
P-8	12" x 12" COCON	CG 4M COCON
P-9	12" x 12" COCON	CG 4M COCON
P-10	12" x 12" COCON	CG 4M COCON

NOTES

1. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
2. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
3. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
4. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
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7. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
8. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
9. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.
10. SEE GENERAL NOTES AND SPECIFICATIONS FOR ALL INFORMATION.

MARK	MATERIAL	FINISH
1	1/2" Gypsum Board	Paint
2	1/2" Gypsum Board	Paint
3	1/2" Gypsum Board	Paint
4	1/2" Gypsum Board	Paint
5	1/2" Gypsum Board	Paint
6	1/2" Gypsum Board	Paint
7	1/2" Gypsum Board	Paint
8	1/2" Gypsum Board	Paint
9	1/2" Gypsum Board	Paint
10	1/2" Gypsum Board	Paint

WINDOW SCHEDULE

MARK	MODEL	MANUFACTURER	TYPE	MATERIAL	GRILLS
W-1	1018	Anderson	Double Hung	Wood	None
W-2	1018	Anderson	Double Hung	Wood	None
W-3	1018	Anderson	Double Hung	Wood	None
W-4	1018	Anderson	Double Hung	Wood	None
W-5	1018	Anderson	Double Hung	Wood	None
W-6	1018	Anderson	Double Hung	Wood	None
W-7	1018	Anderson	Double Hung	Wood	None
W-8	1018	Anderson	Double Hung	Wood	None
W-9	1018	Anderson	Double Hung	Wood	None
W-10	1018	Anderson	Double Hung	Wood	None

DOOR SCHEDULE

MARK	MODEL	MANUFACTURER	TYPE	MATERIAL	GRILLS
D-1	1018	Anderson	Prehung	Wood	None
D-2	1018	Anderson	Prehung	Wood	None
D-3	1018	Anderson	Prehung	Wood	None
D-4	1018	Anderson	Prehung	Wood	None
D-5	1018	Anderson	Prehung	Wood	None
D-6	1018	Anderson	Prehung	Wood	None
D-7	1018	Anderson	Prehung	Wood	None
D-8	1018	Anderson	Prehung	Wood	None
D-9	1018	Anderson	Prehung	Wood	None
D-10	1018	Anderson	Prehung	Wood	None

KEY

- 1. 1/2" Gypsum Board
- 2. 1/2" Gypsum Board
- 3. 1/2" Gypsum Board
- 4. 1/2" Gypsum Board
- 5. 1/2" Gypsum Board
- 6. 1/2" Gypsum Board
- 7. 1/2" Gypsum Board
- 8. 1/2" Gypsum Board
- 9. 1/2" Gypsum Board
- 10. 1/2" Gypsum Board

For details and information, contact the architect or engineer.

