



March 4, 2020

Heather Stouder
Department of Planning & Development
City of Madison
215 Martin Luther King, Jr. Blvd.
Madison, WI 53710-2985

RE: 6114 Driscoll Drive (see list)
Grandview Commons Twin Home: Conditional Use Permit

Dear Heather,

The following document and illustrative graphics outline Veridian Homes' request Conditional Use approval for the creation of a Planned Residential Development for the condominium twin home project. This project is consistent with the adopted TR-P Master Plan for the property and completes the review necessary to implement the project.

All proposed units would meet the architectural standards of the adopted Northeast Grandview Commons TR-P and lot requirements of the City of Madison Zoning Code. This project will be implemented in multiple phases based on property sales. The final architectural treatments will incorporate up to four elevations (per the attached plans) with numerous material/color choices; all of which will be determined by purchaser preference at time of construction. Properties within the phases will also be subject to review by the Veridian Homes Architectural Control Committee.

We look forward to working with the City on the review and implementation of this amendment.

Sincerely,

A handwritten signature in black ink, appearing to read "Brian Munson", is positioned above the printed name and title.

Brian Munson
Principal

120 East Lakeside Street • Madison, Wisconsin 53715 • 608.255.3988 • 608.255.0814 Fax
247 Freshwater Way, Suite 530 • Milwaukee, Wisconsin 53204 • 414.988.8631
www.vandewalle.com

Shaping places, shaping change

Legal Description:

Lots 1016 through 1022, Northeast Addition to Grandview Commons, recorded in Volume 60-093A of Plats on pages 512-515 as Document Number 5420979, Dane County Registry, located in the NW1/4 of the SE1/4 of Section 2, T7N, R10E, City of Madison, Dane County, Wisconsin.
Containing 2.773 acres.

Twin Home Parcels:

Address/PIN Numbers:	6114 Driscoll Drive	0710-0241-716-3
	6126 Driscoll Drive	0710-0241-715-5
	6138 Driscoll Drive	0710-0241-714-7
	6146 Driscoll Drive	0710-0241-713-9
	6158 Driscoll Drive	0710-0241-712-1
	6170 Driscoll Drive	0710-0241-711-3
	6204 Driscoll Drive	0710-0241-410-5

Adopted TR-P Master Plan: Condominium Twin Homes 24

Existing Context





Brian Munson

From: Lemmer, Lindsay <district3@cityofmadison.com>
Sent: Monday, February 10, 2020 1:51 PM
To: Brian Munson; Barbara Davis
Subject: Re: Grandview Commons Northeast Twinhomes: CUP application

Hi everyone,

I'm okay with providing a 30-day waiver, and keen to hear what can be done to accommodate North Star Neighborhood Association's request.

Thank you,

Lindsay

Lindsay Lemmer
District 3 Alder
she/her/hers
district3@cityofmadison.com
Sign up for updates from the District 3 blog:
<http://www.cityofmadison.com/Council/district3/blog/>

From: Barbara Davis <wumpus30@yahoo.com>
Sent: Saturday, February 8, 2020 7:40 AM
To: Brian Munson; Lemmer, Lindsay
Subject: Re: Grandview Commons Northeast Twinhomes: CUP application

Hello Brian,

We like this proposal much better than the previously planned fourplex units and want to support it.

We have a question for you. Since its a condo, does Veridian have any input into the covenants/by laws?

We would like to request a provision that places a limit on what % of total units in the condos could be rented to another party and for what period of time. As I am sure you know, many condo associations have similar provisions in place to prevent their condos from eventually becoming investments that are not owner occupied and bring renters who dont have the same ideas about maintenance, and behaviour that a home owner might have. Other condo associations have capped their rentals at 20% of total units and placed a time limit of mostly around 2 yrs which enables people who are on sabbatical, or a visiting professorship, internship etc to leave their unit without losing money.

Understanding that these issues arise years on from the initial occupants, its a good idea now to have the provision when people are interested in living in their unit vs using it for extra income.

Also, would like to see a provision that includes waste receptacles for pet waste and plan for pickup/maintenance of the waste cans.

Given that these units are adjacent to many other rentals and the Harmony, we felt it important to inquire now. Any information you can provide us would be helpful in supporting this project.

Thank you.
Barbara Davis

Northstar President

On Friday, February 7, 2020, 08:38:35 AM CST, Brian Munson <bmunson@vandewalle.com> wrote:

To all,

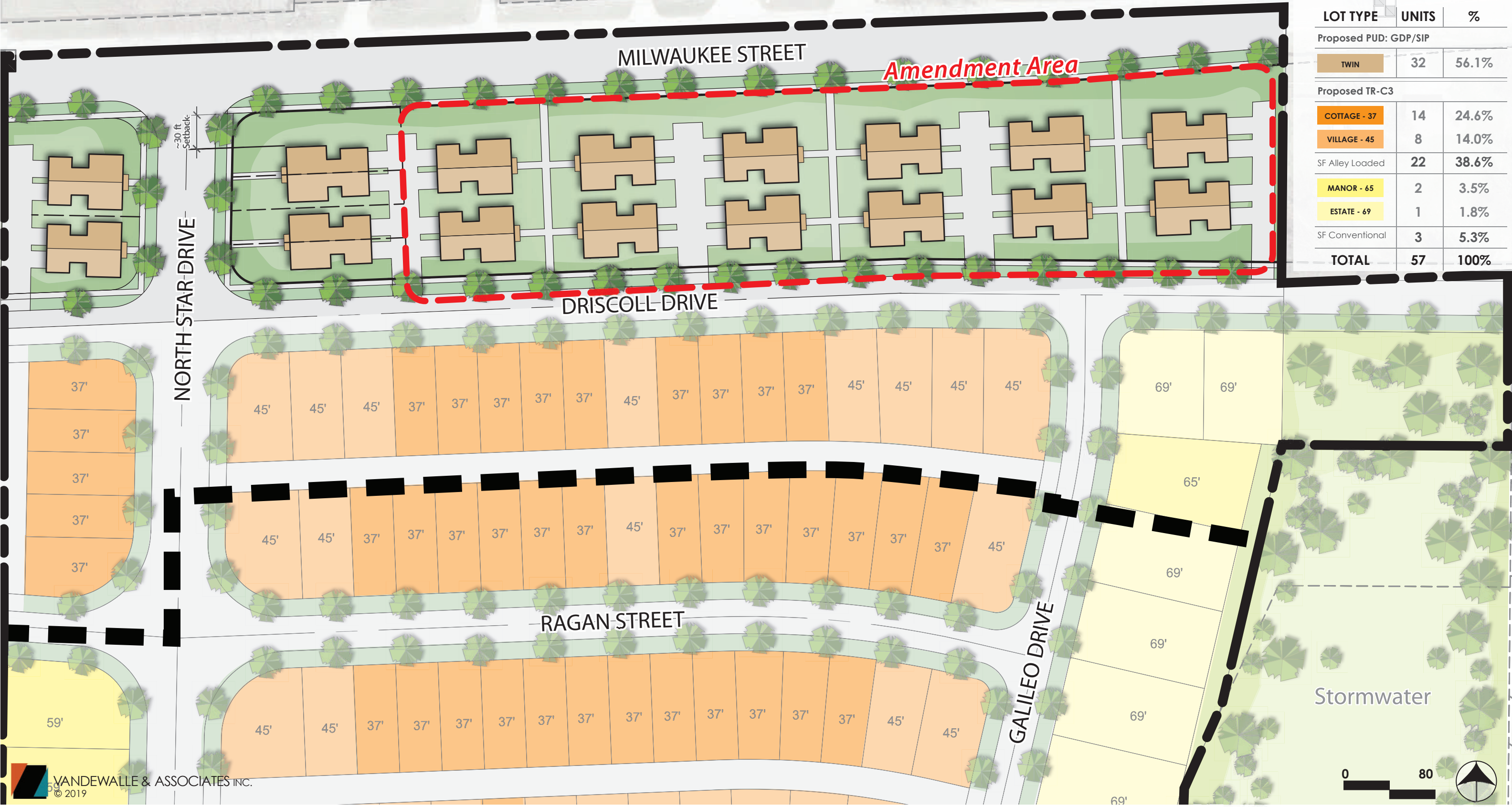
The staff report for the twinhome amendment (for discussion at Monday's Plan Commission) has required a Conditional Use Application (CUP) for the twin homes, in addition to the TR-P Master Plan Amendment. This requirement is due to the use of the condominium plat which places multiple buildings on one lot. The CUP will include detailed site, landscape, and building plans but will not change the proposed use, configuration, or unit count. Veridian Homes is working towards the creation of the detailed plans necessary for the CUP and would like to request a minor waiver (short by 4 days) of the 30 day notification to submit the CUP on March 4th. This submittal date would lead to an Urban Design Commission meeting on April 29th and Plan Commission on May 11th. Veridian's goal is to break ground on the first set of units in May.

Please let me know if you have any concerns about the notification waiver or if you have any questions. We will send a copy of the CUP to you once it is prepared.

Thank you,

Brian Munson

Vandewalle & Associates
120 East Lakeside Street
Madison, WI 53715
608.255.3988



LOT TYPE	UNITS	%
Proposed PUD: GDP/SIP		
TWIN	32	56.1%
Proposed TR-C3		
COTTAGE - 37	14	24.6%
VILLAGE - 45	8	14.0%
SF Alley Loaded	22	38.6%
MANOR - 65	2	3.5%
ESTATE - 69	1	1.8%
SF Conventional	3	5.3%
TOTAL	57	100%


VANDEWALLE & ASSOCIATES INC.
 © 2019

MILWAUKEE STREET

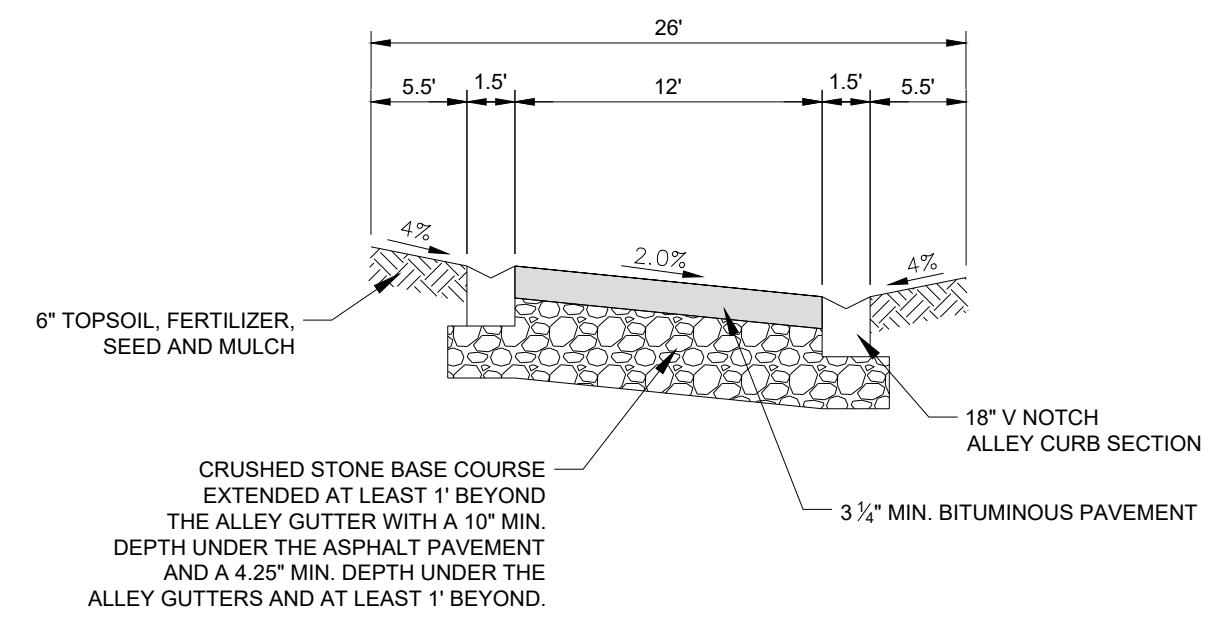
DRISCOLL DRIVE

GENERAL NOTES

1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY
4. IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT. IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION
6. CURB RADII DIMENSIONS TO BACK OF CURB UNLESS OTHERWISE NOTED
7. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY AND IS DAMAGED BY CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE.

ZONING AND SETBACKS

TR-P DISTRICT: ALL UNITS
SIDE YARD = 5 FEET
SIDE YARD (SECOND) = 8' AND 10' FOR GARAGE



TYPICAL ALLEY SECTION

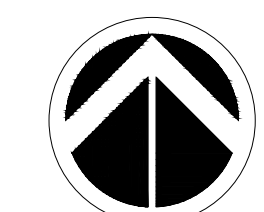
LEGEND

- EXISTING CONCRETE SIDEWALK
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- 18" V-NOTCH ALLEY CURB
- PROJECT BOUNDARY
- LOT LINE
- EASEMENT LINE
- SETBACK LINE

THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER RECOMMENDATION / PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

SITE PLAN

NORTHEAST ADDITION TO GRANDVIEW COMMONS
TWIN HOME CONDOMINIUMS
DRISCOLL DRIVE, MADISON, WI



SCALE: 1" = 30'

DATE: 03-03-2020
REVISED:

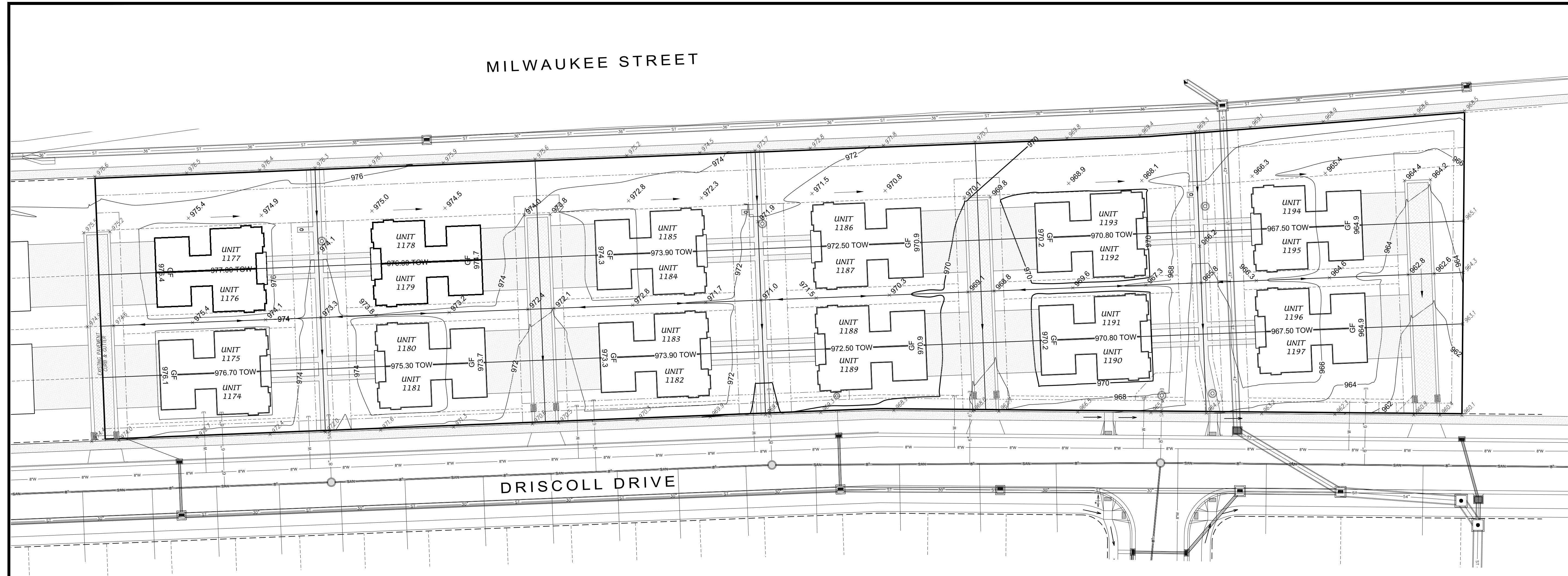
DRAWN BY: WFK

FN: 19-05-144

Sheet Number:

C100

D'ONOFRIO KOTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT



GRADING & EROSION CONTROL NOTES

- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN DNR TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
- EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. IF DETERMINED NECESSARY DURING CONSTRUCTION ADDITIONAL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
- NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
- EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER
- INSTALL INLET PROTECTION IN ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS. CONTRACTOR SHALL REMOVE THE TYPE D INLET PROTECTION DURING THE TIME PERIOD BETWEEN NOV. 15 AND MARCH 15, AND INSTALL A FRAME TYPE INLET PROTECTION BAG THAT WILL NOT PROJECT ABOVE THE INLET GRATE SUCH AS FLEX STORM BRAND OR EQUIVALENT.
- CUT AND FILL SLOPES SHALL BE NO GREATER THAN 2:1
- SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.
- ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
- ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY STABILIZATION METHODS SUCH AS TEMPORARY SEEDING, SOIL TREATMENT, EROSION MATTING, OR MULCH
- PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
- AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 SQFT ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 1 1/2 POUNDS PER 1000 SQFT SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST. SEE LANDSCAPE PLAN FOR A MORE DETAILED PLANTING PLAN AND LANDSCAPE DETAILS.
- GROUNDWATER DEWATERING IS NOT ANTICIPATED DURING THE CONSTRUCTION ACTIVITIES. SHOULD DEWATERING BECOME NECESSARY, AN APPROPRIATE DEWATERING SYSTEM AND IMPLEMENTATION PLAN SHALL BE PREPARED AND SUBMITTED TO CITY ENGINEERING PRIOR TO A QUALIFIED CONTRACTOR BEGINNING DEWATERING OPERATIONS.

GENERAL NOTES

- ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
- CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
- BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY
- IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT. IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
- CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION
- CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY AND IS DAMAGED BY CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE.

SEQUENCE OF CONSTRUCTION

- 04/01/2020 INSTALL EROSION CONTROL
04/02/2020 ROUGH SITE GRADING
05/01/2020 BEGIN SITE GRADING, UTILITIES, BUILDING AND SITE CONSTRUCTION
07/01/2020 COMPLETE BUILDING BACKFILL, BEGIN FINE GRADING
09/01/2020 COMPLETE FINAL RESTORATION
11/01/2020 REMOVE EROSION CONTROL FROM STABILIZED SITE

LEGEND

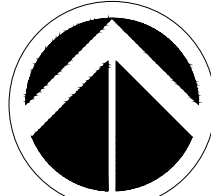
- BUILDING ENVELOPE
----- EASEMENT
+ 9600.0 FINAL LOT LINE ELEVATION TO BE MET w/RESTORATION OF HOMESITE
+ 9600.0 EXISTING SPOT ELEVATION
GF GARAGE FLOOR ENTRANCE ELEV
964.9 TOP OF FOUNDATION WALL ELEV
967.5 TOW
DRAINAGE ARROW

ZONING AND SETBACKS

TR-P DISTRICT: ALL UNITS
SIDE YARD = 5 FEET
SIDE YARD (SECOND) = 8' AND 10' FOR GARAGE

GRADING PLAN

NORTHEAST ADDITION TO GRANDVIEW COMMONS
TWIN HOME CONDOMINIUMS
DRISCOLL DRIVE, MADISON, WI



SCALE: 1" = 30'
0 30

DATE: 03-03-2020
REVISED:

DRAWN BY: WFK

FN: 19-05-144

Sheet Number:

C200

D'ONOFRIO KOTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

MILWAUKEE STREET

DRISCOLL DRIVE

SITE UTILITY NOTES

1. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. PROTECTION OF EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY.
2. ALL SITE UTILITY WORK SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
3. CONTRACTOR TO COORDINATE ELECTRIC, GAS, PHONE & CABLE INSTALLATION WITH THE RESPECTIVE UTILITY COMPANIES.
4. WATER MAIN SHALL HAVE A MINIMUM 6.5' BURY TO TOP OF PIPE.
5. WATER MAIN TO BE 4" C900 WITH 1" POLY SERVICE LINES.
6. FLUSH TYPE HYDRANTS TO BE MUELLER® 2-1/8" FLUSH TYPE FIRE HYDRANT WITH 6.5' BURY.
7. CONTRACTOR TO COORDINATE SANITARY LATERAL AND WATER SERVICE ROUTING AND BUILDING CONNECTION WITH PLUMBING PLANS PRIOR TO CONSTRUCTION.
8. UTILITY CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITY GRADES AND NOTIFY THE PROJECT SUPERINTENDENT IF A CONFLICT ARISES WITH THE INSTALLATION OF NEW UTILITIES.
9. INLETS TO BE 2' X 3' INLET BOXES WITH NEENAH R-3067 COMBINATION INLET FRAME, GRATE UNLESS OTHERWISE NOTED.
10. STORM MANHOLES TO BE 48" DIAMETER MANHOLE WITH NEENAH R-1550A FRAME WITH SOLID LID UNLESS OTHERWISE NOTED.
11. STORM PIPES IN CITY OF MADISON RIGHT-OF-WAY TO BE REINFORCED CONCRETE PIPE. ALL OTHER STORM PIPE TO BE N-12 UNLESS OTHERWISE NOTED..
12. ROOF DRAIN STORM PIPES TO BE N-12 @ 1.0% UNLESS OTHERWISE SHOWN.
13. SEWER AND WATER LATERAL LENGTHS SHOWN INTO BUILDINGS INCLUDE A 5 FEET EXTENSION BEYOND OUTSIDE FOUNDATION WALL

