

Ryan Signs, Inc.

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February 3, 2011

TO: Mr. Al Martin
On behalf of the City of Madison Urban Design Commission

FROM: Mary Beth Growney Selene
Serving as agent for Madison Family Dental Associates, S.C.
5709 Odana Road

RE: **Addendum and Responses to Zoning Administrator Matt Tucker's Comments**

Dear Member's of the Urban Design Commission;

We appreciate having the opportunity to provide this addendum to our original submittal for the February 2, 2011 UDC meeting and to also provide a response to Zoning Administrator Matt Tucker's comments noted below.

RESPONDING TO ZONING ADMINISTRATOR MATT TUCKER

Our specific responses to Matt Tucker's comments are shown below in **BLUE CAPS**.

From: "Tucker, Matthew" <MTucker@cityofmadison.com>
Date: Tue, 1 Feb 2011 13:21:52 -0600
To: "Martin, Al" <AMartin@cityofmadison.com>
Cc: Mary Beth Growney Selene <mbgrowneyselene@ryansigns.net>
Subject: UDC CDR, Madison Family Dental, 5709 Odana Road

Al, I have reviewed the materials submitted for this case, please share the following comments with the UDC at the meeting relative to the sign ordinance:

1. The submission shows two alternative signage allowances for the west elevation, and I'm not clear what is being proposed. I think they have chosen to show the east elevation wall on the west elevation, for context, and are not asking for that sign. These are the two references:
 - o 1B.1 and 1B.2 , for a logo, which is described in the text. **DELETE DESIGNS 1A, 1B.1 AND 1C FROM OUR ORIGINAL SUBMITTAL. REGARDING THE WEST ELEVATION, THE ONLY DRAWING TO BE CONSIDERED AS PART OF THIS CDR IS DESIGN 1B.2**
 - o 1C , which is a rendering of a sign proposed for the east wall elevation, as it could be placed on the west wall. I think this is shown for context purposes. **WE HAD ORIGINALLY CONSIDERED A WALL SIGN, IDENTICAL TO THE EAST ELEVATION, FOR THE WEST ELEVATION REQUEST. WE HAVE AMENDED OUR SUBMITTAL TO REQUEST APPROVAL FOR A BLACK, REVERSE CHANNEL LOGO MODULE, BACK-LIT USING WHITE LED.**