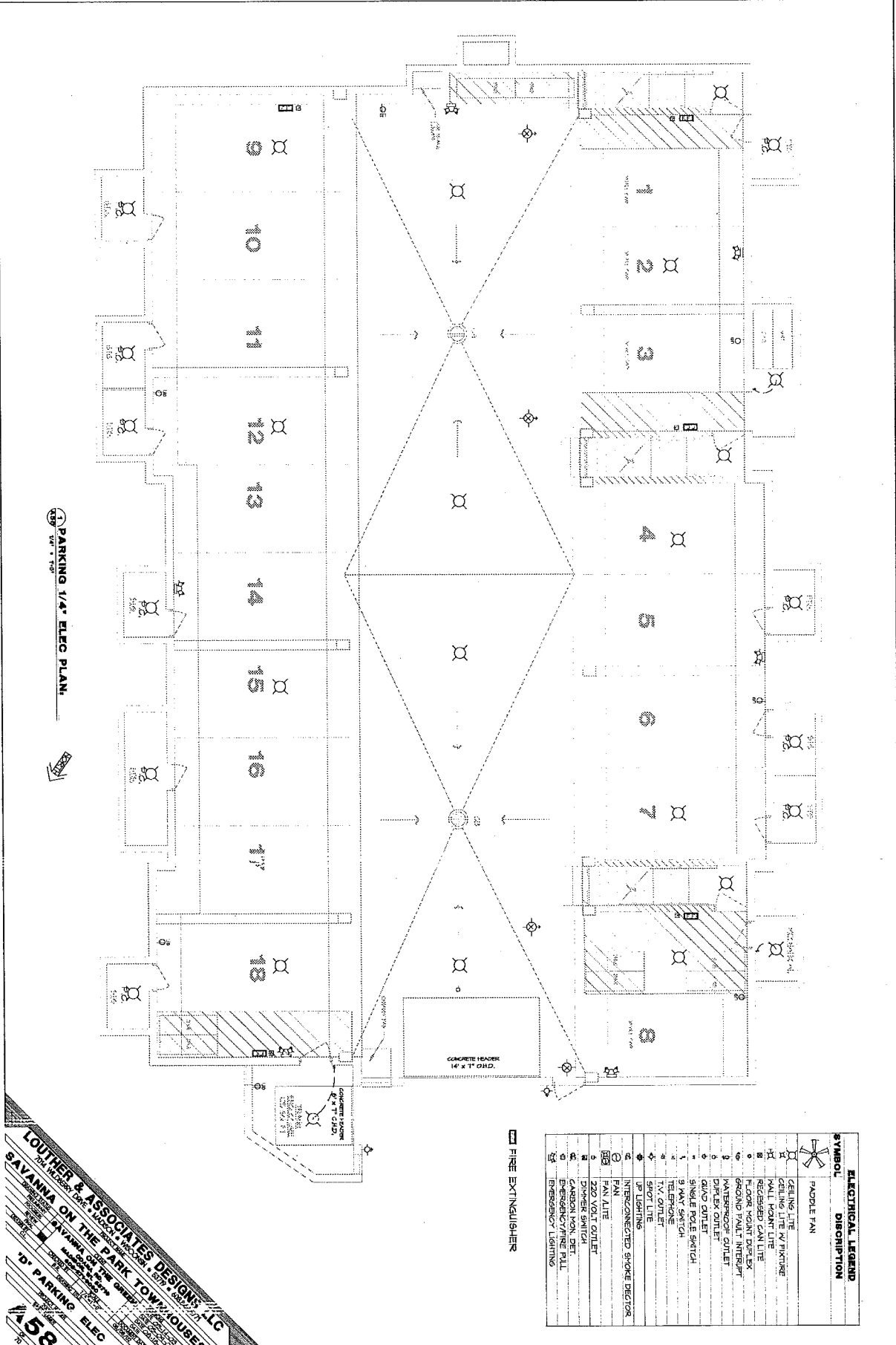
LOUTHER & ASSOCIATES DESIGNS LLC
 201 BLOOMINGDALE AVENUE, SUITE 200, BLOOMINGDALE, IL 61822
 PHONE: 815.472.2100 FAX: 815.472.2101
 WWW.LOOUTHERDESIGNS.COM

SPRING CREEK CONDO'S - 10 UNIT 10
 10 UNIT 10, 10 UNIT 11, 10 UNIT 12, 10 UNIT 13, 10 UNIT 14, 10 UNIT 15, 10 UNIT 16, 10 UNIT 17, 10 UNIT 18, 10 UNIT 19, 10 UNIT 20

DUNIT DETAIL INFO
 DATE: 08/20/2012
 DRAWN BY: [NAME]
 CHECKED BY: [NAME]
 APPROVED BY: [NAME]