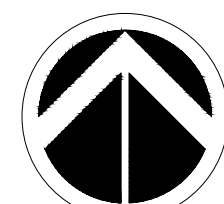
LEGEND

	STORM SEWER
	SANITARY SEWER
	WATER MAIN
	MUELLER® 2-1/8" FLUSH HYDRANT
	MANHOLE
	CURB INLET

SITE UTILITY PLAN

NORTHEAST ADDITION TO GRANDVIEW COMMONS
TWIN HOME CONDOMINIUMS
DRISCOLL DRIVE, MADISON, WI

D'ONOFRIO KOTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT



SCALE: 1" = 30'
0 30

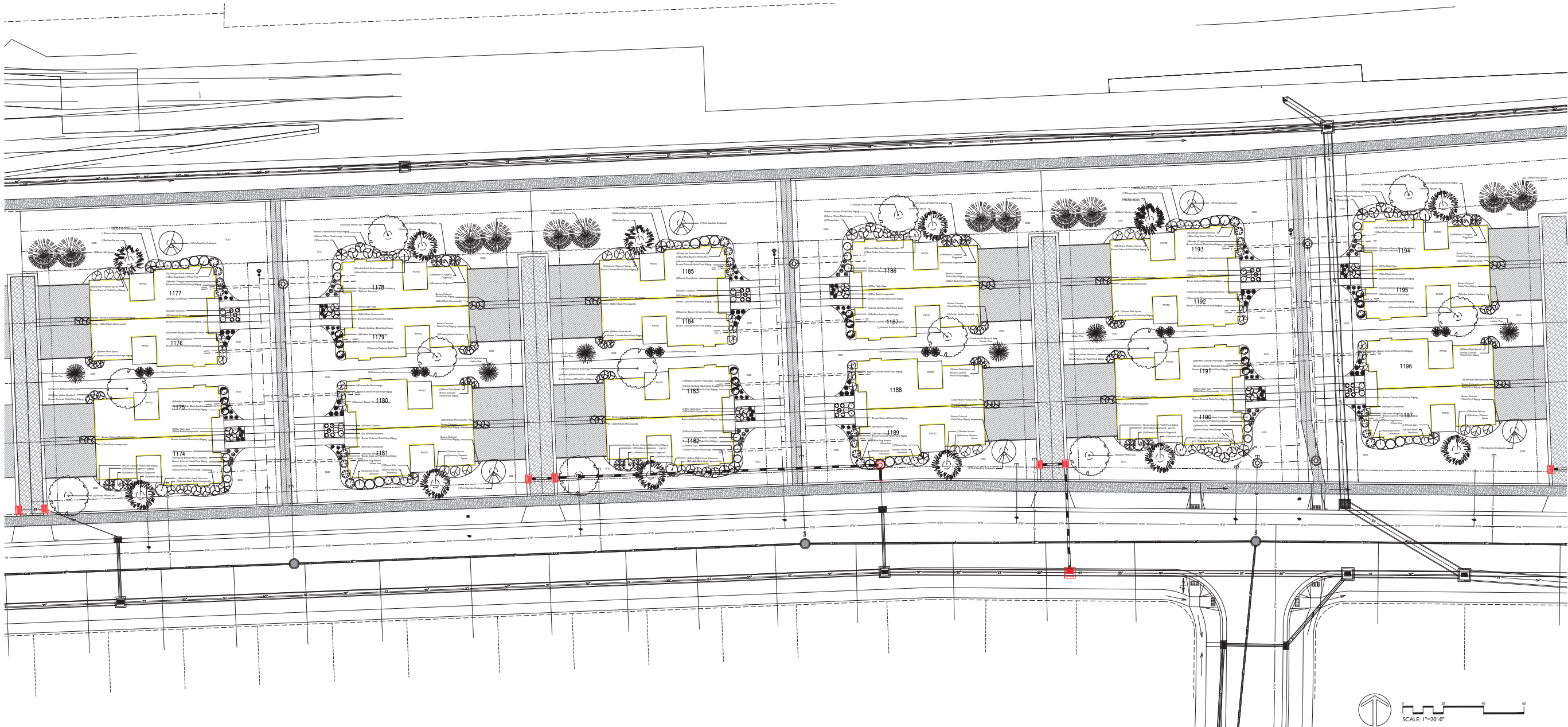
DATE: 03-03-2020
REVISED:

DRAWN BY: WFK

FN: 19-05-144

Sheet Number:

C300



Default Plant Table

Broadleaf Deciduous

Quantity	Symbol	Scientific Name	Common Name	Code Name	Planting Size
6		Acer Rubrum 'autumn Radiance'	Autumn Radiance Red Maple	ARRM	2" B&B
6		Malus 'pink Sparkles'	Pink Sparkles Crabapple	PSKC	2" B&B
6		Quercus Bicolor	Swamp White Oak	SWO	2" B&B

Conifer Evergreen

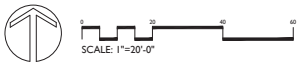
Quantity	Symbol	Scientific Name	Common Name	Code Name	Planting Size
12		Picea Glauca Var Densata	Black Hills Spruce	BHS	4' B&B
4		Picea Omorika	Serbian Spruce	SES	4' B&B
9		Picea Omorika	Serbian Spruce	SES	8' B&B
6		Pinus Flexilis 'vanderwolf's Pyramid'	Vanderwolf's Pyramid Limber Pi	VPLP	5' B&B
6		Pinus Strobus 'blue Shag'	Blue Shag Eastern White Pine	BSEWP	#3 CONT.
12		Thuja Occidentalis 'holmstrup'	Holmstrup Arborvitae	HA	#5 CONT.

Perennial

Quantity	Symbol	Scientific Name	Common Name	Code Name	Planting Size
30		Allium 'summer Beauty'	Summer Beauty Ornamental Onion	SBA	#1 CONT.
30		Calamintha Nepeta Ssp. Nepeta	Lesser Calamint	LCA	#1 CONT.
30		Echinacea Purpurea 'magnus'	Purple Coneflower	MPCF	.45 CONT.
30		Geranium 'orion'	Orion Geranium	OG	#1 CONT.
30		Rudbeckia Ful Var Sullivan 'little Goldstar'	Little Goldstar Black-Eyed Sus	LGBS	#1 CONT.
30		Salvia Nemorosa 'mainacht'	May Night Sage	MNMS	#1 CONT.

Shrub

Quantity	Symbol	Scientific Name	Common Name	Code Name	Planting Size
18		Aronia Melanocarpa 'morton'	Inokupis Beauty Black Chokeber	IBBC	#2 CONT.
18		Berberis Thunb Atrop 'moretti Select'	Cabernet Barberry	CAB	#2 CONT.
6		Cornus Sericea 'alleman's'	Alleman's Compact Dogwood	ACD	#5 CONT.
12		Cornus Sericea 'baildelaine'	Firedance Dogwood	FD	#5 CONT.
42		Diervilla Lonicera	Dw/ Bush-Honeysuckle	DBH	#2 CONT.
18		Diervilla Rivularis 'smndrsf'	Kodiak Black Bush-Honeysuckle	KBBH	#3 CONT.
18		Exochorda X Macrantha 'bailmoon'	Lotus Moon Pearl Bush	LMP	#2 CONT.
18		Hydrangea Macro 'bailmer'	Endless Summer Hydrangea	ESH	#2 CONT.
18		Philadelphus 'snowbelle'	Snowbelle Mockorange	SBM	#2 CONT.
18		Philadelphus 'snowwhite Fantasy'	Snow White Mockorange	SWM	#5 CONT.
18		Physocarpus Opulifolius 'jefam'	Amber Jubilee Ninebark	AJN	#5 CONT.
18		Spiraea Japonica 'anthony Waterer'	Anthony Waterer Spirea	AWS	#2 CONT.
18		Spiraea Japonica 'neon Flash'	Neon Flash Spirea	NFS	#2 CONT.
12		Syringa X Prestoniae 'minuet'	Minuet Lilac	MIL	4' B&B
6		Viburnum Dentatum 'christom'	Blue Muffin Arwd Viburnum	BMAV	#5 CONT.
18		Viburnum Dentatum 'ldmsevenleen'	Little Joe Arwd Viburnum	LJAV	#5 CONT.
18		Weigela Florida 'rumba'	Rumba Weigela	RW	#2 CONT.



TWIN HOME RESIDENCE

LOT 1174-1197
Discoll Drive
Madison, WI 53718

Checked By: MM
Drawn By: 3/2/20 DK
3/2/20 DK
Revised:
Revised:
Revised:
Revised:
Revised:
Revised:
Revised:



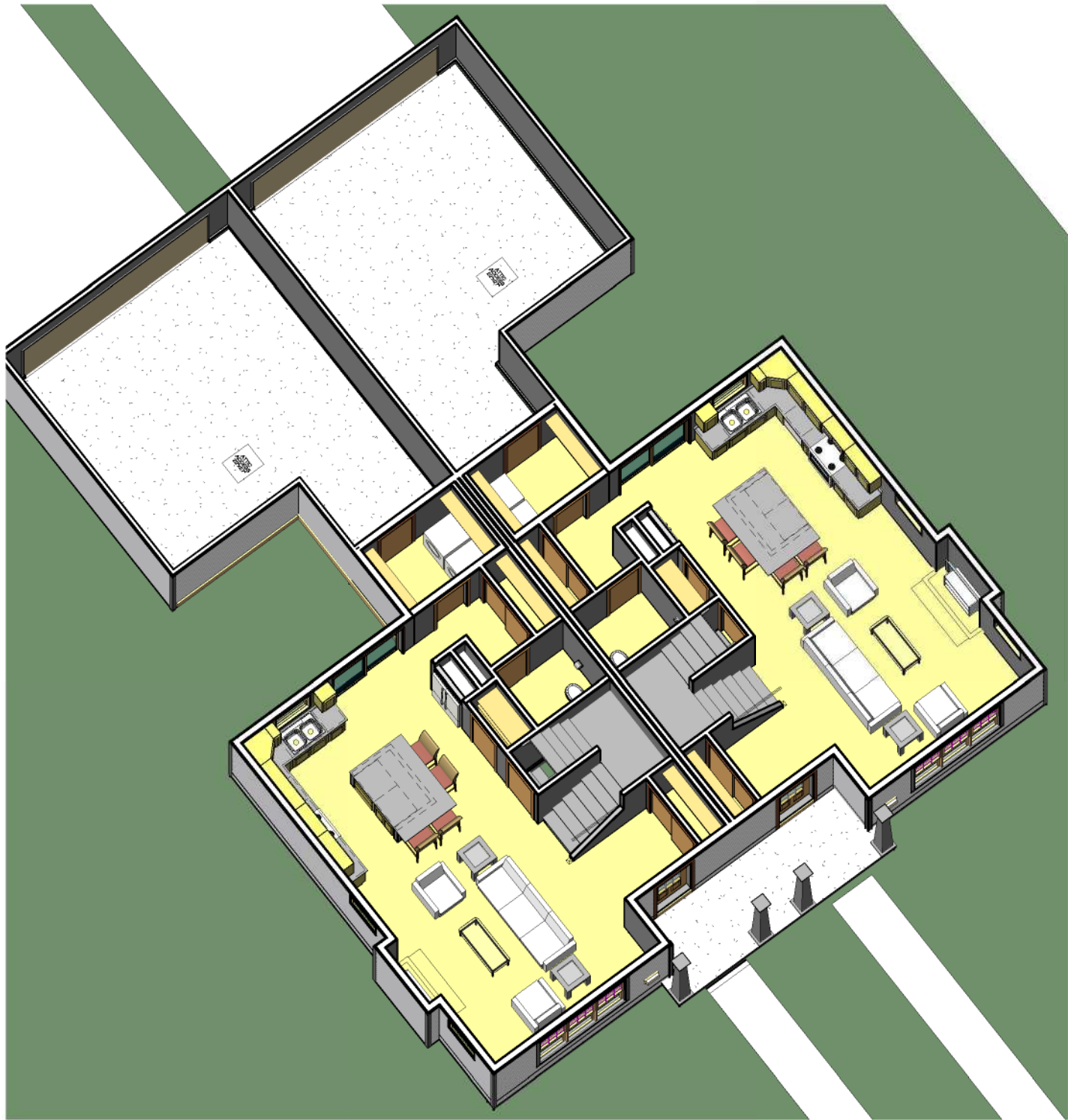
3D - Craftsman



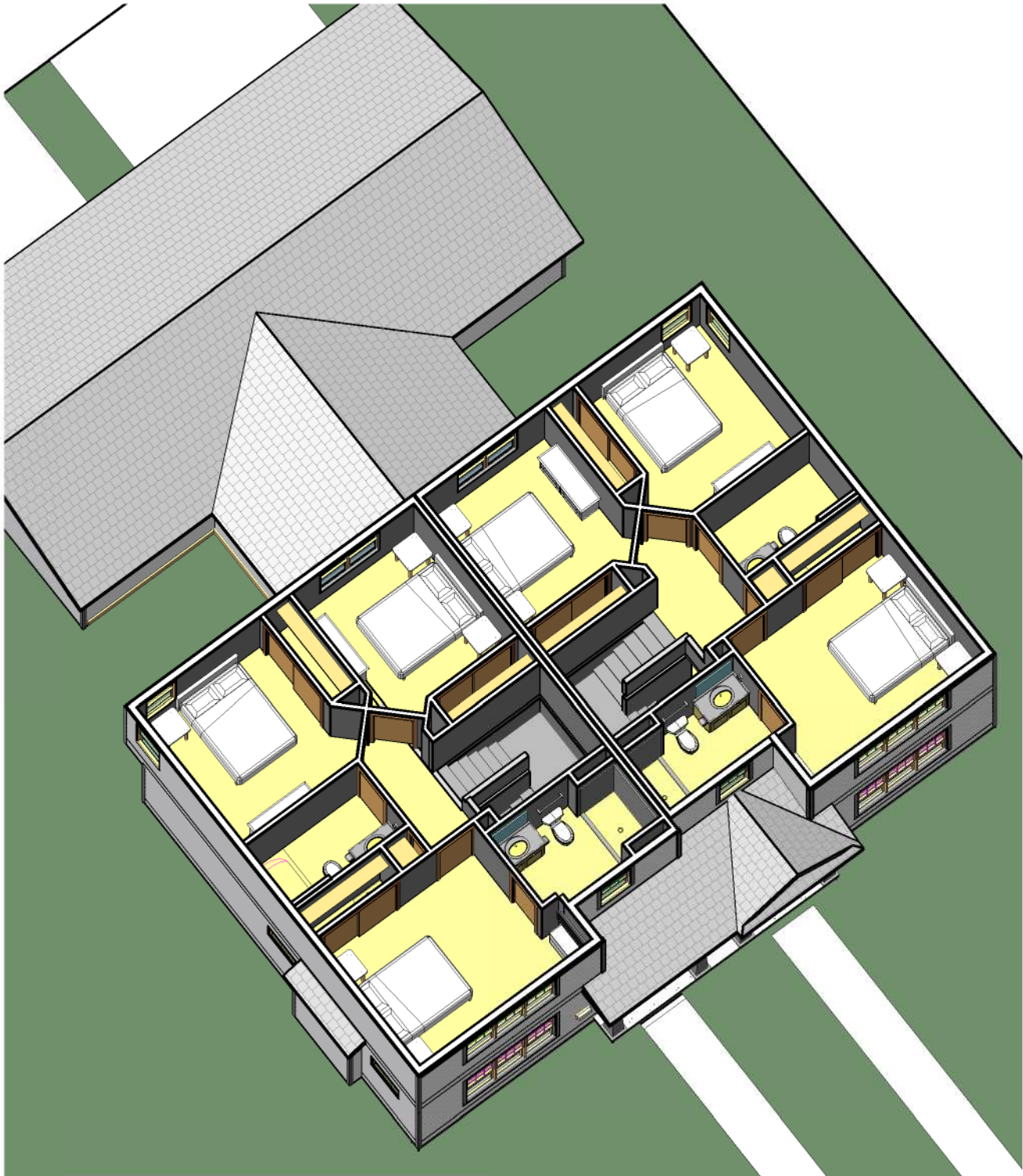
3D Rear View - Craftsman

Do Not Scale Note: All dimensions are stud to stud
Actual floor plans & exterior styles may differ from these shown based on
modifications, options & improvements to the plans by the builder.
Room dimensions, features & actual square footage vary by exterior style and options.

 VERIDIAN HOMES		Custom Designed For: Owner	
6801 South Towne Drive Madison, WI 53713 Phone 608.226.3100 Fax 608.226.0600		Homesite / Neighborhood: Project Number	
		Address: Enter address here	
		Customer Approval:	
		©Copyright 2008 Veridian Management Solutions LLC Protected Under Architectural Works Copyright Protection Act of 1990.	
Model: EMERSON			
Elevation: Craftsman			
Drawn By: Author		Date: Issue Date	
Print Date: 12/20/2019 5:37:29 AM			
Drawing No.: CRO			



3D First Floor - Craftsman



3D Second Floor - Craftsman

Do Not Scale

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder.

Room dimensions, features & actual square footage vary by exterior style and options.

Model: EMERSON	
Elevation: Craftsman	
Drawn By: Author	Date: Issue Date
Print Date: 12/20/2019 5:37:31 AM	
Drawing No.: CRO.1	



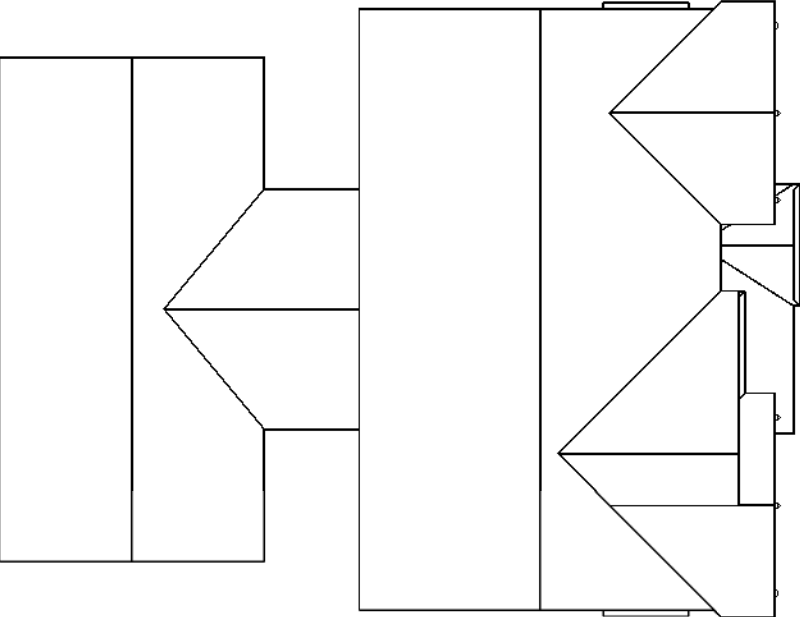
**VERIDIAN
HOMES**

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

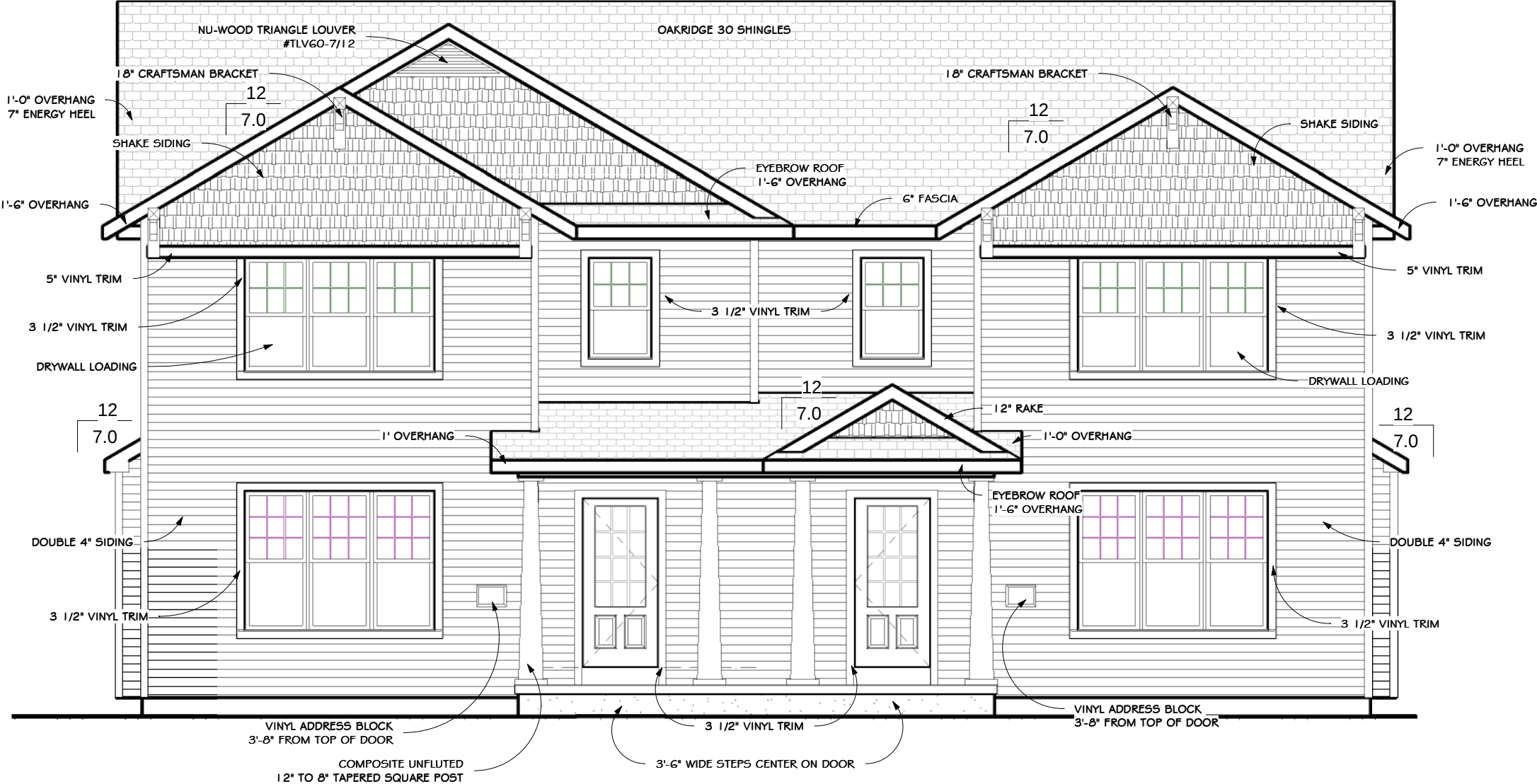
Custom Designed For: Owner
Homestead / Neighborhood: Project Number
Address: Enter address here

Customer
Approval:

©Copyright 2008 Veridian Management Solutions LLC Protected Under
Architectural Works Copyright Protection Act of 1990.