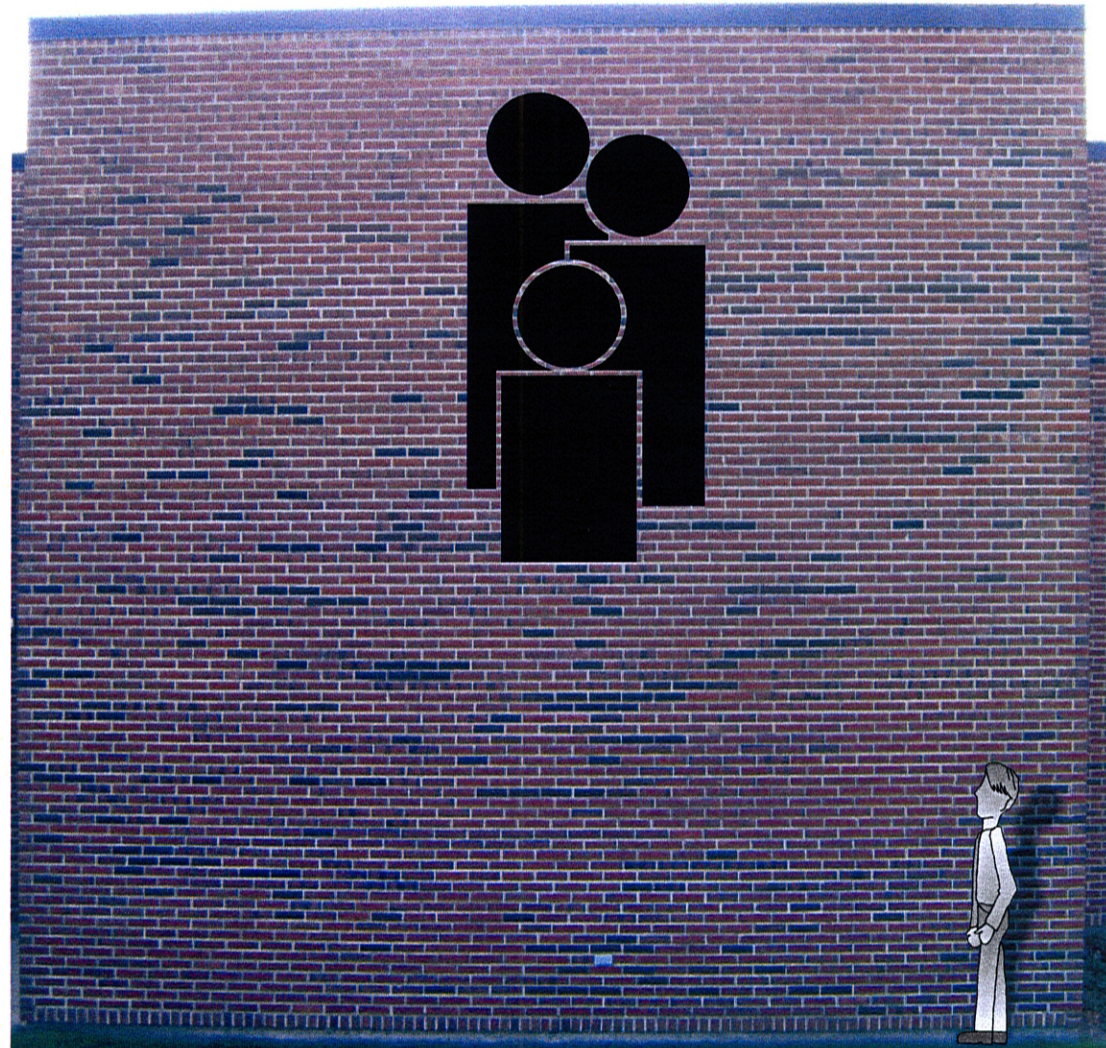
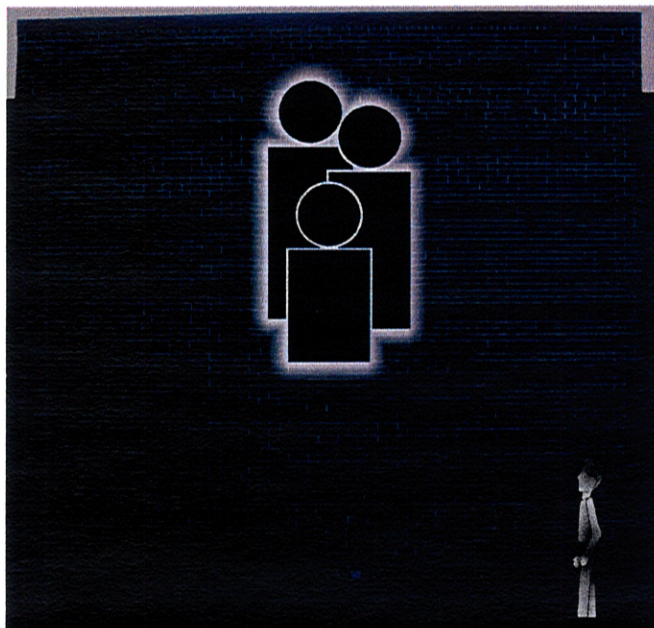
2. The size of the logo is within what would be otherwise allowed by ordinance for this wall, if it qualified as a signable area. Since it is not adjacent to a qualifying parking area, it is not. **DUE TO THE NATURAL AND MATURE LANDSCAPING ON THE SITE, MADISON FAMILY DENTAL IS GIVING UP THE OPTION FOR A WALL SIGN ON THE SOUTH AND NORTH ELEVATIONS IN ORDER TO PLACE THEIR LOGO (ONLY) ON THE WEST BUILDING ELEVATION. AS PART OF THE CDR APPROVAL, WE WOULD AGREE TO A MOTION THAT NO WALL SIGNS BE ALLOWED ON THE SOUTH OR NORTH ELEVATIONS.**

**NEW ATTACHMENT:
-DESIGN 1B.2 (WEST ELEVATION)**

Otherwise, the submittal appears consistent with MGO 31.

Matt Tucker
Zoning Administrator
Department of Planning and Community and Economic Development
Building Inspection Division
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PO Box 2984
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1B.2



West Elevation