A56





PARKING 1/4" ELEC PLAN

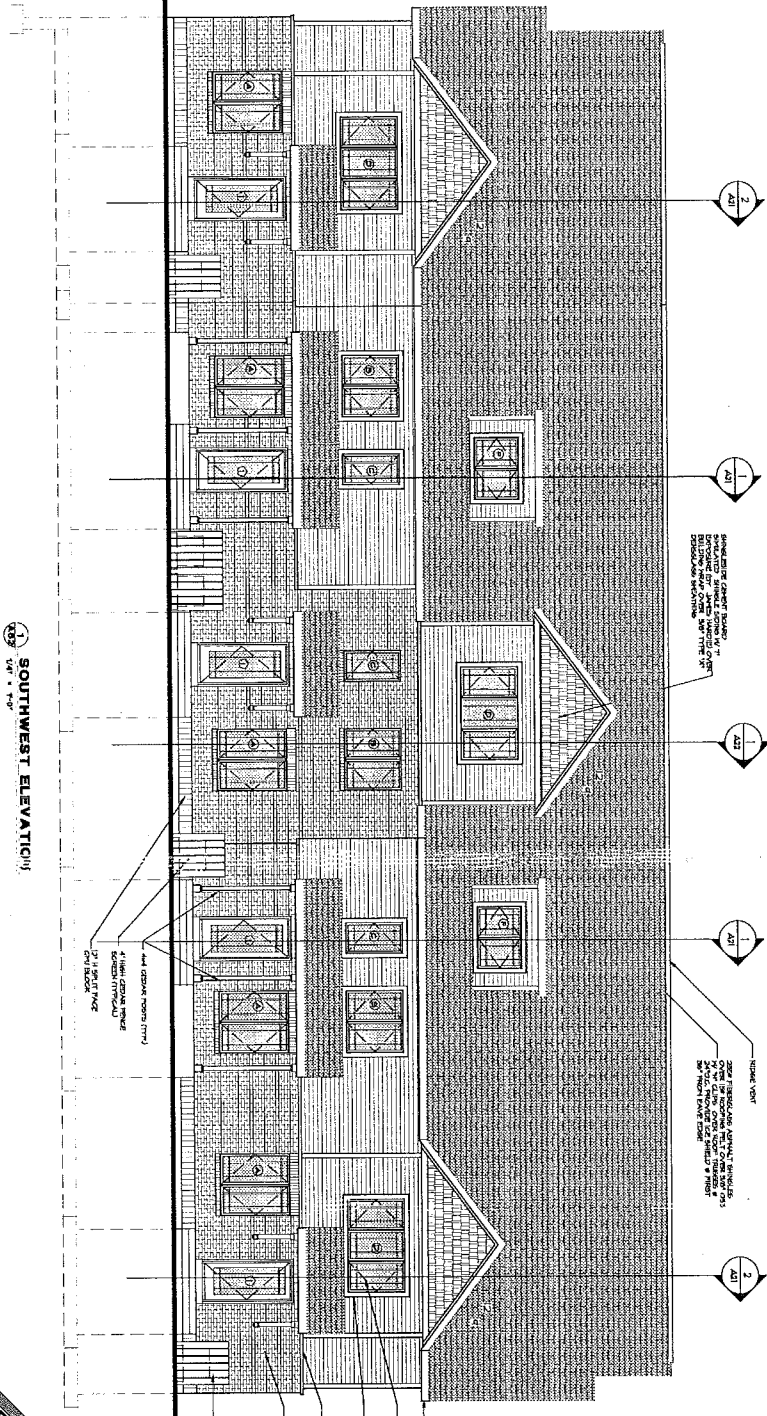
LOUTHER & ASSOCIATES DESIGNS, LC
 ARCHITECTS
 SAVANNA ON THE PARK TOWNHOUSES
 10' PARKING ELEC
 158

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	RADIANT FAN
	CEILING LIGHT
	WALL MOUNT LIGHT
	RECESSED CAN LIGHT
	FLOOR MOUNT POWER EX
	GROUND FAULT INTERRUPT
	PANEL POWER OUTLET
	PANEL POWER OUTLET
	SINGLE POLE SWITCH
	3 WAY SWITCH
	TV OUTLET
	TV OUTLET
	SPOT LIGHT
	INTERCONNECTED SMOKE DETECTOR
	FAN A/E
	220 VOLT OUTLET
	DRYER SWITCH
	DRYER SWITCH
	EMERGENCY LIGHTING

FIRE EXTINGUISHER

5

- ROOF EDGE
ELEVATION - 31'-0"
- TOP OF LEFT FLOOR WALL
ELEVATION - 12'-1 1/2"
- SECOND FLOOR PARAPET
ELEVATION - 12'-0"
- TOP OF LEFT BALCONY
ELEVATION - 12'-0"
- ROOF TRUSS BEARING
ELEVATION - 12'-0 1/2"
- SECOND FLOOR PARAPET BEARING
ELEVATION - 12'-0 1/2"
- TOP OF SECOND FLOOR
ELEVATION - 12'-0 1/2"
- FIRST FLOOR BEARING HEAD
ELEVATION - 0'-0"
- TOP OF FIRST FLOOR
ELEVATION - 0'-0"
- TOP OF FOUNDATION WALL
ELEVATION - 0'-0"
- TOP OF FOUNDATION FOOTING
ELEVATION - 0'-0"