Roof Plan
1/16" = 1'-0"



Front Elevation - Craftsman
3/16" = 1'-0"

Do Not Scale

Note: All dimensions are stud to stud
Actual floor plans & exterior styles may differ from these shown based on
modifications, options & improvements to the plans by the builder.
Room dimensions, features & actual square footage vary by exterior style and options.



VERIDIAN
HOMES

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Custom Designed For: Owner
Homesite / Neighborhood: Project Number
Address: Enter address here

Customer
Approval:

©Copyright 2008 Veridian Management Solutions LLC. Protected Under
Architectural Works Copyright Protection Act of 1990.

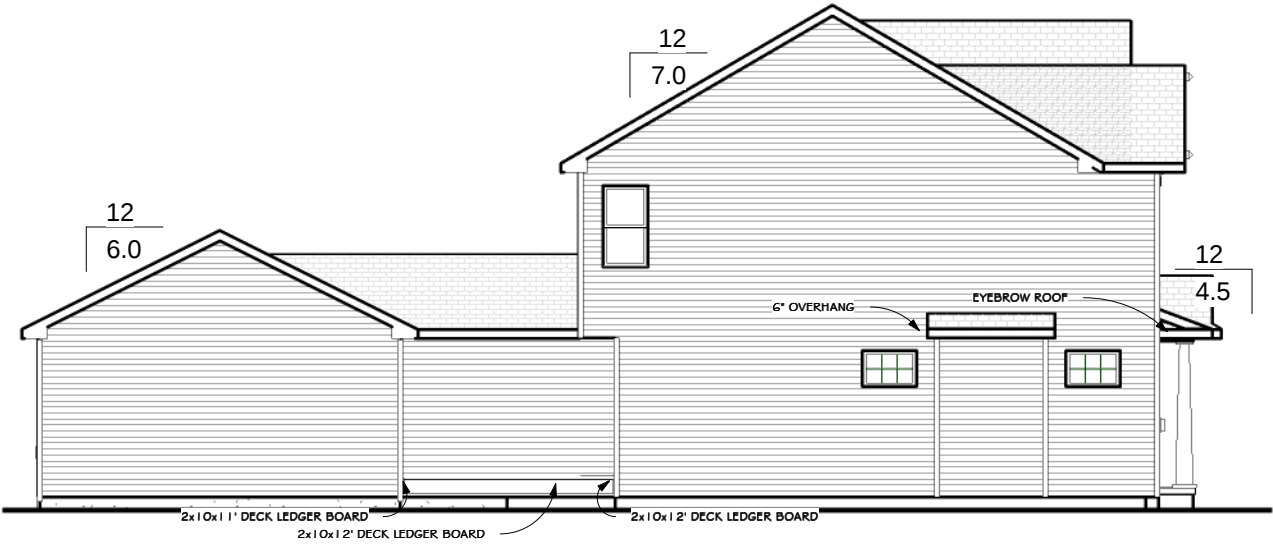
Model: EMERSON

Elevation: Craftsman

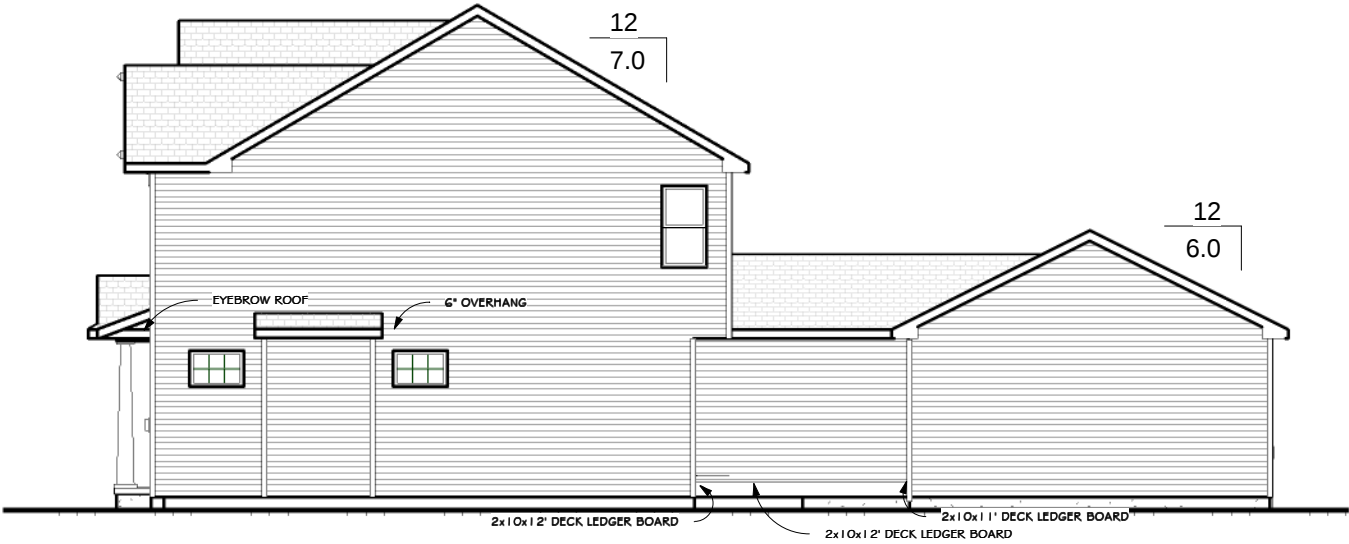
Drawn By: Author Date: Issue Date

Print Date:
12/20/2019
5:37:32 AM

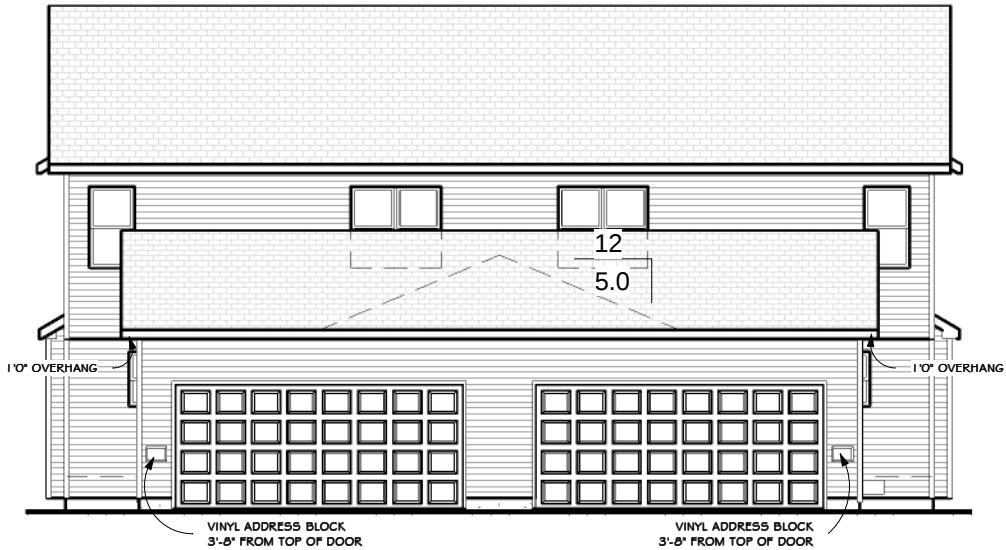
Drawing No.:
CR2



Left Elevation - Craftsman
3/32" = 1'-0"



Right Elevation - Craftsman
3/32" = 1'-0"



Rear Elevation - Craftsman
3/32" = 1'-0"

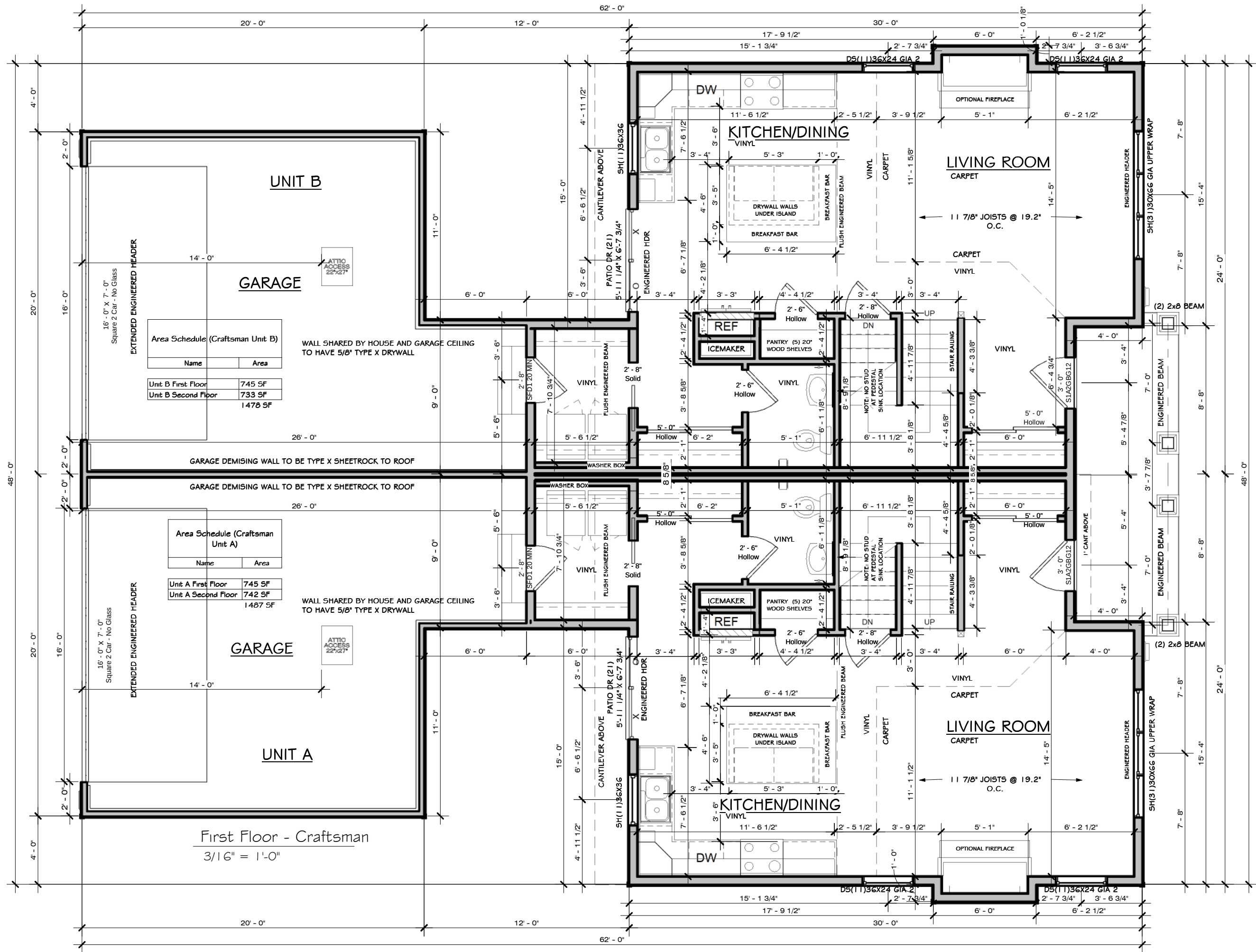
Do Not Scale Note: All dimensions are stud to stud
Actual floor plans & exterior styles may differ from these shown based on
modifications, options & improvements to the plans by the builder.
Room dimensions, features & actual square footage vary by exterior style and options.

Custom Designed For:	Owner
Homestead / Neighborhood:	Project Number
Address:	Enter address here
Customer Approval:	
©Copyright 2008 Veridian Management Solutions LLC. Protected Under Architectural Works Copyright Protection Act of 1990.	

**VERIDIAN
HOMES**

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Model:	EMERSON
Elevation:	Craftsman
Drawn By:	Author
Date:	Issue Date
Print Date:	12/20/2019 5:37:34 AM
Drawing No.:	CR2.1



First Floor - Craftsman
3/16" = 1'-0"

Do Not Scale Note: All dimensions are stud to stud

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder.
Room dimensions, features & actual square footage vary by exterior style and options.



VERIDIAN
HOMES

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Model: EMERSON

Elevation: Craftsman

Drawn By: Author Date: Issue Date

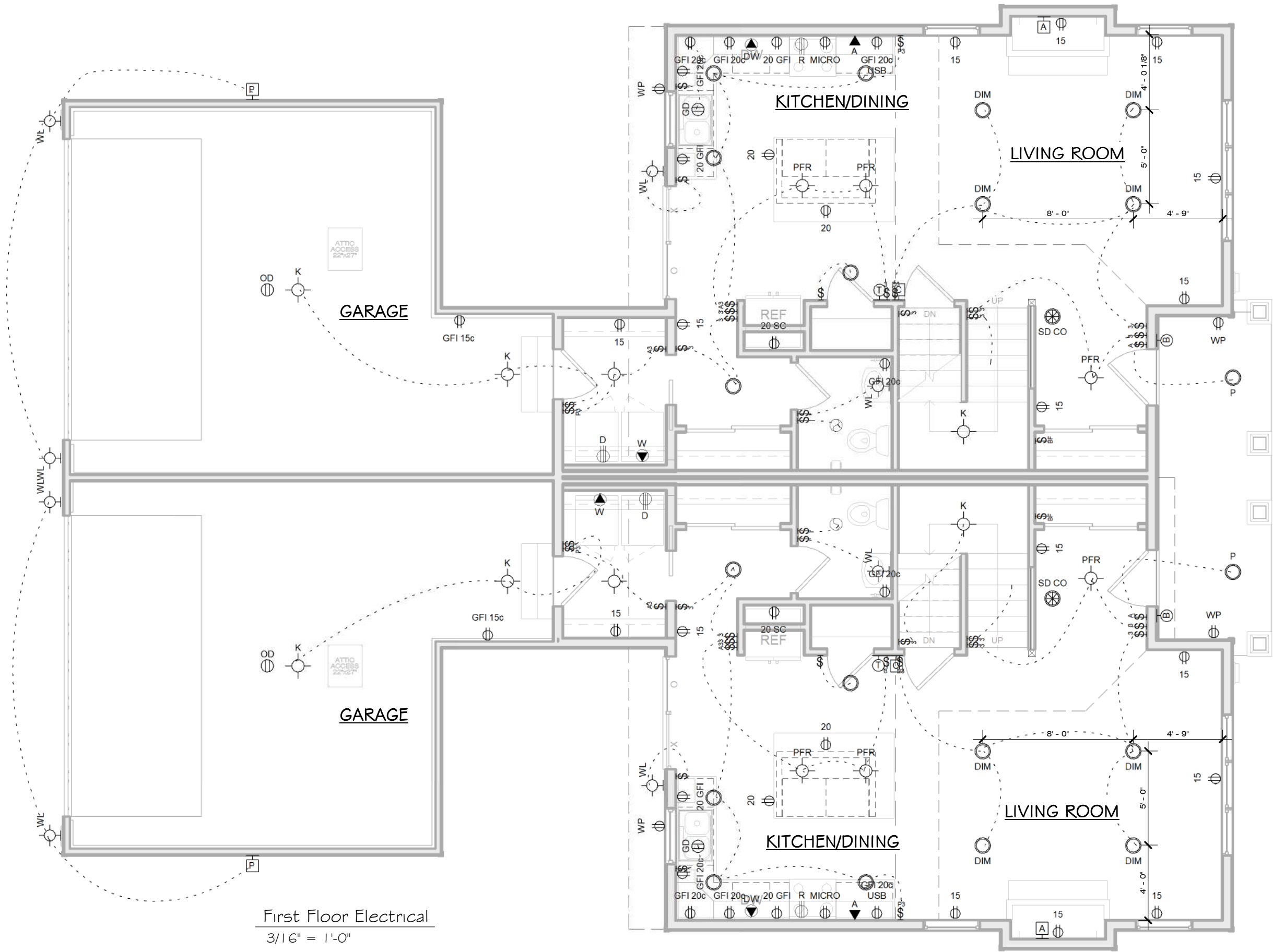
Print Date:
12/20/2019
5:37:37 AM

Drawing No.:
CR3

Custom Designed For: Owner
Homestead / Neighborhood: Project Number
Address: Enter address here

Customer
Approval:

©Copyright 2008 Veridian Management Solutions LLC Protected Under
Architectural Works Copyright Protection Act of 1990.



First Floor Electrical
3/16" = 1'-0"

Do Not Scale

Note: All dimensions are stud to stud

Actual floor plans & exterior styles may differ from these shown based on

modifications, options & improvements to the plans by the builder.

Room dimensions, features & actual square footage vary by exterior style and options.



VERIDIAN
HOMES

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Custom Designed For: Owner
Homestead / Neighborhood: Project Number
Address: Enter address here

Customer
Approval:

©Copyright 2008 Veridian Management Solutions LLC Protected Under
Architectural Works Copyright Protection Act of 1990.

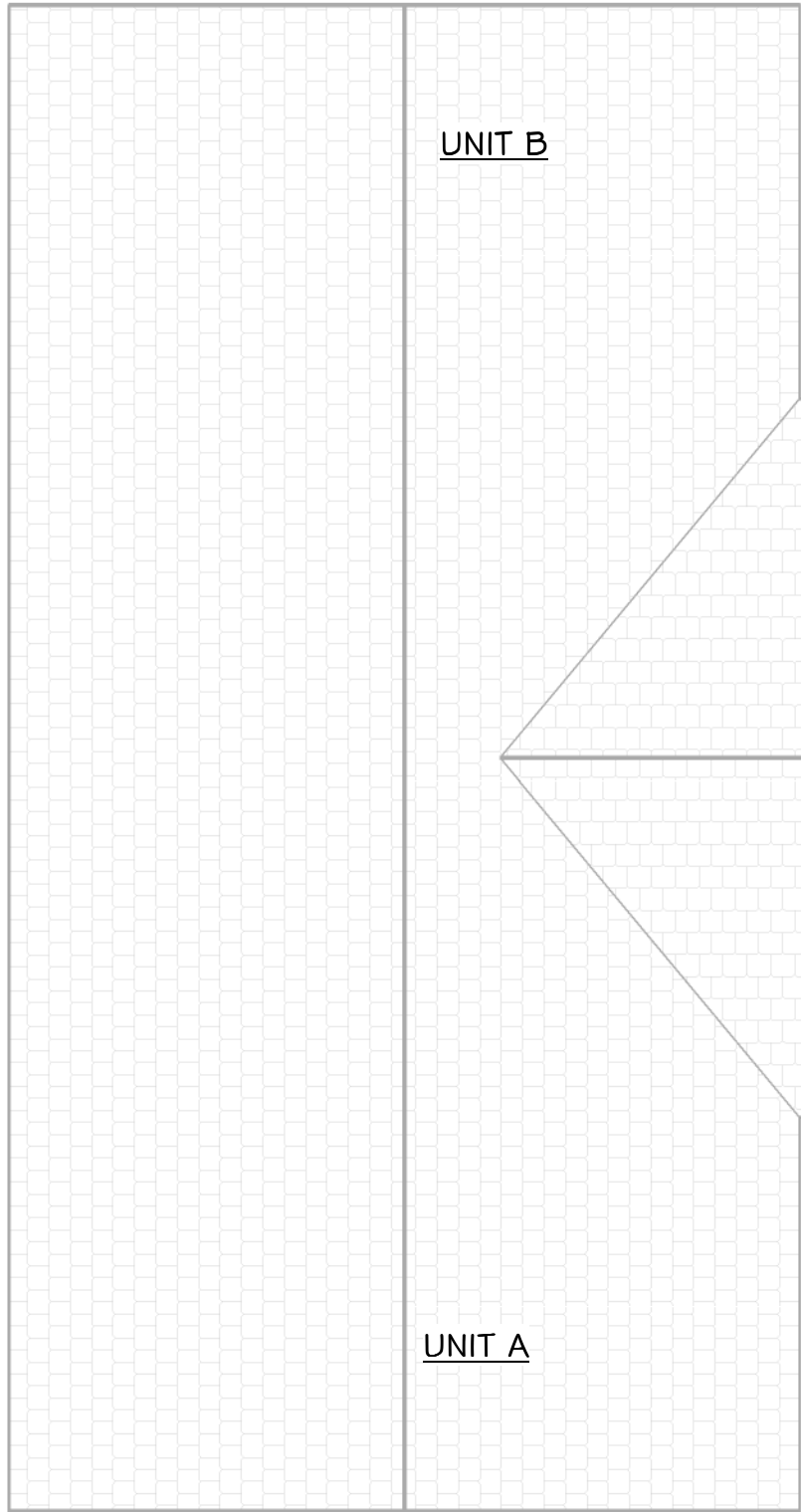
Model: EMERSON

Elevation: Craftsman

Drawn By: Author Date: Issue Date

Print Date:
12/20/2019
5:37:39 AM

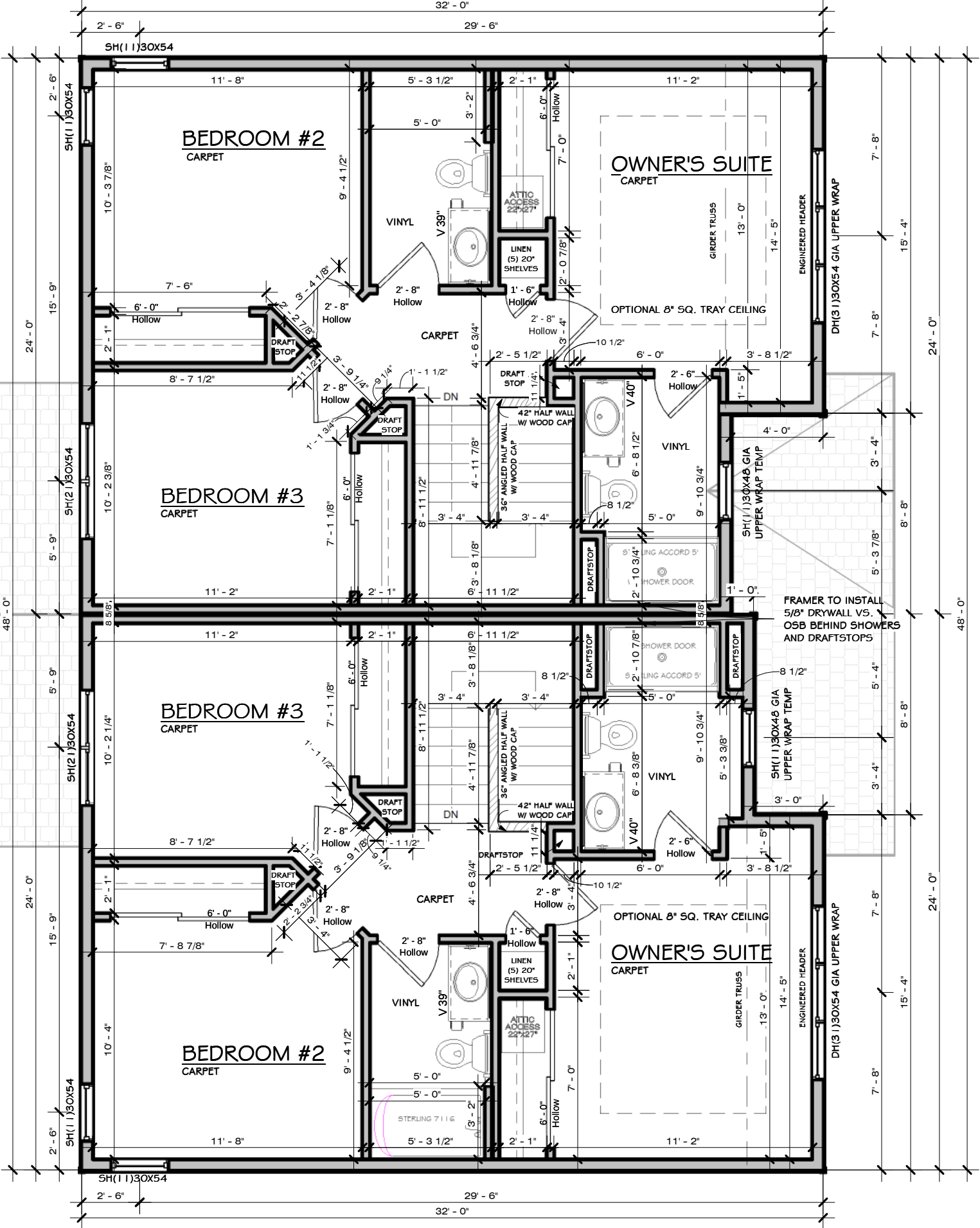
Drawing No.:
CR4



Second Floor - Craftsman
3/16" = 1'-0"

Area Schedule (Craftsman Unit B)	
Name	Area
Unit B First Floor	745 SF
Unit B Second Floor	733 SF
	1478 SF

Area Schedule (Craftsman Unit A)	
Name	Area
Unit A First Floor	745 SF
Unit A Second Floor	742 SF
	1487 SF



Do Not Scale Note: All dimensions are stud to stud

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder.
Room dimensions, features & actual square footage vary by exterior style and options.



VERIDIAN
HOMES

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Model: EMERSON

Elevation: Craftsman

Drawn By: Author Date: Issue Date

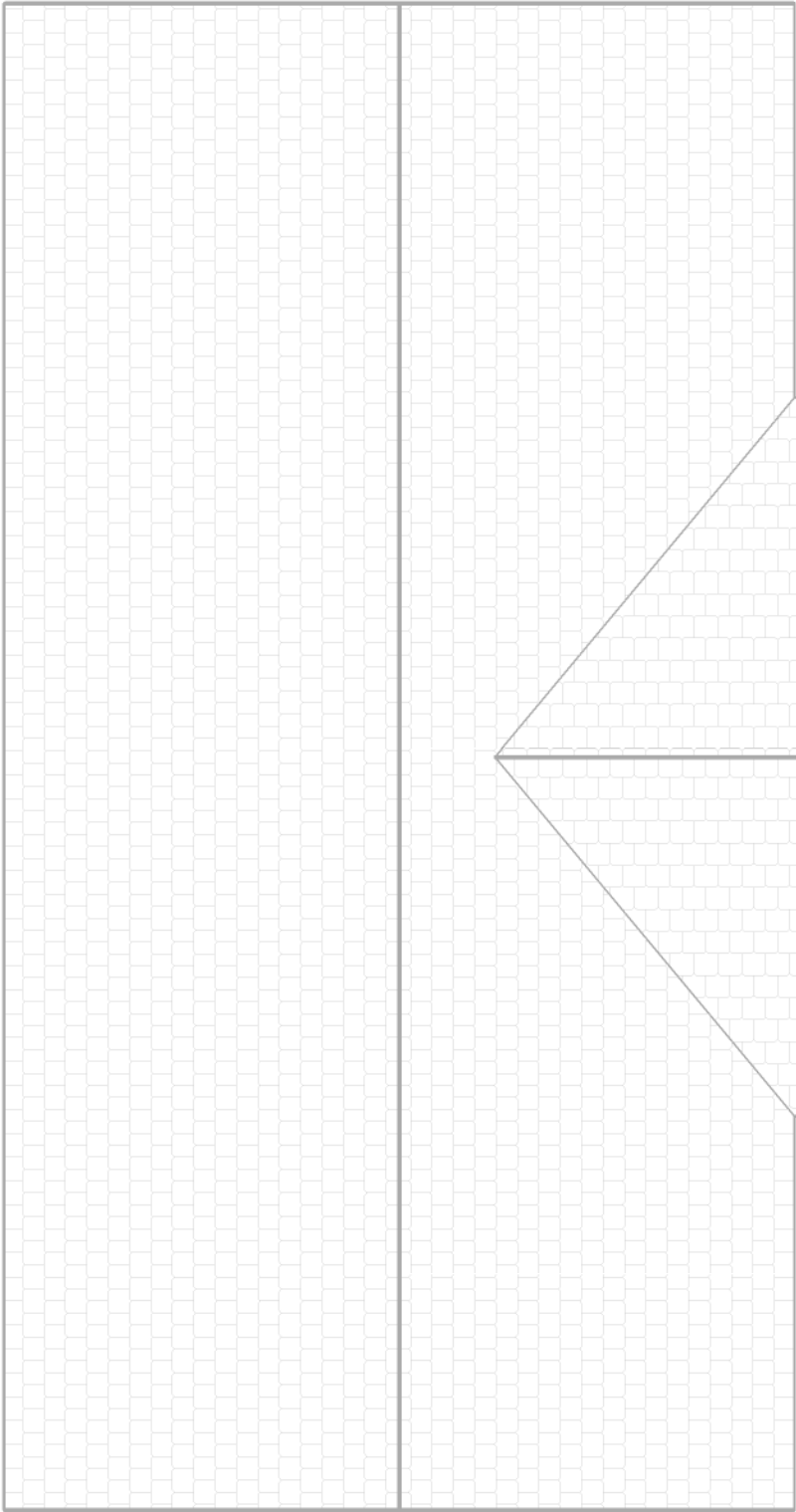
Print Date:
12/20/2019
5:37:41 AM

Drawing No.:
CR5

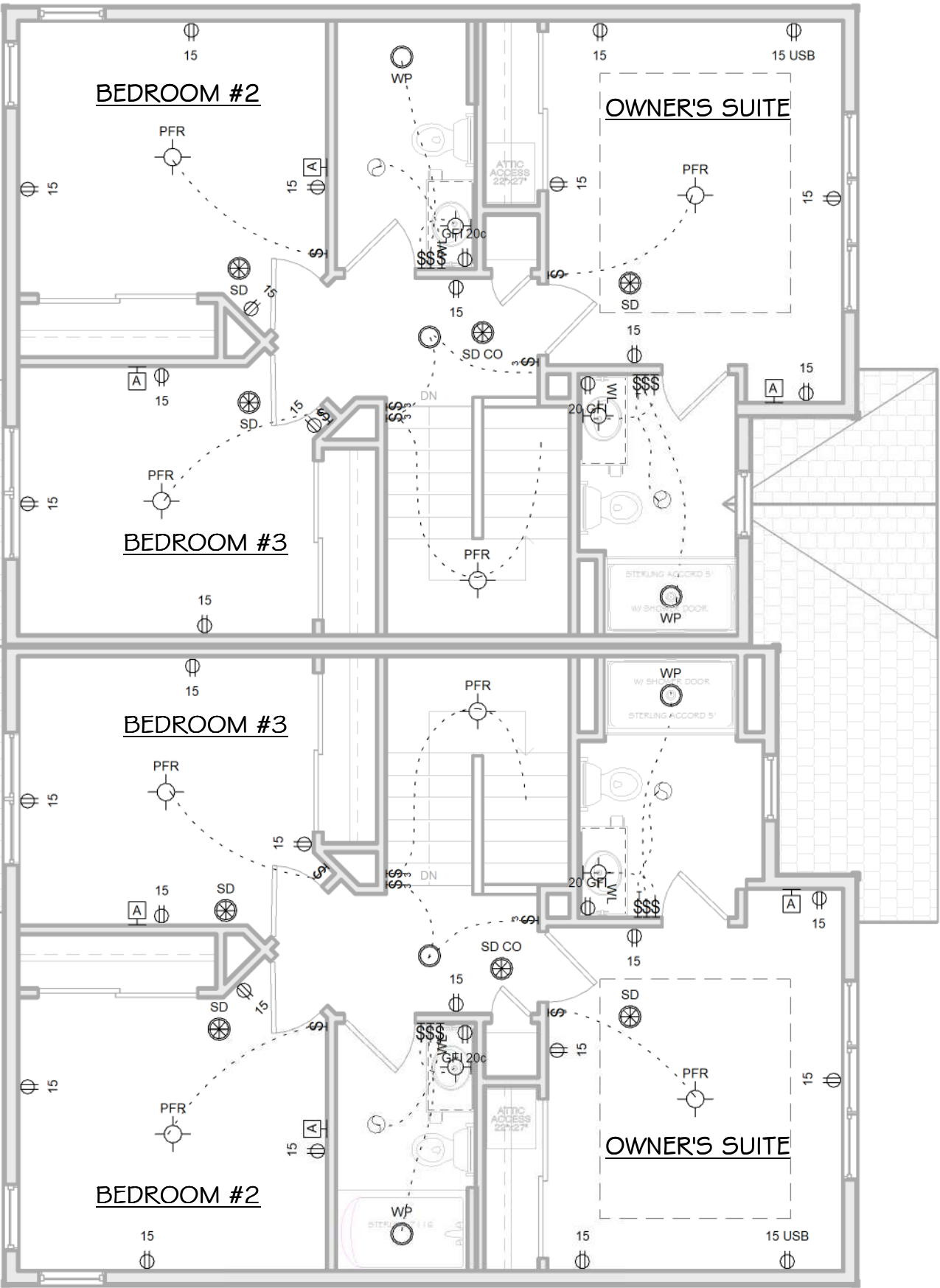
Custom Designed For: Owner
Homestead / Neighborhood: Project Number
Address: Enter address here

Customer
Approval:

©Copyright 2008 Veridian Management Solutions LLC Protected Under
Architectural Works Copyright Protection Act of 1990.



Second Floor Electrical
3/16" = 1'-0"



Do Not Scale Note: All dimensions are stud to stud

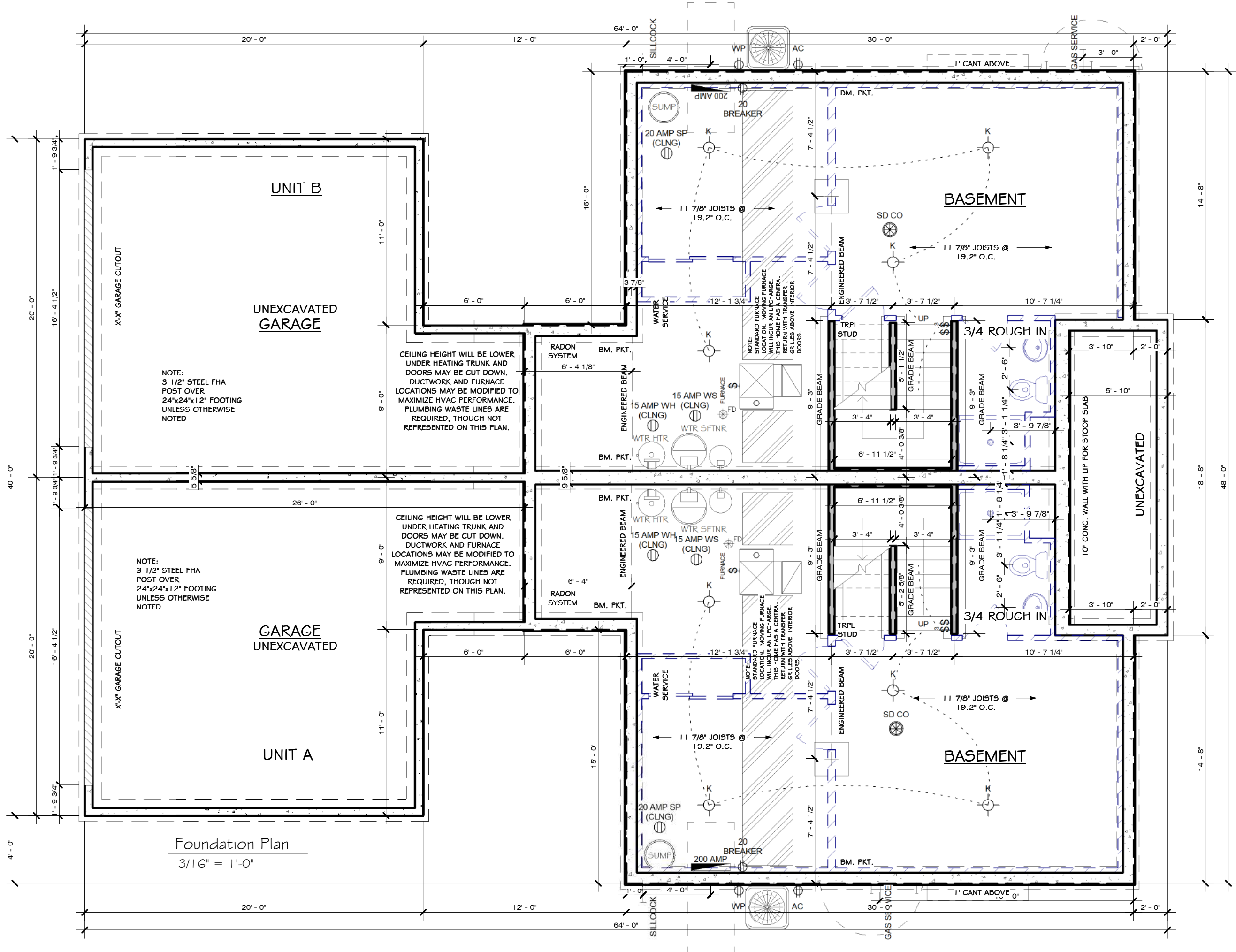
Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder.
Room dimensions, features & actual square footage vary by exterior style and options.

Custom Designed For:	Owner
Homeite / Neighborhood:	Project Number
Address:	Enter address here
Customer Approval:	
©Copyright 2008 Veridian Management Solutions LLC Protected Under Architectural Works Copyright Protection Act of 1990.	

**VERIDIAN
HOMES**

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Model: EMERSON	Print Date:
Elevation: Craftsman	12/20/2019
Drawn By: Author	5:37:43 AM
Date: Issue Date	
Drawing No.: CR6	



Do Not Scale Note: All dimensions are stud to stud

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder.

Room dimensions, features & actual square footage vary by exterior style and options.



VERIDIAN
HOMES

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Custom Designed For: Owner
Homestead / Neighborhood: Project Number
Address: Enter address here

Customer
Approval:

©Copyright 2008 Veridian Management Solutions LLC Protected Under
Architectural Works Copyright Protection Act of 1990.

Model: EMERSON

Elevation: Craftsman

Drawn By: Author Date: Issue Date

Print Date:
12/20/2019
5:37:44 AM

Drawing No.:
CR7



3D - Farmhouse



3D - Farmhouse - Rear

Do Not Scale

Note: All dimensions are stud to stud
Actual floor plans & exterior styles may differ from these shown based on
modifications, options & improvements to the plans by the builder.
Room dimensions, features & actual square footage vary by exterior style and options.