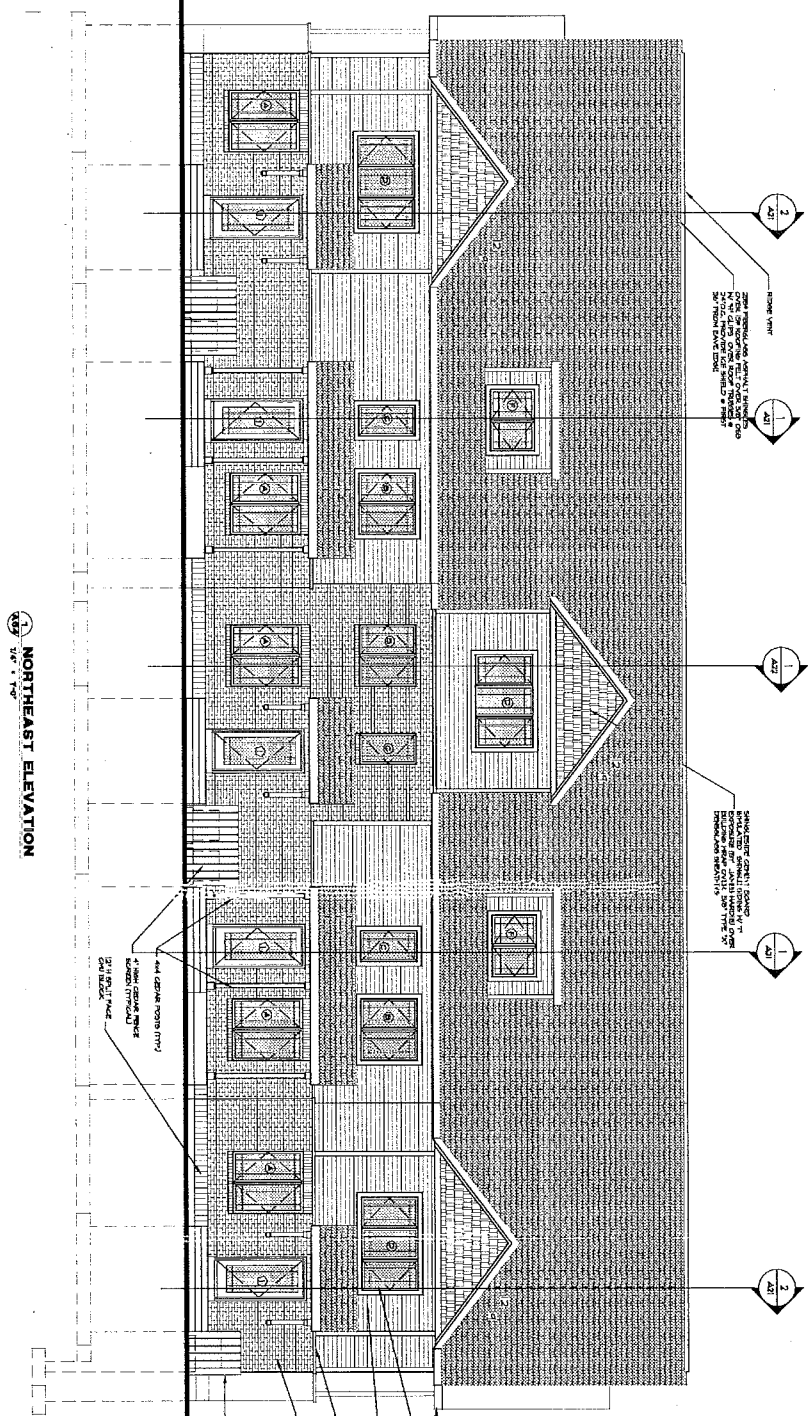
RENDERING OF THIS ELEVATION IS FOR INFORMATION ONLY AND DOES NOT REPRESENT THE FINAL DESIGN OR CONSTRUCTION.

THIS ELEVATION IS FOR INFORMATION ONLY AND DOES NOT REPRESENT THE FINAL DESIGN OR CONSTRUCTION.

LOUTHER & ASSOCIATES DESIGN LLC
 200 BLANK BLVD
 SUITE 100
 SPRING CREEK CONDO'S - 10 UNIT 'D'
 PROJECT NO. 1000000000
 DATE: 10/1/2010
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 10' ELEVATION

PDF created with pdfFactory Pro trial version www.pdffactory.com

- ROOF RISE
ELEVATION - 5'-0"
- TOP OF LEFT FLOOR WALL
ELEVATION - 28'-11 1/2"
- LEFT FLOOR FINISH FLOOR
ELEVATION - 28'-0"
- TOP OF LEFT FLOOR
ELEVATION - 28'-0"
- RIGHT FLOOR FINISH FLOOR
ELEVATION - 28'-0"
- TOP OF RIGHT FLOOR
ELEVATION - 28'-0"
- TOP OF FOUNDATION FOOTING
ELEVATION - 5'-0"
- TOP OF FOUNDATION FOOTING
ELEVATION - 5'-0"
- TOP OF FOUNDATION FOOTING
ELEVATION - 5'-0"