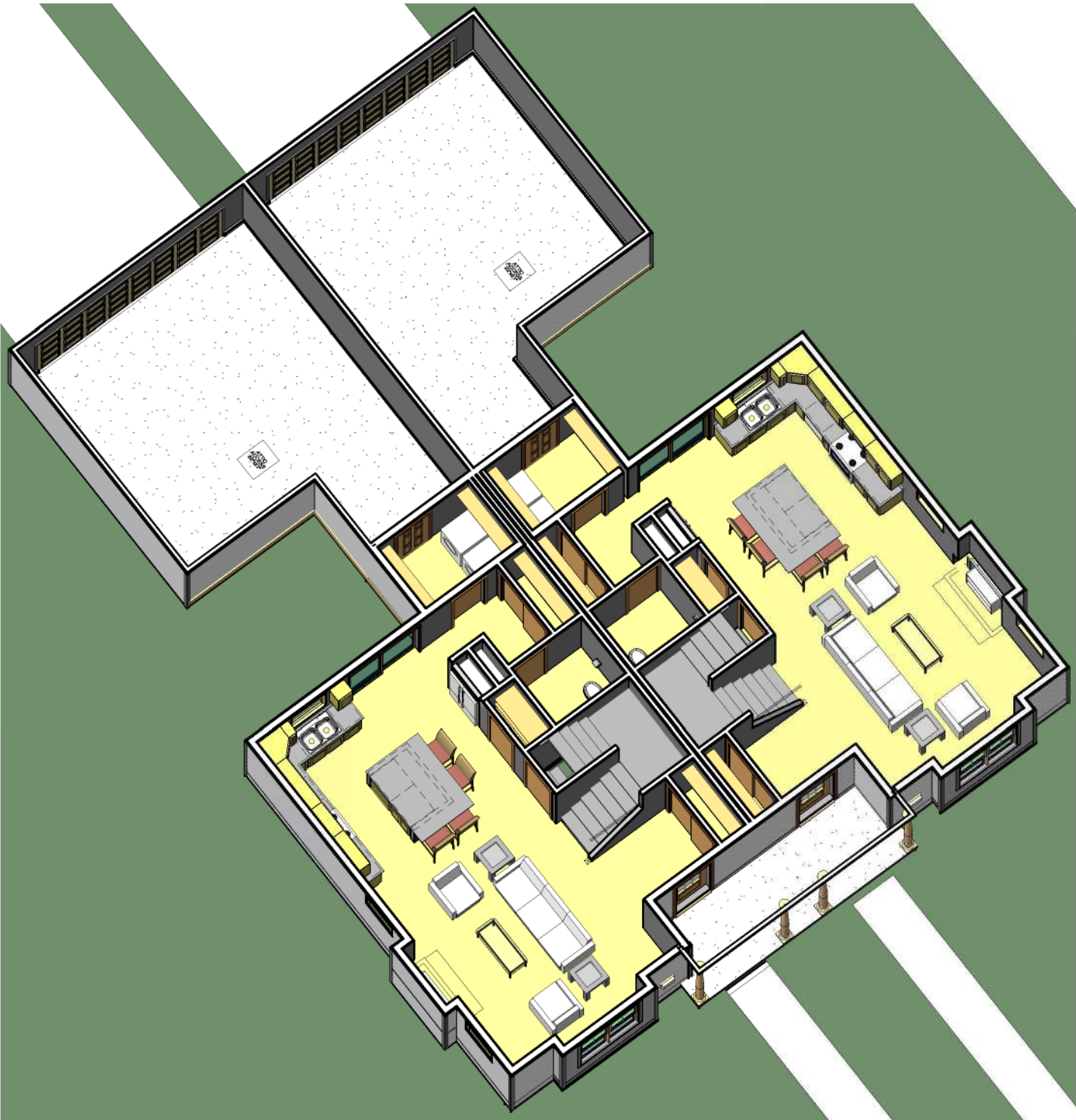
Print Date: 10/30/2019 6:07:04 AM	
Drawing No.: FO	



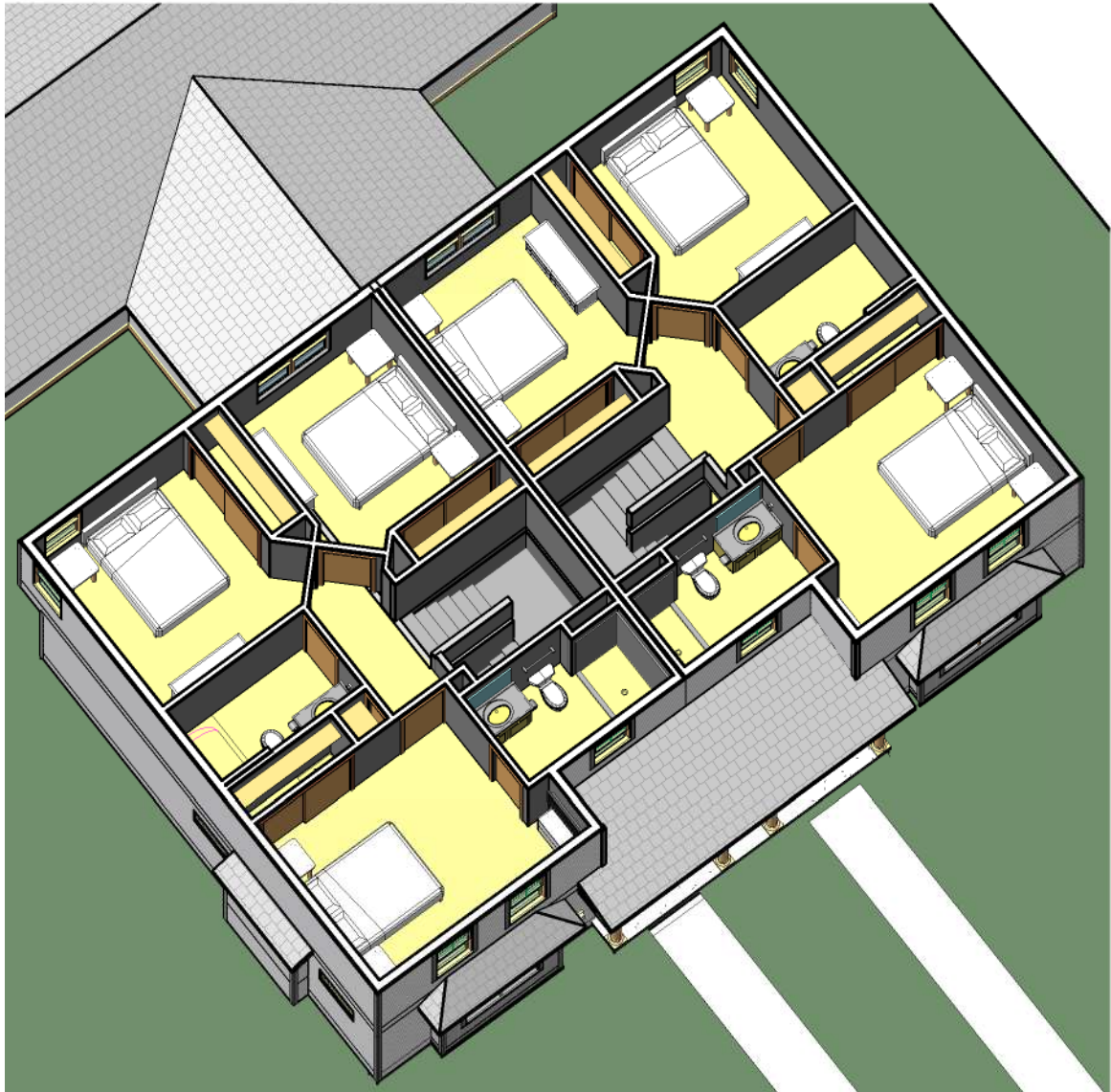
VERIDIAN
HOMES

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Custom Designed For:	Owner
Homesite / Neighborhood:	Project Number
Address:	Enter address here
Customer Approval:	
©Copyright 2008 Veridian Management Solutions LLC. Protected Under Architectural Works Copyright Protection Act of 1990.	



3D First Floor - Farmhouse



3D Second Floor - Farmhouse

Do Not Scale Note: All dimensions are stud to stud. Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



**VERIDIAN
HOMES**

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

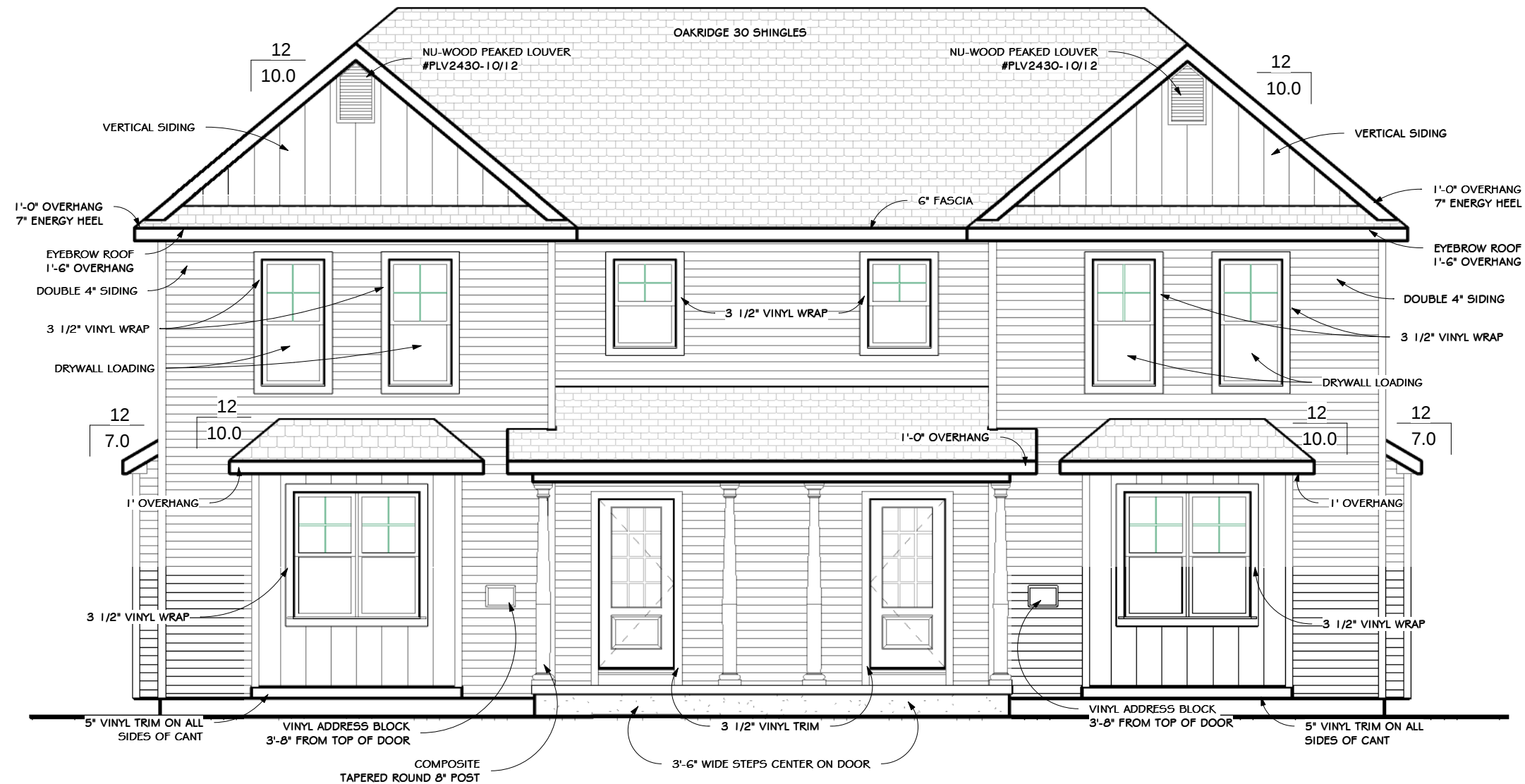
Model: EMERSON
Elevation: Farmhouse
Drawn By: Author
Date: Issue Date

Print Date:
10/30/2019
6:07:06 AM

Drawing No.:
FO.1

Custom Designed For: Owner
Homestead / Neighborhood: Project Number
Address: Enter address here

Customer Approval:
©Copyright 2008 Veridian Management Solutions LLC Protected Under
Architectural Works Copyright Protection Act of 1990.



Do Not Scale Note: All dimensions are stud to stud
Actual floor plans & exterior styles may differ from these shown based on
modifications, options & improvements to the plans by the builder.
Room dimensions, features & actual square footage vary by exterior style and options.

VERIDIAN
HOMES

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Model: EMERSON

Elevation: Farmhouse

Drawn By: Author Date: Issue Date

Print Date:
10/30/2019
6:07:07 AM

Drawing No.:
F2

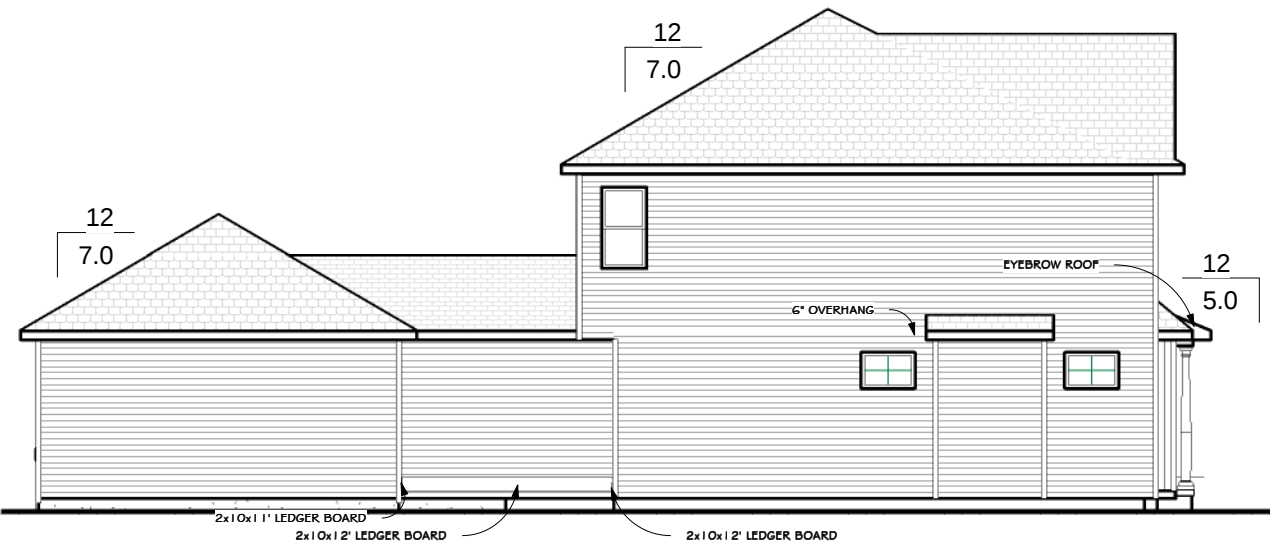
Custom Designed For: Owner

Homesite / Neighborhood: Project Number

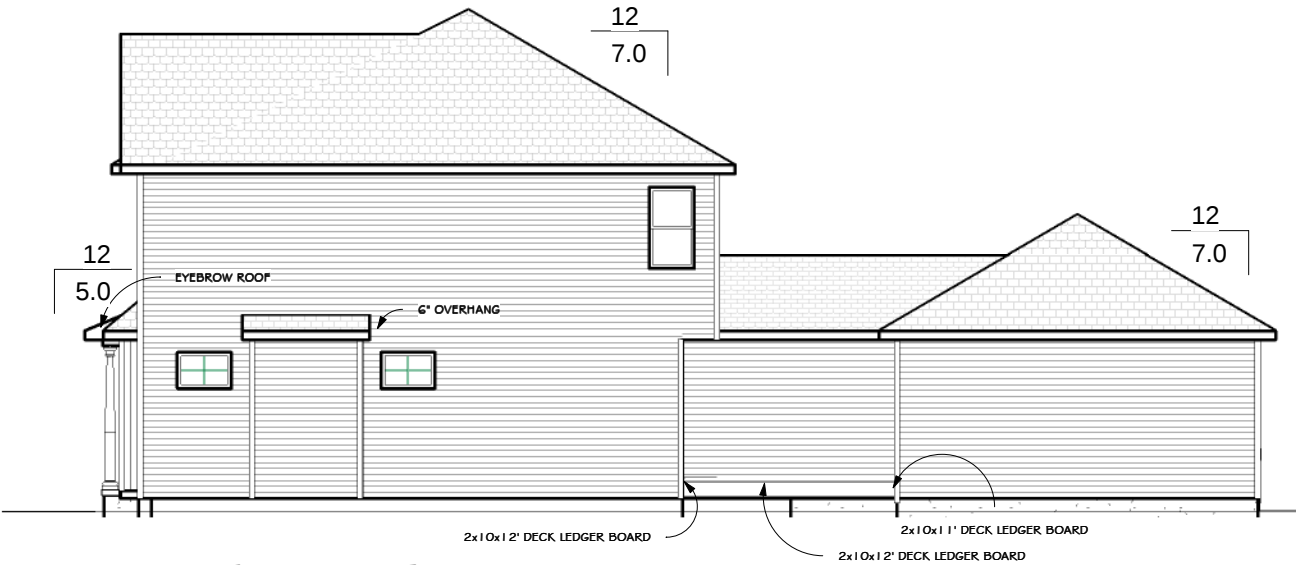
Address: Enter address here

Customer Approval:

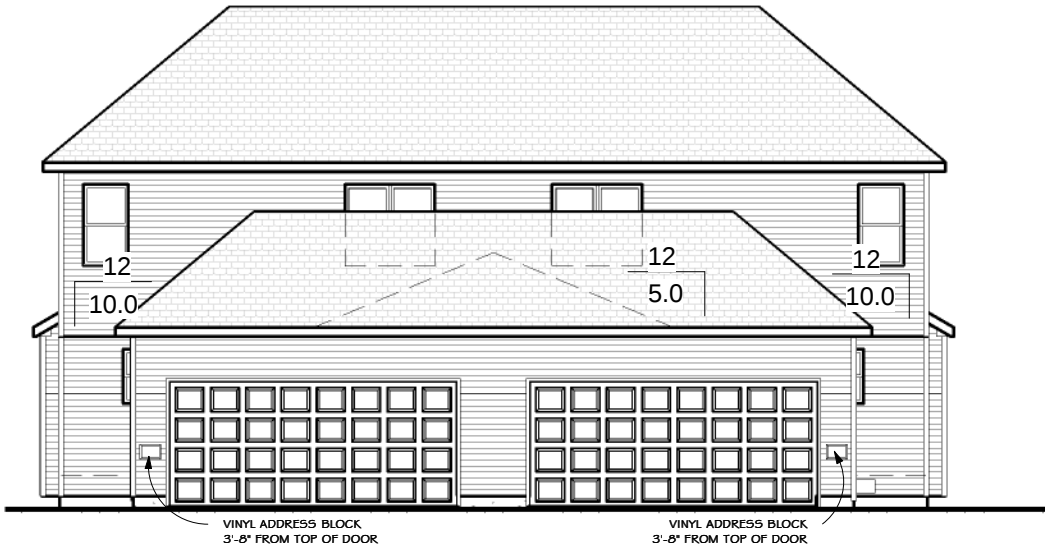
©Copyright 2008 Veridian Management Solutions LLC Protected Under
Architectural Works Copyright Protection Act of 1990.



Left Elevation - Farmhouse
3/32" = 1'-0"



Right Elevation - Farmhouse
3/32" = 1'-0"



Rear Elevation - Farmhouse
3/32" = 1'-0"

Do Not Scale

Note: All dimensions are stud to stud
Actual floor plans & exterior styles may differ from these shown based on
modifications, options & improvements to the plans by the builder.

Room dimensions, features & actual square footage vary by exterior style and options.



VERIDIAN
HOMES

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Model: EMERSON

Elevation: Farmhouse

Drawn By: Author Date: Issue Date

Print Date:
10/30/2019
6:07:08 AM

Drawing No.:
F2.1

Custom Designed For: Owner

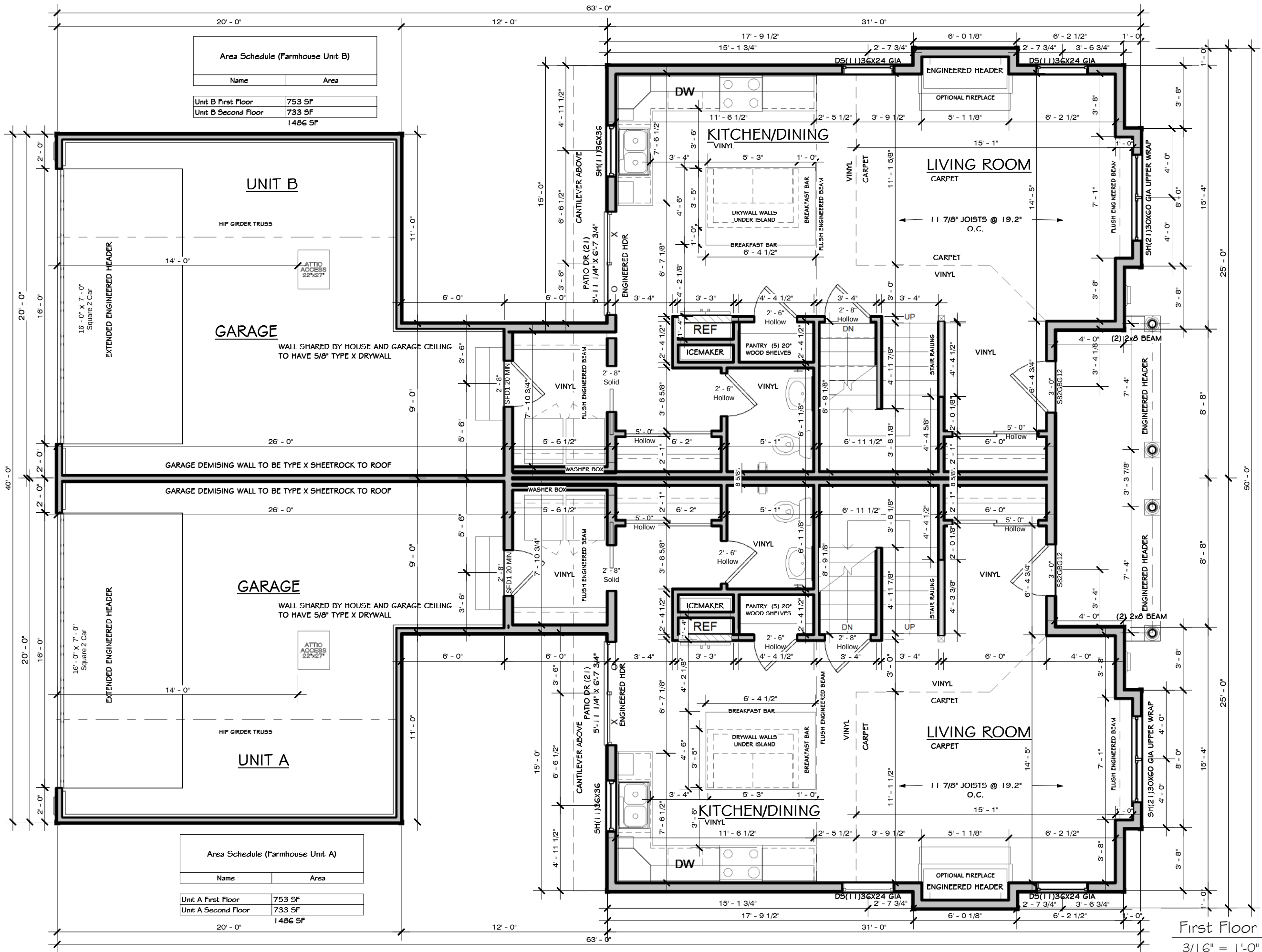
Homestead / Neighborhood: Project Number

Address: Enter address here

Customer

Approval:

©Copyright 2008 Veridian Management Solutions LLC Protected Under
Architectural Works Copyright Protection Act of 1990.



Area Schedule (Farmhouse Unit B)	
Name	Area
Unit B First Floor	753 SF
Unit B Second Floor	733 SF
	1486 SF

Area Schedule (Farmhouse Unit A)	
Name	Area
Unit A First Floor	753 SF
Unit A Second Floor	733 SF
	1486 SF

Do Not Scale Note: All dimensions are stud to stud

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder.
Room dimensions, features & actual square footage vary by exterior style and options.



VERIDIAN
HOMES

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Model: EMERSON

Elevation: Farmhouse

Drawn By: Author Date: Issue Date

Print Date:
10/30/2019
6:07:10 AM

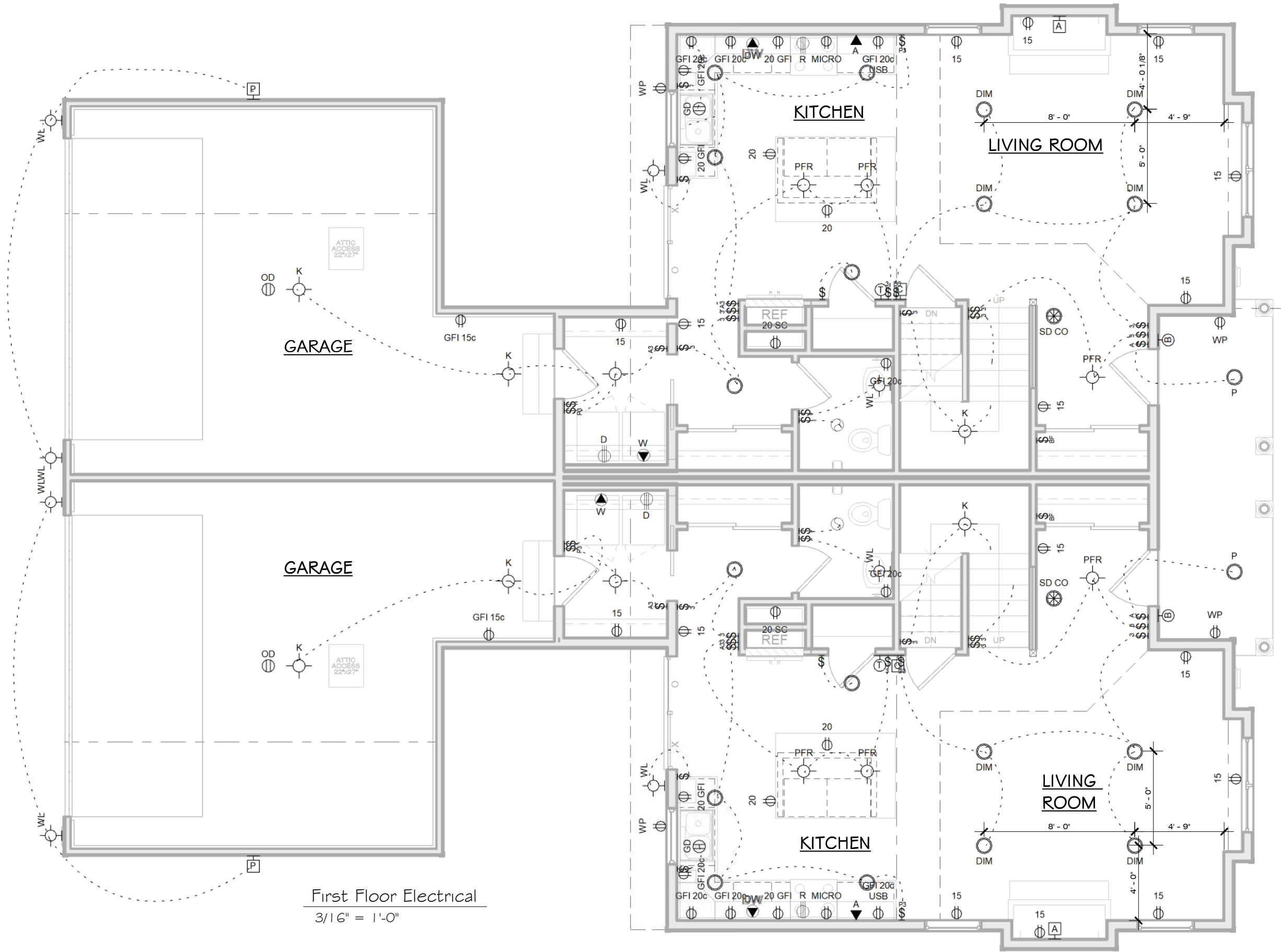
Drawing No.:
F3

Custom Designed For: Owner
Homestead / Neighborhood: Project Number
Address: Enter address here

Customer
Approval:

©Copyright 2008 Veridian Management Solutions LLC Protected Under
Architectural Works Copyright Protection Act of 1990.

First Floor - Farmhouse
3/16" = 1'-0"



Do Not Scale

Note: All dimensions are stud to stud. Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder.

Room dimensions, features & actual square footage vary by exterior style and options.



**VERIDIAN
HOMES**

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Custom Designed For: Owner
Homestead / Neighborhood: Project Number
Address: Enter address here

Customer
Approval:

©Copyright 2008 Veridian Management Solutions LLC Protected Under
Architectural Works Copyright Protection Act of 1990.

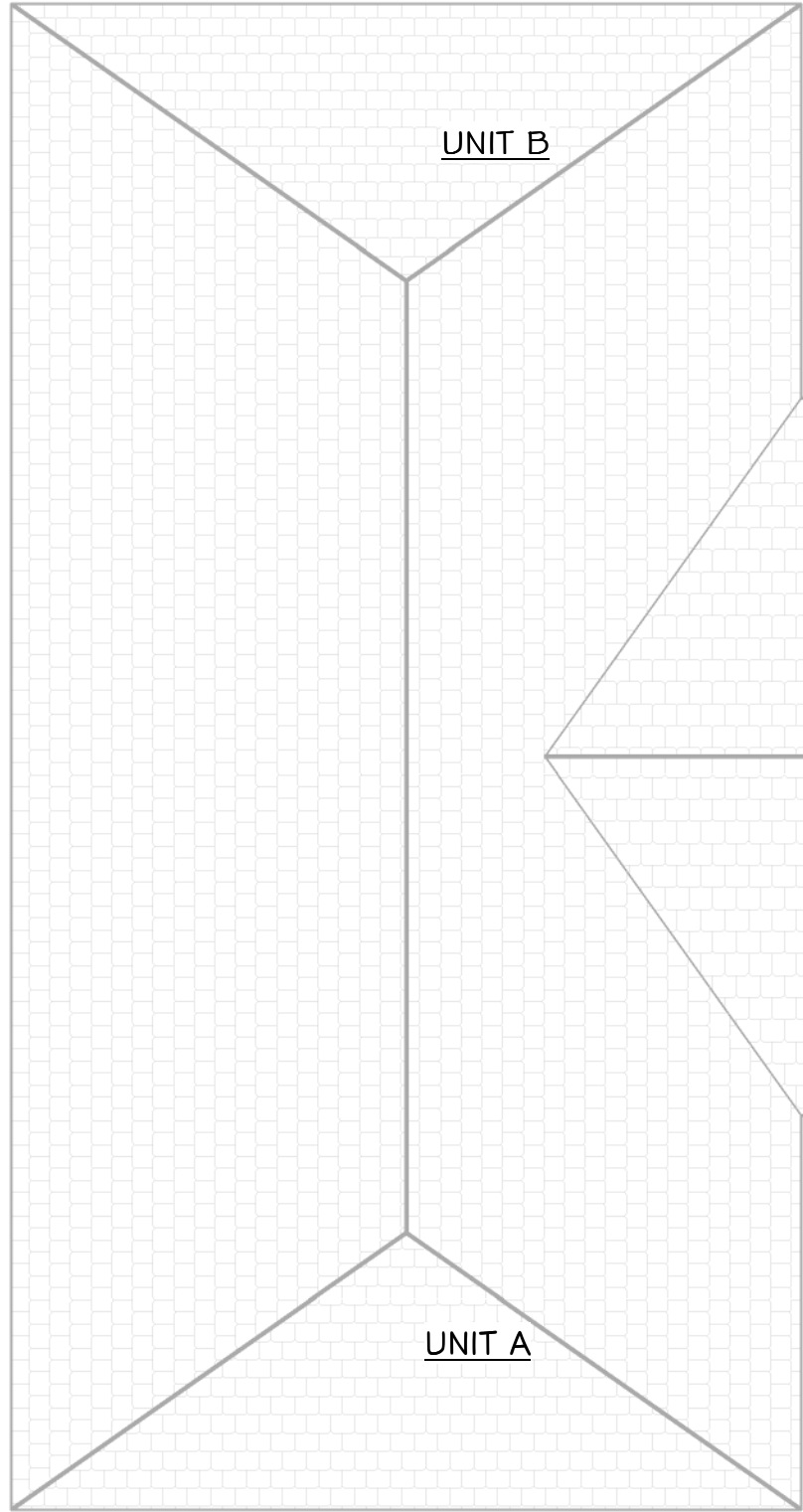
Model: EMERSON

Elevation: Farmhouse

Drawn By: Author Date: Issue Date

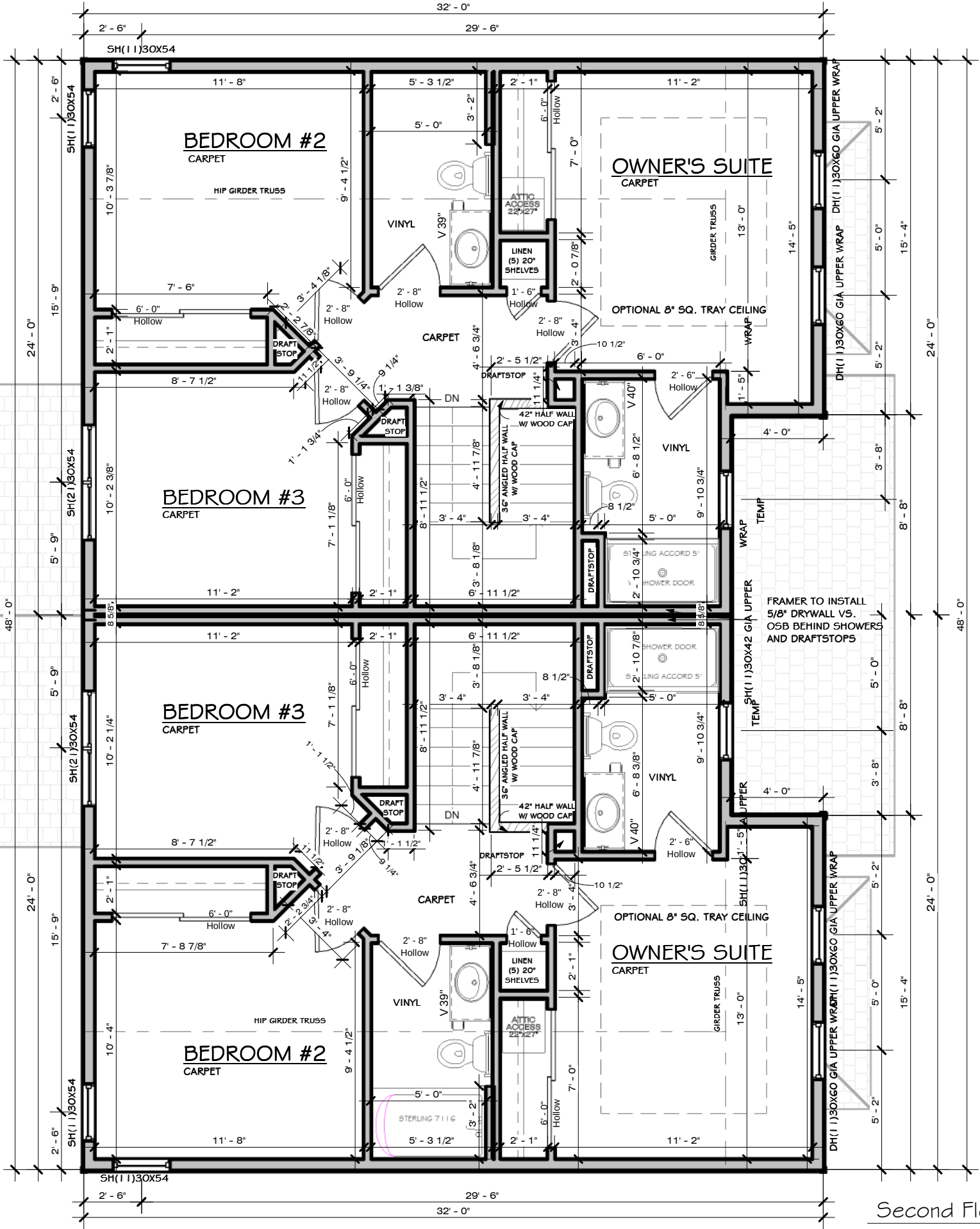
Print Date:
10/30/2019
6:07:12 AM

Drawing No.:
F4



Area Schedule (Farmhouse Unit B)	
Name	Area
Unit B First Floor	753 SF
Unit B Second Floor	733 SF
1486 SF	

Area Schedule (Farmhouse Unit A)	
Name	Area
Unit A First Floor	753 SF
Unit A Second Floor	733 SF
1486 SF	



Second Floor - Farmhouse
3/16" = 1'-0"

Do Not Scale Note: All dimensions are stud to stud

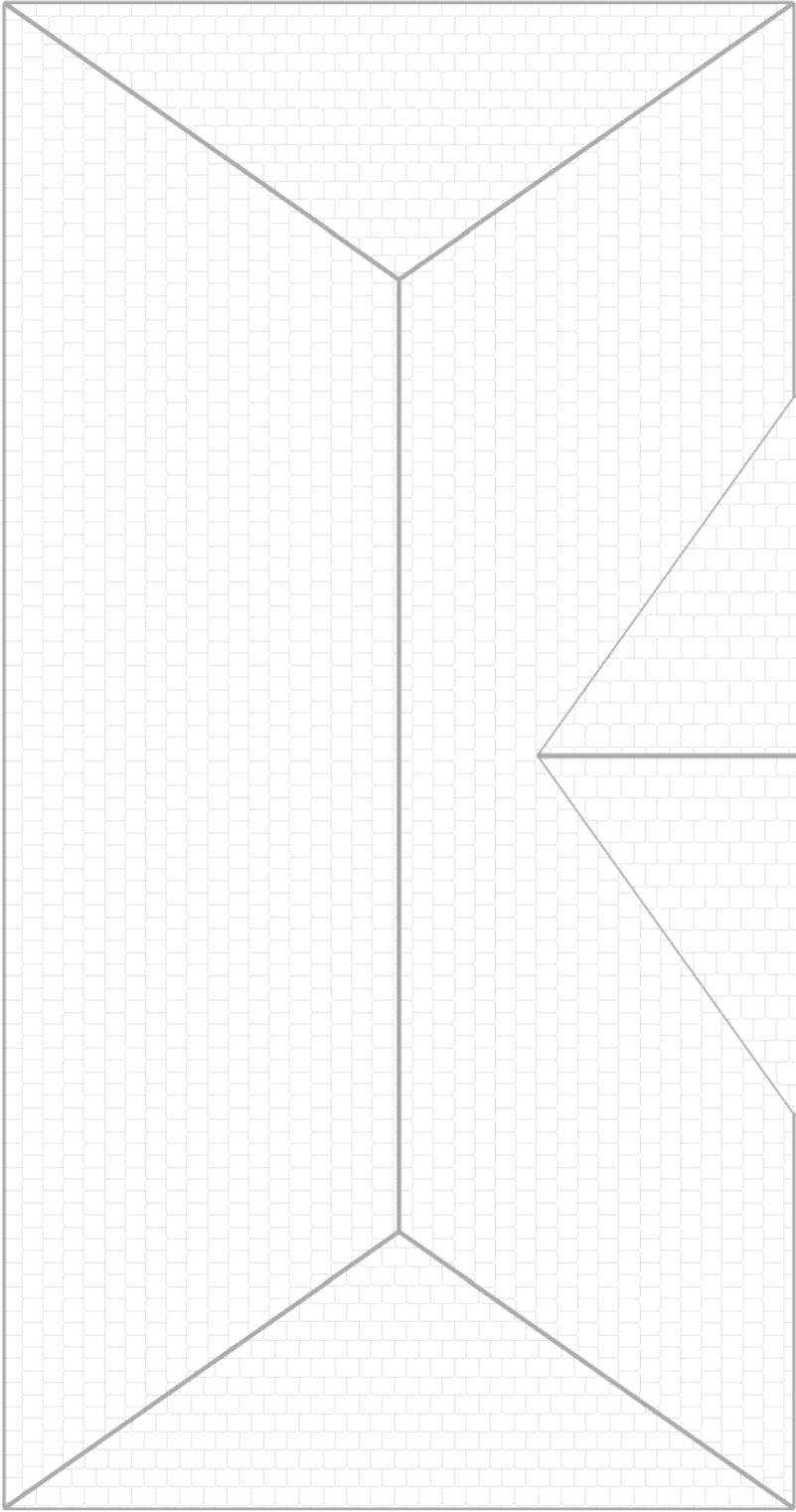
Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder.
Room dimensions, features & actual square footage vary by exterior style and options.

Custom Designed For:	Owner
Homestead / Neighborhood:	Project Number
Address:	Enter address here
Customer Approval:	
©Copyright 2008 Veridian Management Solutions LLC Protected Under Architectural Works Copyright Protection Act of 1990.	