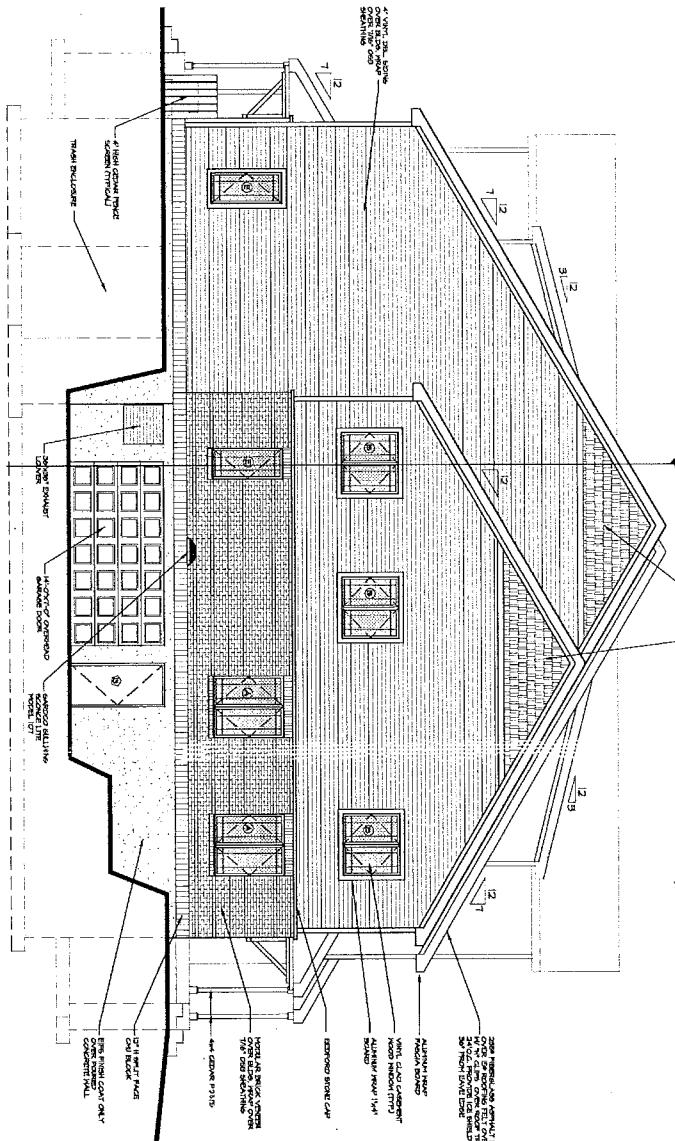
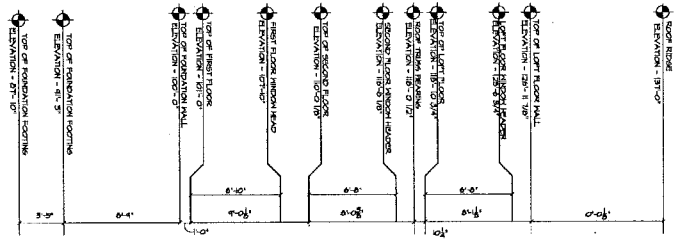
NORTHEAST ELEVATION

LOUTHER & ASSOCIATES DESIGN, LLC
 100 W. MAIN ST. SUITE 100
 SPRING CREEK, GA 30134
 (770) 477-1111
 www.louthers.com

SPRING CREEK CONDOS - 10 UNIT 'D'
 PROJECT NO. SC-10-01
 SHEET NO. 1064
 DATE: 08/14/13

'D' ELEVATION

DATE: 04/15/2014 10:45 AM PROJECT: 1701 17th Street NW, Unit 1010, Seattle, WA 98102



NORTHWEST ELEVATION

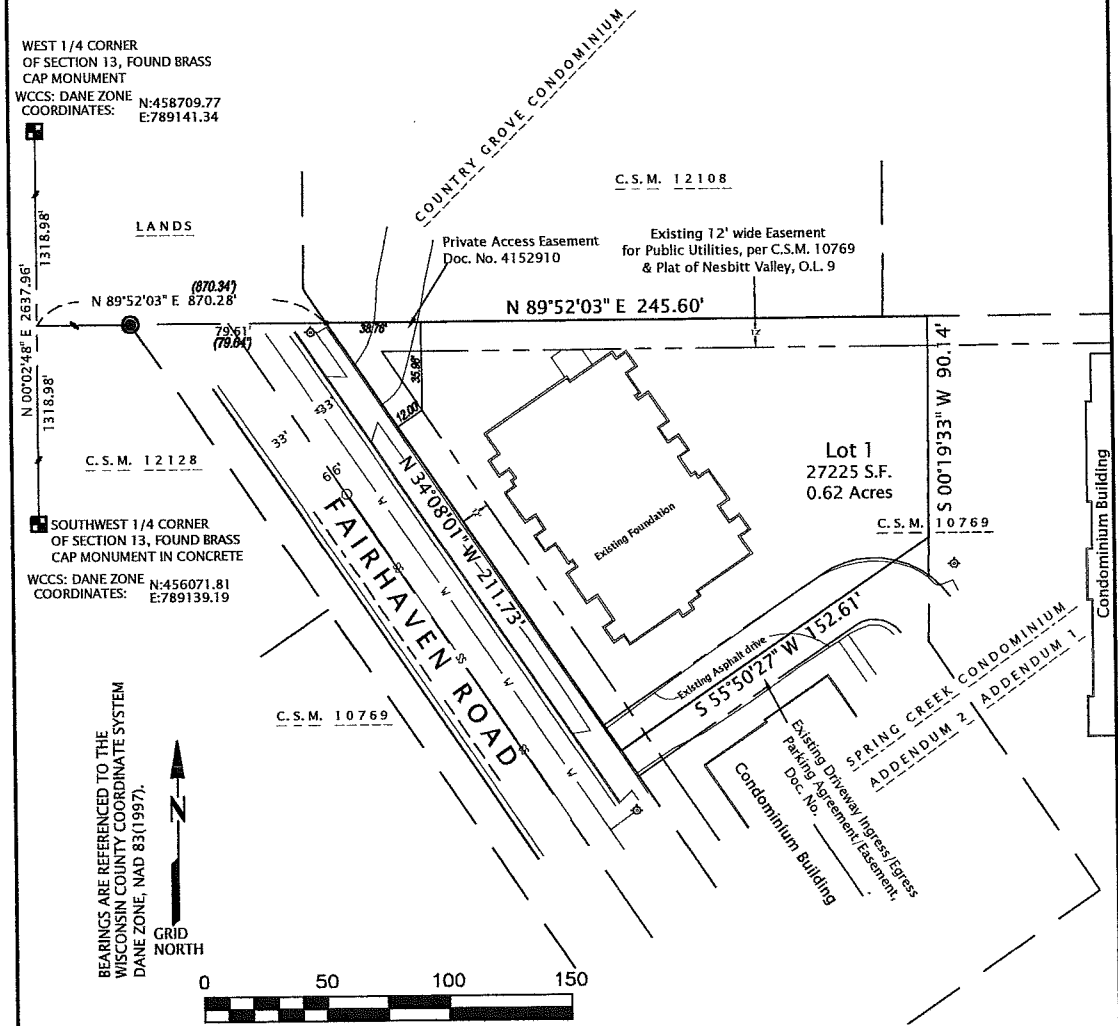
LOUTHER & ASSOCIATES DESIGNS LLC
 1010 17th Street NW, Unit 1010, Seattle, WA 98102
 TEL: 206.461.1111 FAX: 206.461.1112
 WWW.LA-DESIGNS.COM

Spring Creek Condo's - 10 UNIT 'D'
 PROJECT NO: 1701 17th Street NW
 SHEET NO: 465
 DATE: 04/15/2014

'D' ELEVATION

CERTIFIED SURVEY MAP

PART OF LOT 1, CERTIFIED SURVEY MAP NO. 10769, RECORDED IN VOLUME 64 OF CERTIFIED SURVEY MAPS OF DANE COUNTY, WISCONSIN, PAGE 108, AS DOCUMENT NUMBER 3726206, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN. EXCLUDING THAT PART USED FOR SPRING CREEK CONDOMINIUM RECORDED IN DOCUMENTS No. 3920074 & 4058573 & 4183533, ALL IN THE SW 1/4 OF THE SW 1/4 OF SECTION 12, T6N, R8E, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN



BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM DANE ZONE, NAD 83(1997).
 GRID NORTH



LEGEND

- FOUND IRON PIPE
 - FOUND 3/4" x 18" SOLID IRON ROD
 - 3/4" x 18" SOLID IRON ROD SET, WT. 1.50 lbs./ft.
 - FOUND CITY OF MADISON MONUMENT WITH BRASS CAP
 - LOT CORNER ELEVATION (NAVD '88)
- DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.