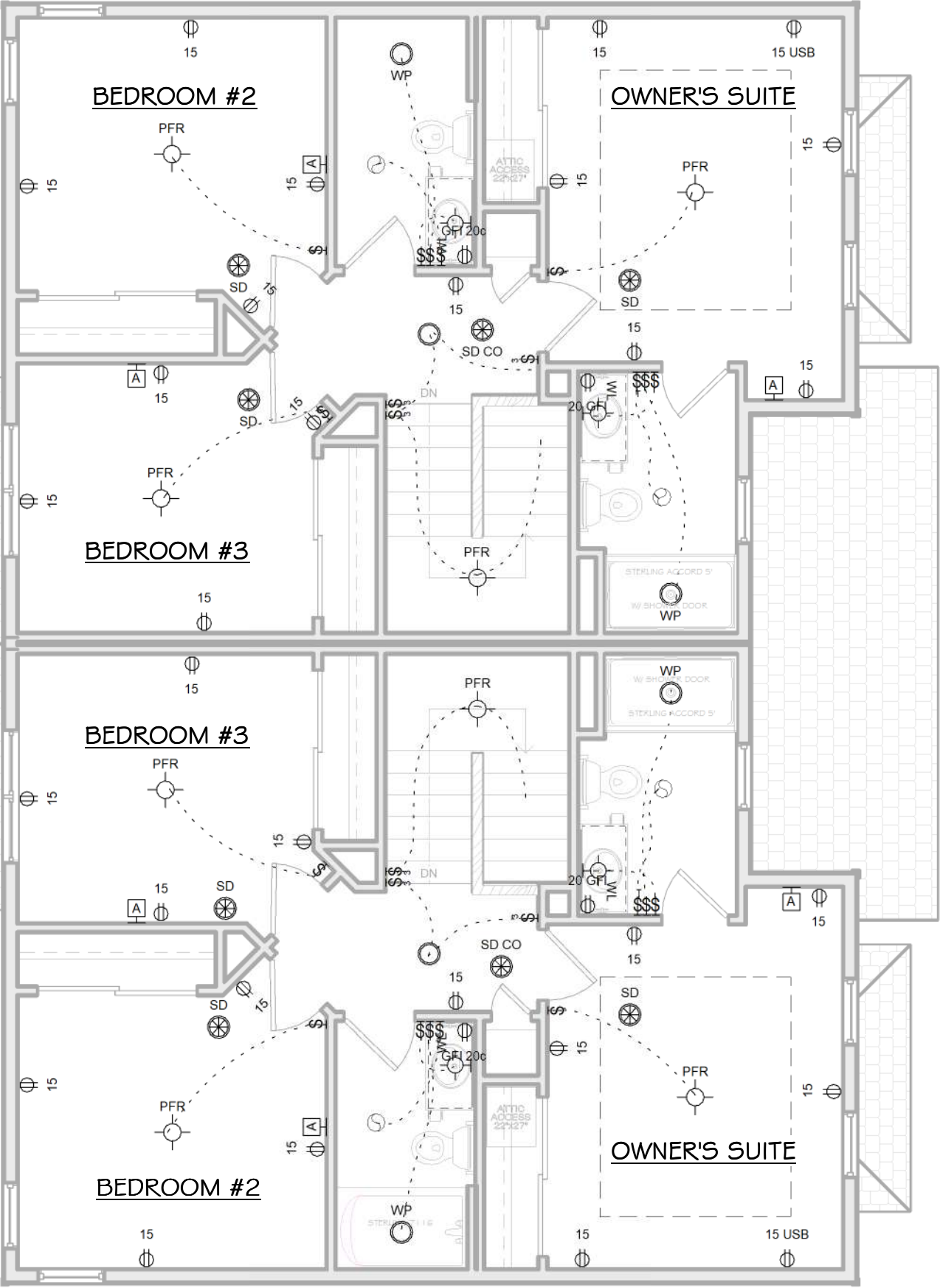
**VERIDIAN
HOMES**

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Model: EMERSON	Print Date:
Elevation: Farmhouse	10/30/2019
Drawn By: Author	6:07:13 AM
Date: Issue Date	
Drawing No.: F5	



Second Floor Electrical
3/16" = 1'-0"



Do Not Scale Note: All dimensions are stud to stud
Actual floor plans & exterior styles may differ from these shown based on
modifications, options & improvements to the plans by the builder.
Room dimensions, features & actual square footage vary by exterior style and options.



**VERIDIAN
HOMES**

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Custom Designed For: Owner
Homestead / Neighborhood: Project Number
Address: Enter address here

Customer
Approval:

©Copyright 2008 Veridian Management Solutions LLC Protected Under
Architectural Works Copyright Protection Act of 1990.

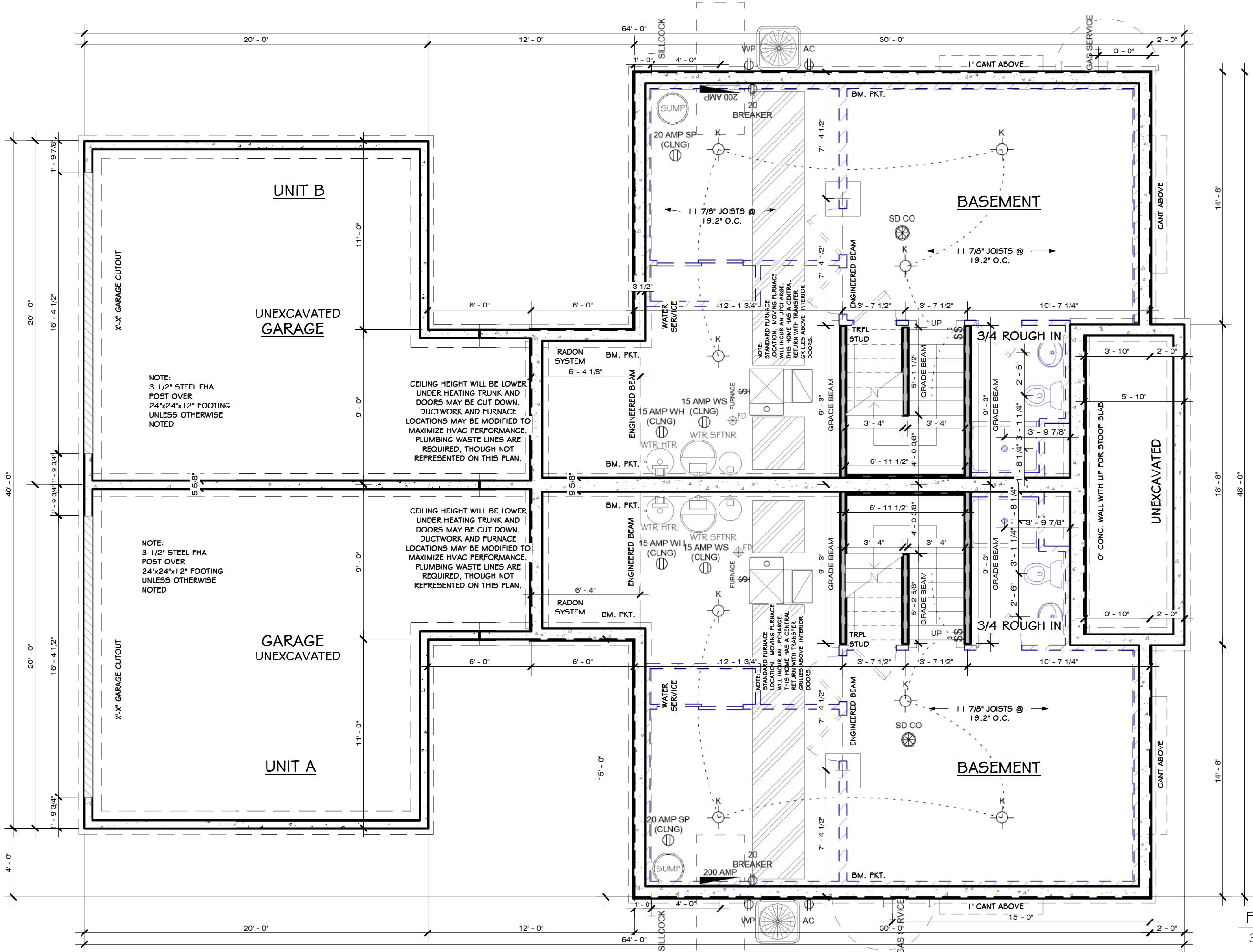
Model: EMERSON

Elevation: Farmhouse

Drawn By: Author Date: Issue Date

Print Date:
10/30/2019
6:07:15 AM

Drawing No.:
F6



Foundation Plan
3/16" = 1'-0"

Do Not Scale Note: All dimensions are stud to stud

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder.

Room dimensions, features & actual square footage vary by exterior style and options.



VERIDIAN
HOMES

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Model: EMERSON

Elevation: Farmhouse

Drawn By: Author Date: Issue Date

Print Date:
10/30/2019
6:07:16 AM

Drawing No.:
F7

Custom Designed For: Owner

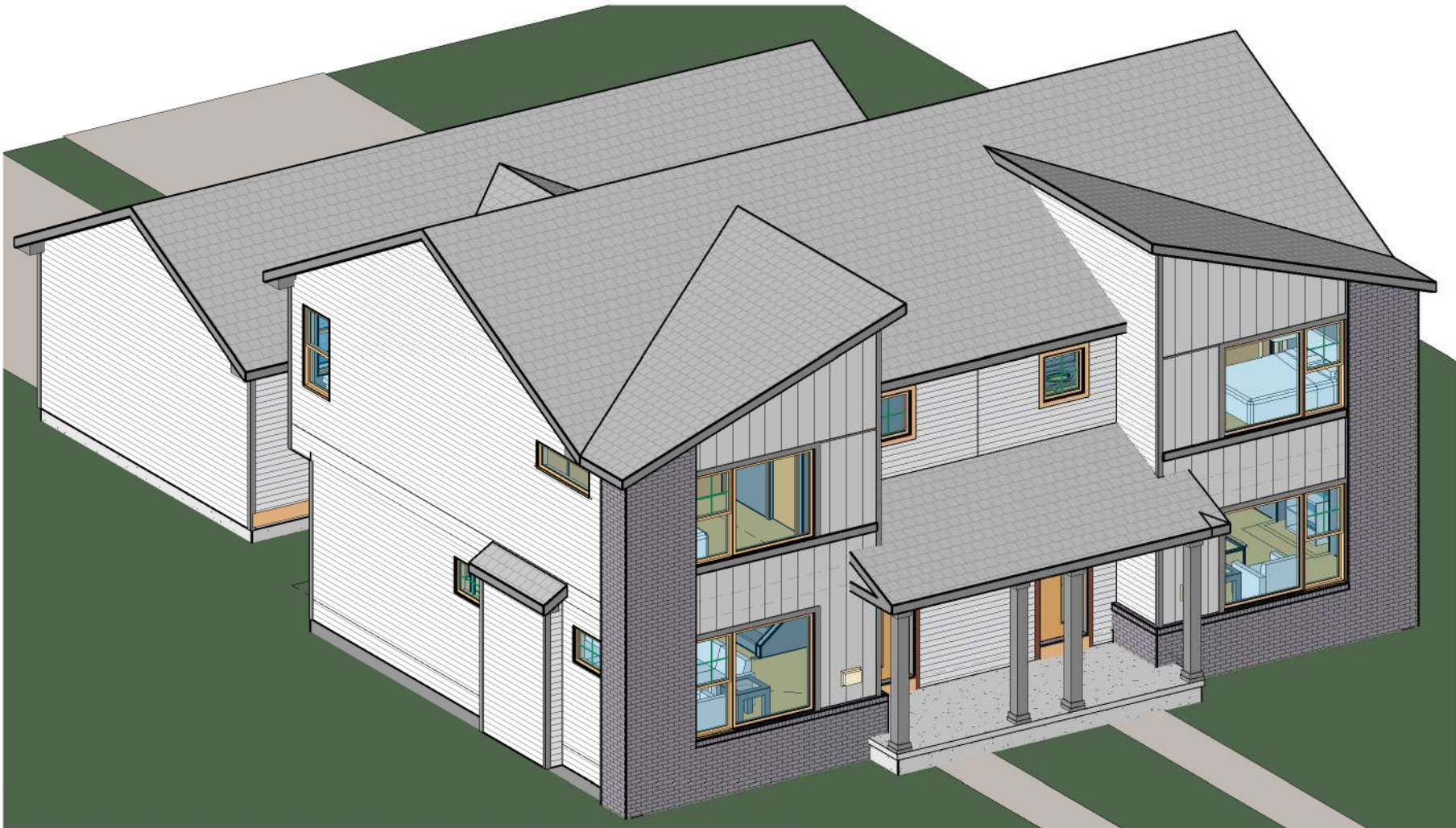
Homestead / Neighborhood: Project Number

Address: Enter address here

Customer

Approval:

©Copyright 2008 Veridian Management Solutions LLC Protected Under
Architectural Works Copyright Protection Act of 1990.



3D - Modern J

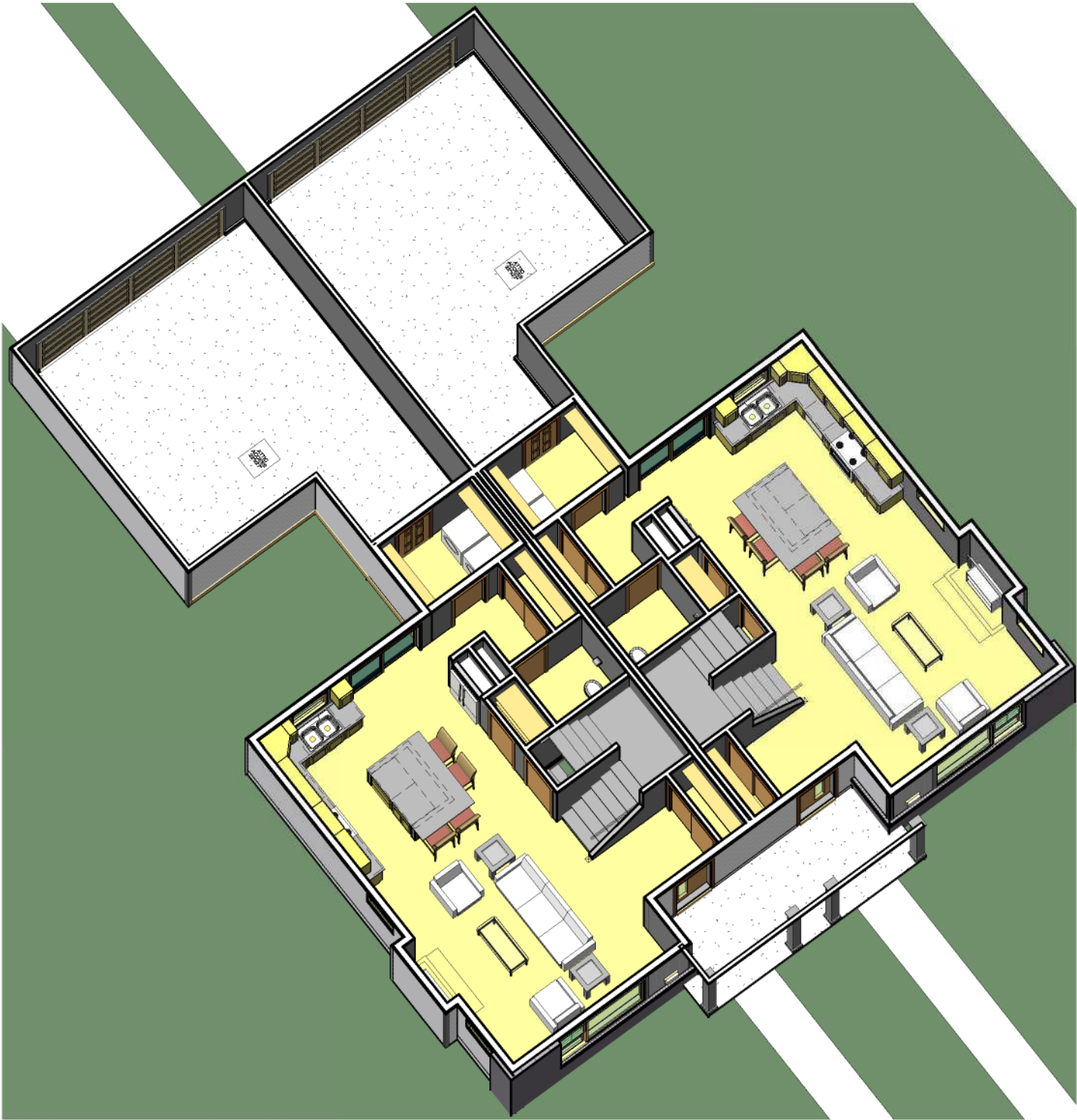


3D - Modern J - Rear

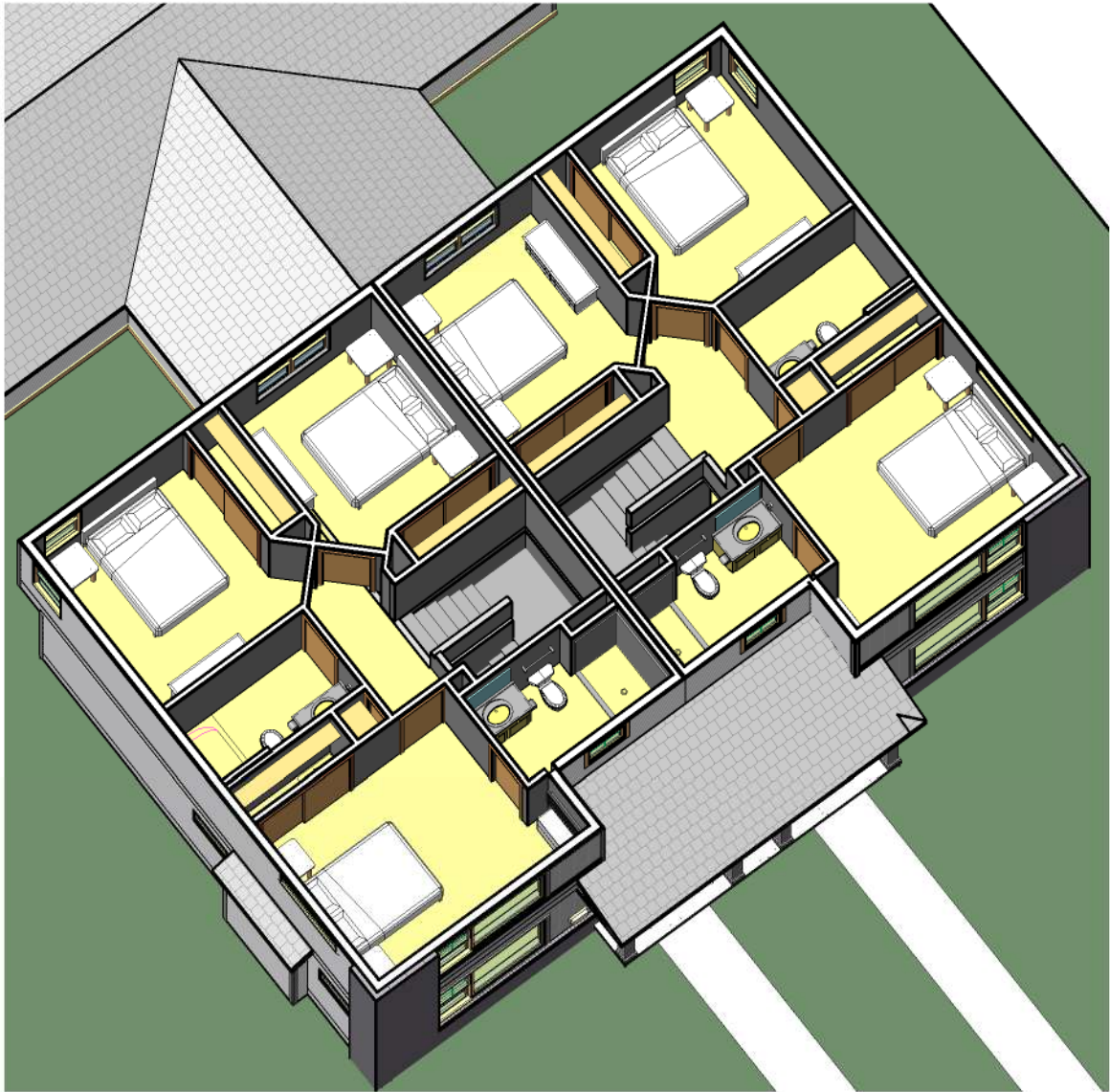
Do Not Scale

Note: All dimensions are stud to stud
Actual floor plans & exterior styles may differ from these shown based on
modifications, options & improvements to the plans by the builder.
Room dimensions, features & actual square footage vary by exterior style and options.