DRAINAGE PER APPROVED PUD (SEE Pg. 2)
 UTILITY EASEMENTS AS HEREIN SET FORTH ARE FOR THE USE OF PUBLIC BODIES AND PRIVATE PUBLIC UTILITIES HAVING THE RIGHT TO SERVE THE AREA.
 ELEVATIONS ARE BASED ON NAVD 88 DATUM

MAP NO. _____
 DOCUMENT NO. _____
 VOLUME _____ PAGE _____

SURVEYED FOR:
 CORNERSTONE DEVELOPMENT II
 c/o TOM ELLEFSON
 1018 GAMMON LANE, STE 1
 MADISON, WI 53726

SURVEYED BY:
 ISTHMUS SURVEYING, LLC
 450 N. BALDWIN STREET
 MADISON, WI 53703
 (608) 244.1090
 www.isthmussurveying.com

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CERTIFIED SURVEY MAP

PART OF LOT 1, CERTIFIED SURVEY MAP NO. 10769, RECORDED IN VOLUME 64 OF CERTIFIED SURVEY MAPS OF DANE COUNTY, WISCONSIN, PAGE 108, AS DOCUMENT NUMBER 3726206, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN. EXCLUDING THAT PART USED FOR SPRING CREEK CONDOMINIUM RECORDED IN DOCUMENTS No. 3920074 & 4058573 & 4183533, ALL IN THE SW $\frac{1}{4}$ OF THE SW $\frac{1}{4}$ OF SECTION 12, T6N, R8E, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN

I, Paul A. Spetz, Registered Land Surveyor for Isthmus Surveying LLC, hereby certify: that under the direction of Otto C. Gebhardt III, of THE CONSTELLATION PROJECT LLC, owner of said land, I have surveyed, divided, mapped and dedicated the following parcel(s) of land:

LOT 1, CERTIFIED SURVEY MAP NO. 10769, RECORDED IN VOLUME 64 OF CERTIFIED SURVEY MAPS OF DANE COUNTY, WISCONSIN, PAGE 108, AS DOCUMENT NUMBER 3726206, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN. EXCLUDING THAT PART USED FOR SPRING CREEK CONDOMINIUM RECORDED IN DOCUMENTS NO 3920074 & 4058573 & 4183533.

Measured Description as Surveyed (Wisconsin County Coordinate System-Dane County (1991):

Commencing at the West $\frac{1}{4}$ Corner of said Section 12, thence S 00°02'48" W, along the West line of the NW $\frac{1}{4}$ of the SW $\frac{1}{4}$ of Said Section 12, 1318.98 feet; thence N 89°52'03" E, along the north line of the SW $\frac{1}{4}$ of the SW $\frac{1}{4}$ of said Section 12, 870.28 feet and the point of beginning of this Description: thence N 89°52'03" E, along the northerly platted boundary line of said Certified Survey Map No. 10769, 245.60 feet; thence S 00°19'33" W, 90.14 feet; thence S 55°50'27" W, 152.61 feet; thence N 34°08'01" W, along the Southerly platted boundary line of said Lot 1, Certified Survey Map No. 10769, said line also being the Northerly platted right-of-way line of Fairhaven Road, 211.73 feet to the point of beginning. This Survey description contains 27,225 square feet, or 0.62 acres.

I further certify that the map on sheet one (1) is a correct representation of the exterior boundaries of the land surveyed and that I have fully complied with the provisions of Chapter 236.34 of the State Statutes and the Land Division Ordinance of the City of Madison in surveying, dividing, mapping and dedicating the same.

Dated this _____ day of _____, 2012.

Paul A. Spetz, S 2525

1. Arrows indicate the direction of surface drainage swale at individual property lines. Said drainage swale shall be graded with the construction of each principal structure and said drainage swale maintained by the lot owner unless modified with the approval of the City Engineer. Elevations given are for property corners at ground level and shall be maintained by lot owner.

2. All lots within this survey are subject to a public easement for drainage purposes which shall be a minimum of 6-feet in width measured from the property line to the interior of each lot except that the easement shall be 12-feet in width on the perimeter of the certified survey map. Easements shall not be required on property lines shared with green ways or public streets. No structures may be constructed within said easement and no other obstructions to drainage, including landscaping are permitted without the prior written approval of the City Engineer.

NOTE: In the event of the City of Madison Plan Commission and/or Common Council approve re-division of a previously subdivided property, the underlying public easements for drainage purposes are released and replaced by those required and created by the current approved subdivisions. THIS PARCEL WILL BE SUBJECT TO APPROVED PLANNED UNIT DEVELOPMENT AND APPROVED DRAINAGE STORM WATER MANAGEMENT PLAN.

3. All lots created by this Certified Survey Map are individually responsible for compliance with Chapter 37 of the Madison General Ordinances in regard to storm water management at the time they develop.

4. Lands in this Certified Survey Map are subject to the following Recorded instruments: Doc. No. 3817835, 3817836.

CITY OF MADISON COMMON COUNCIL CERTIFICATE

Resolved that this certified survey map located in the City of Madison was hereby approved by Enactment Number, File I.D. Number _____, adopted on the _____ day of _____, 2012, and that said resolution further provided for the acceptance of those lands dedicated and rights conveyed by said Certified Survey Map to the City of Madison for Public use.

Dated this _____ day of _____, 2012.

Maribeth Witzel-Behl, City Clerk
Clerk of the City of Madison, Dane County Wisconsin

MAP NO. _____

DOCUMENT NO. _____

VOLUME _____ PAGE _____

SURVEYED FOR:
CORNERSTONE DEVELOPMENT II
c/o TOM ELLEFSON
1018 GAMMON LANE, STE 1
MADISON, WI 53726

SURVEYED BY:
ISTHMUS SURVEYING, LLC
450 N. BALDWIN STREET
MADISON, WI 53703
(608) 244.1090
www.isthmussurveying.com

CERTIFIED SURVEY MAP

PART OF LOT 1, CERTIFIED SURVEY MAP NO. 10769, RECORDED IN VOLUME 64 OF CERTIFIED SURVEY MAPS OF DANE COUNTY, WISCONSIN, PAGE 108, AS DOCUMENT NUMBER 3726206, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN. EXCLUDING THAT PART USED FOR SPRING CREEK CONDOMINIUM RECORDED IN DOCUMENTS No. 3920074 & 4058573 & 4183533, ALL IN THE SW ¼ OF THE SW ¼ OF SECTION 12, T6N, R8E, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN

OWNERS CERTIFICATE:

I, Thomas J. Ellefson, of CORNERSTONE DEVELOPMENT LLC, hereby certify that we have caused the land described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented on the Map hereon. I further certify that this Certified Survey Map is required by Chapter 236.34 of the State Statutes and to be submitted to the City of Madison for approval. Witness the hand and seal of said owner this day of _____, 2012.

By: _____
Thomas J. Ellefson, authorized representative

State of Wisconsin)
)ss
County of Dane)

Personally came before me this _____ day of _____, 2012, the above named Thomas J. Ellefson, to me known to be the person who executed the foregoing instrument and acknowledged the same.

My Commission expires: _____
Notary Public, State of Wisconsin

CONSENT OF MORTGAGEE CERTIFICATE:

Anchor Bank FSB, a banking association duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedicating of the lands described on this Certified Survey Map, and does hereby consent to the owner's Certificate.

IN WITNESS WHEREOF, the said Anchor Bank FSB, has caused these presents to be signed below,

signed: _____ dated: _____
signed: _____ dated: _____

State of Wisconsin)ss
County of Dane)

Personally came before me this _____ day of _____, 2012, the above named _____, and _____ to me known to be the persons who executed the foregoing instrument and acknowledged the same.

My Commission expires: _____ Signed: _____
Notary Public, State of Wisconsin

CITY OF MADISON PLAN COMMISSION CERTIFICATE

Approved for recording per the Secretary of the City of Madison Plan Commission.

Signed: _____
Steven R. Cover, Secretary Plan Commission

REGISTER OF DEEDS CERTIFICATE

Received for recording on this _____ day of _____, 2012, at _____ o'clock _____ m. and recorded in recorded in Volume _____ of Certified Survey Maps on pages _____.

Kristi Chlebowski, Dane County Register of Deeds

MAP NO. _____
DOCUMENT NO. _____
VOLUME _____ PAGE _____

SURVEYED FOR:
CORNERSTONE DEVELOPMENT II
c/o TOM ELLEFSON
1018 GAMMON LANE, STE 1
MADISON, WI 53726

SURVEYED BY:
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450 N. BALDWIN STREET
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5