		Custom Designed For: Owner	
VERIDIAN HOMES		Homesite / Neighborhood: Project Number	
6801 South Towne Drive Madison, WI 53713 Phone 608.226.3100 Fax 608.226.0600		Address: Enter address here	
		Customer Approval:	
		©Copyright 2008 Veridian Management Solutions LLC Protected Under Architectural Works Copyright Protection Act of 1990.	
Model: EMERSON		Print Date: 10/30/2019 6:12:33 AM	
Elevation: Modern J		Drawing No.: JO	
Drawn By: Author		Date: Issue Date	



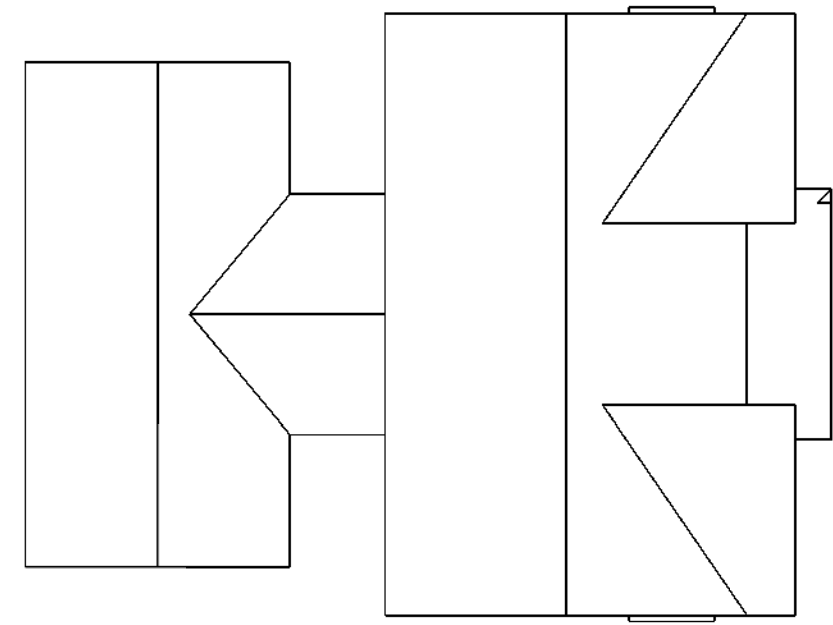
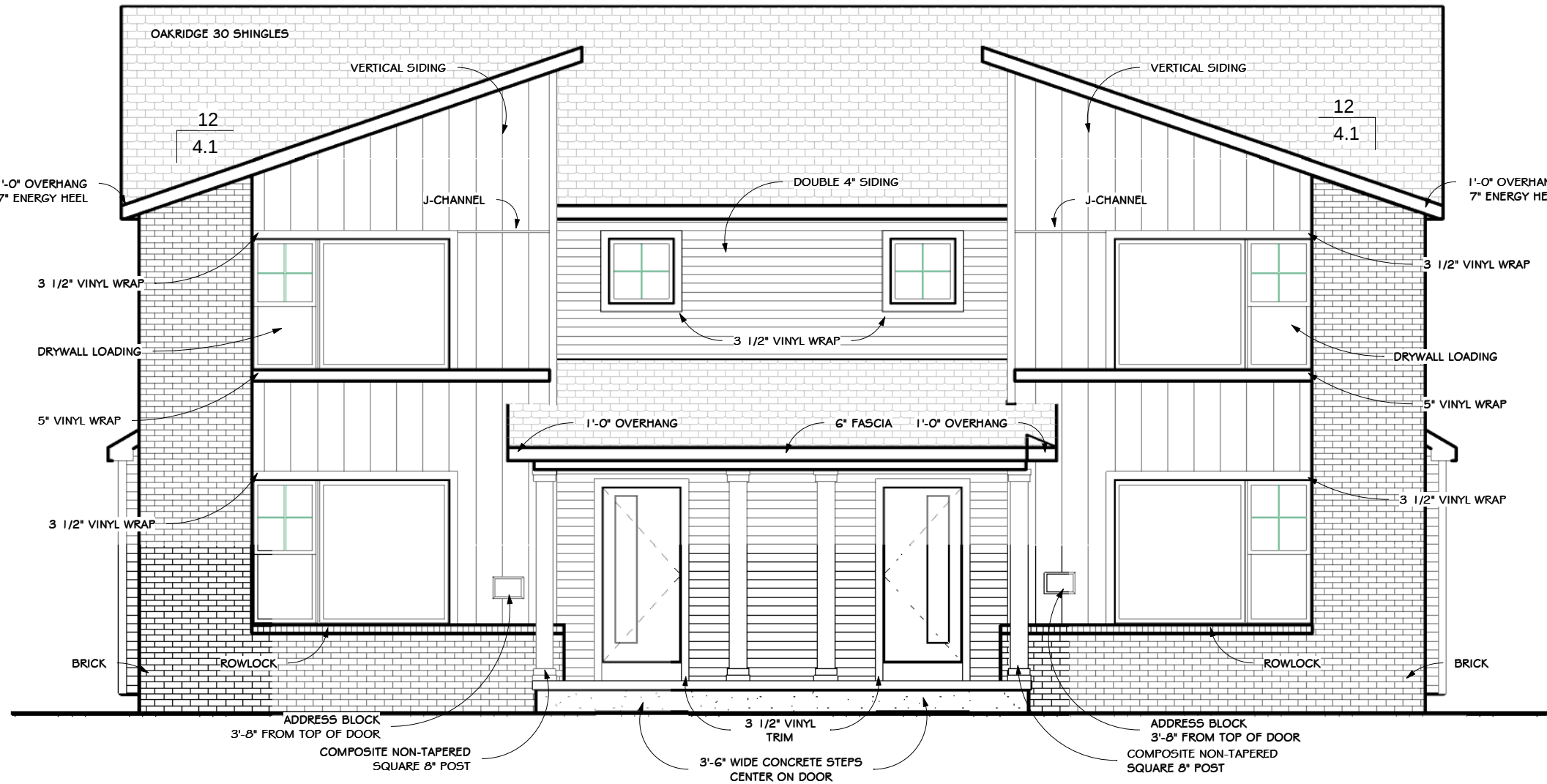
3D First Floor - Modern J



3D Second Floor - Modern J

Do Not Scale Note: All dimensions are stud to stud. Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

		VERIDIAN HOMES		6801 South Towne Drive Madison, WI 53713 Phone 608.226.3100 Fax 608.226.0600	
Room dimensions, features & actual square footage vary by exterior style and options. modifications, options & improvements to the plans by the builder.		Model: EMERSON		Print Date: 10/30/2019 6:12:35 AM	
		Elevation: Modern J		Drawing No.: JO.1	
		Drawn By: Author		Date: Issue Date	
Custom Designed For: Owner					
Homestead / Neighborhood: Project Number					
Address: Enter address here					
		Customer Approval:		©Copyright 2008 Veridian Management Solutions LLC Protected Under Architectural Works Copyright Protection Act of 1990.	



Roof Plan
1/16" = 1'-0"

Front Elevation - Modern J
3/16" = 1'-0"

Do Not Scale Note: All dimensions are stud to stud
Actual floor plans & exterior styles may differ from these shown based on
modifications, options & improvements to the plans by the builder.
Room dimensions, features & actual square footage vary by exterior style and options.



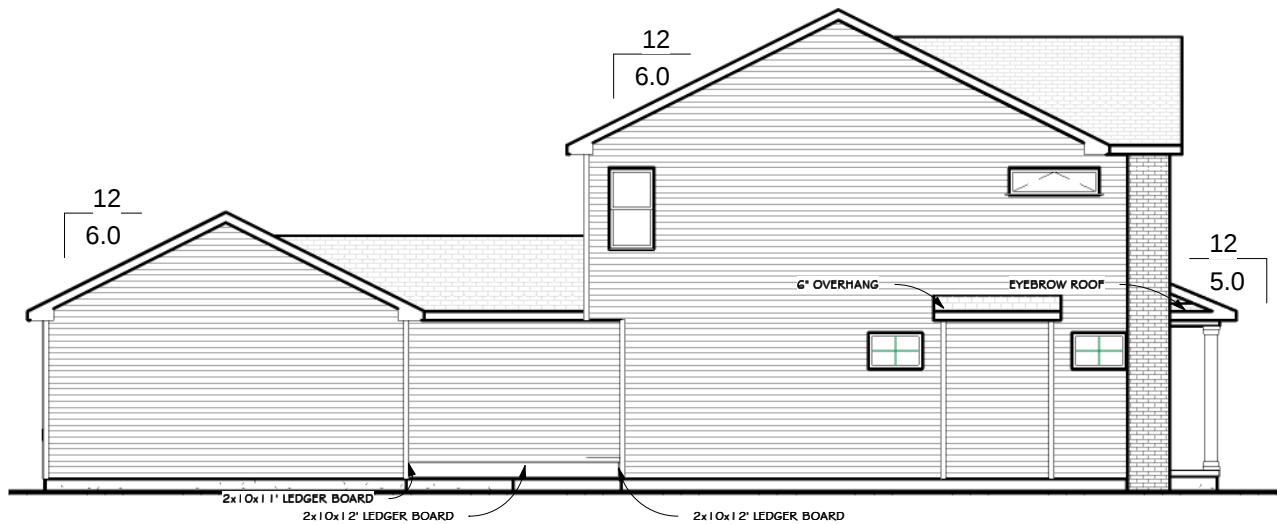
**VERIDIAN
HOMES**
6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Model: EMERSON
Elevation: Modern J
Drawn By: Author Date: Issue Date

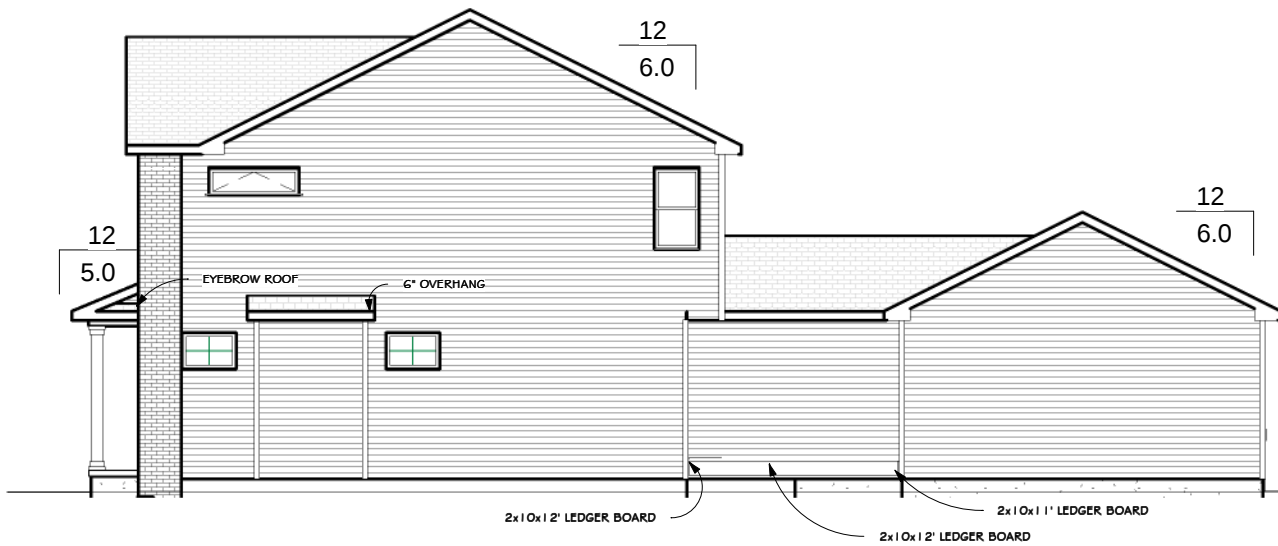
Print Date:
10/30/2019
6:12:36 AM

Drawing No.:
J2

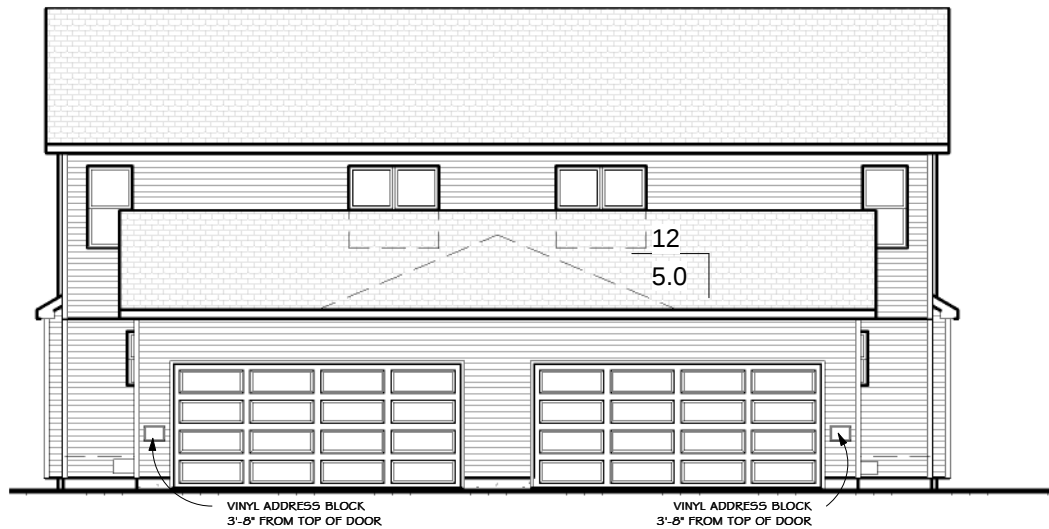
Custom Designed For:	Owner
Homesite / Neighborhood:	Project Number
Address:	Enter address here
Customer Approval:	
©Copyright 2008 Veridian Management Solutions LLC Protected Under Architectural Works Copyright Protection Act of 1990.	



Left Elevation - Modern J
3/32" = 1'-0"



Right Elevation - Modern J
3/32" = 1'-0"



Rear Elevation - Modern J
3/32" = 1'-0"

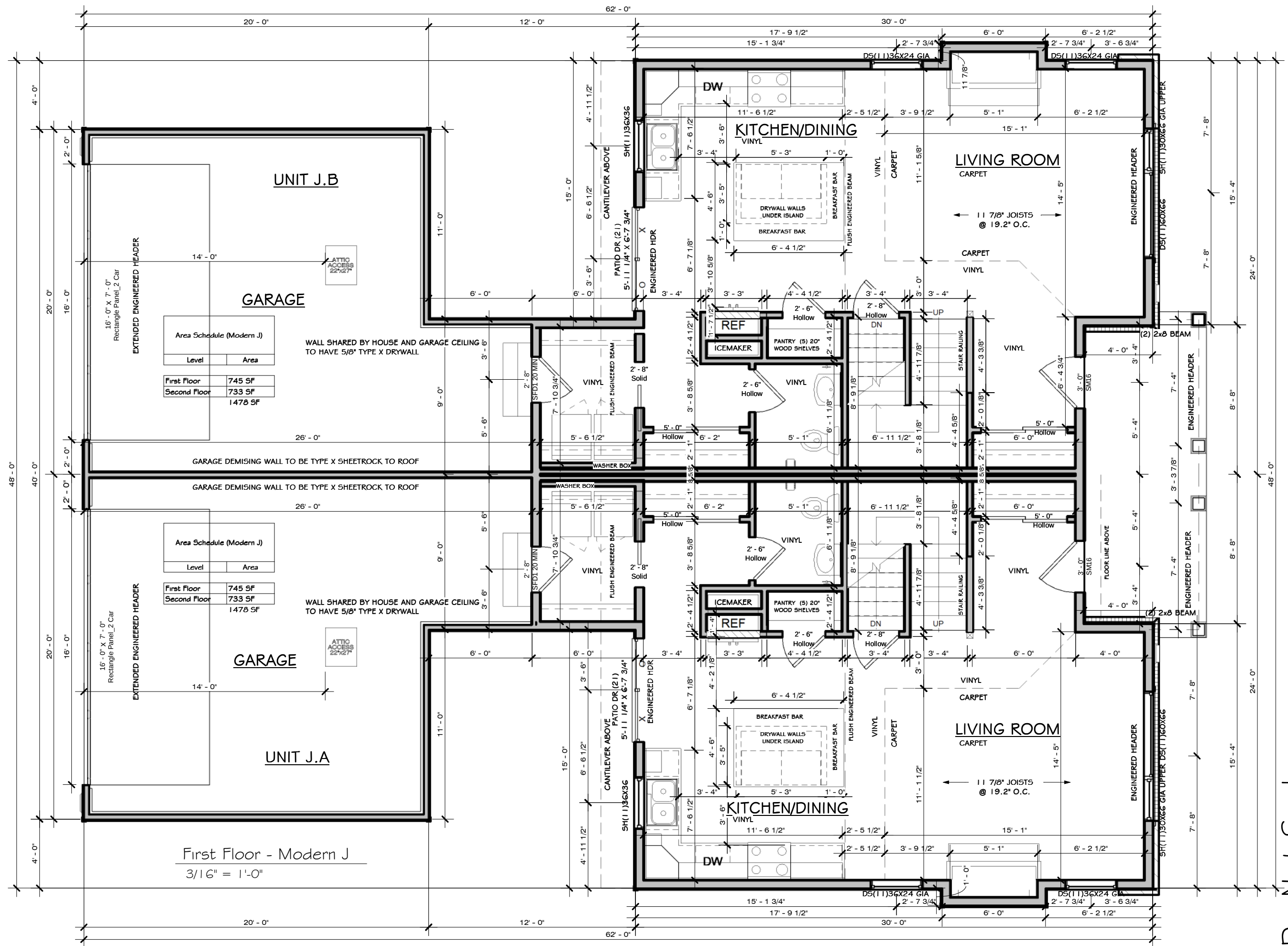
Do Not Scale Note: All dimensions are stud to stud
Actual floor plans & exterior styles may differ from these shown based on
modifications, options & improvements to the plans by the builder.
Room dimensions, features & actual square footage vary by exterior style and options.

Custom Designed For:	Owner
Homestead / Neighborhood:	Project Number
Address:	Enter address here
Customer Approval:	
©Copyright 2008 Veridian Management Solutions LLC. Protected Under Architectural Works Copyright Protection Act of 1990.	

**VERIDIAN
HOMES**

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Model:	EMERSON
Elevation:	Modern J
Drawn By:	Author
Date:	Issue Date
Print Date: 10/30/2019 6:12:38 AM	
Drawing No.: J2.1	



Do Not Scale

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder.

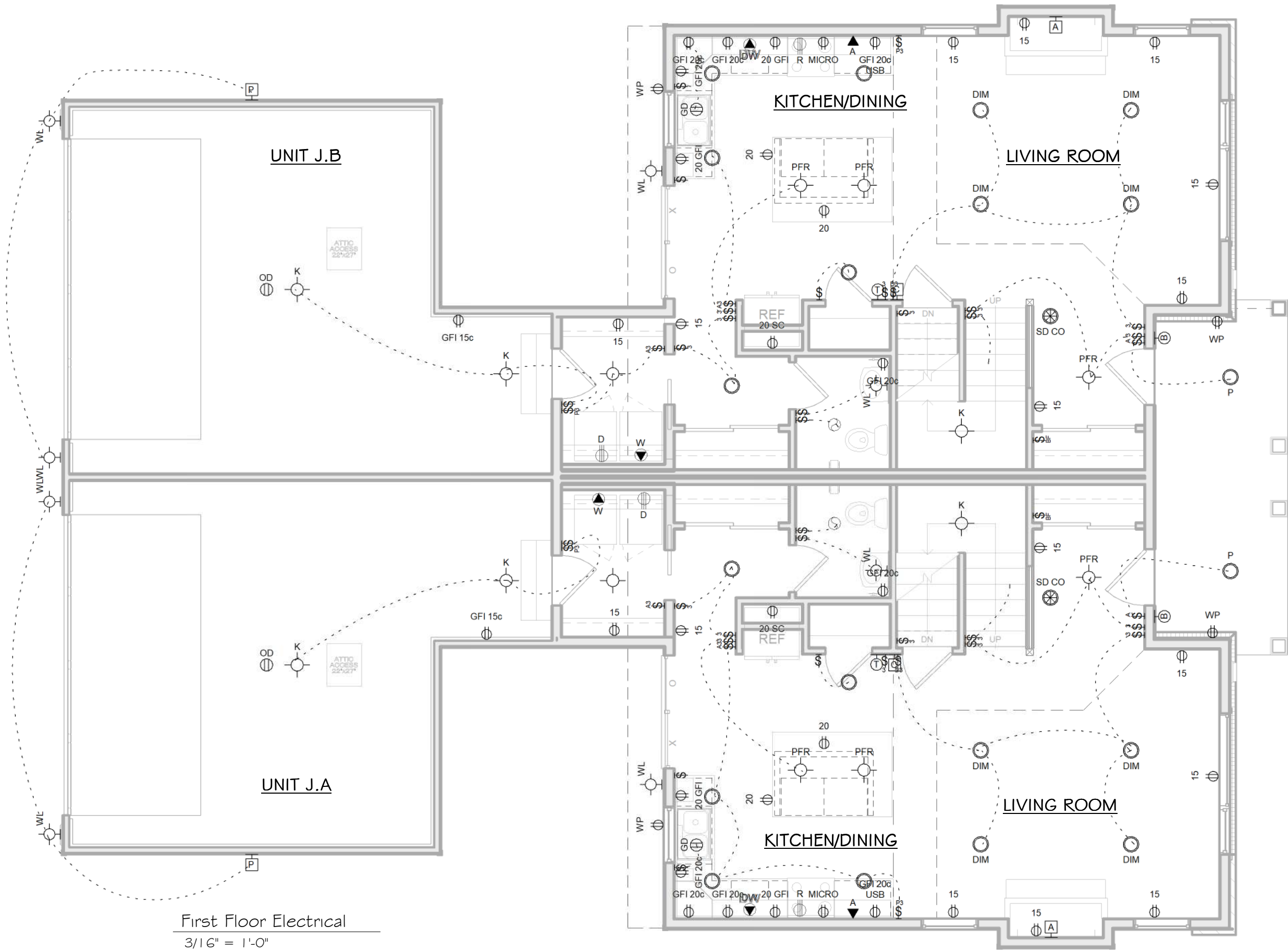
room dimensions, features & actual square footage vary by exterior style and options.

Customer Designed For:	Owner
Homestead / Neighborhood:	Project Number
Address:	Enter address here
Customer	
Approval:	
©Copyright 2008 Vendian Management Solutions LLC Protected Under Architectural Works Copyright Protection Act of 1990.	

VERIDIAN
HOMES

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Model: <u>EMERSON</u>	Elevation: <u>Modern J</u>	Drawn By: <u>Author</u>	Date: <u>Issue Date</u>
Print Date: <u>10/30/2019 6:12:41 AM</u>			
Drawing No.: <u>J3</u>			



First Floor Electrical
3/16" = 1'-0"

Do Not Scale Note: All dimensions are stud to stud

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder.

Room dimensions, features & actual square footage vary by exterior style and options.



**VERIDIAN
HOMES**

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Model: EMERSON

Elevation: Modern J

Drawn By: Author Date: Issue Date

Print Date:
10/30/2019
6:12:42 AM

Drawing No.:
J4

Custom Designed For: Owner

Homestead / Neighborhood: Project Number

Address: Enter address here

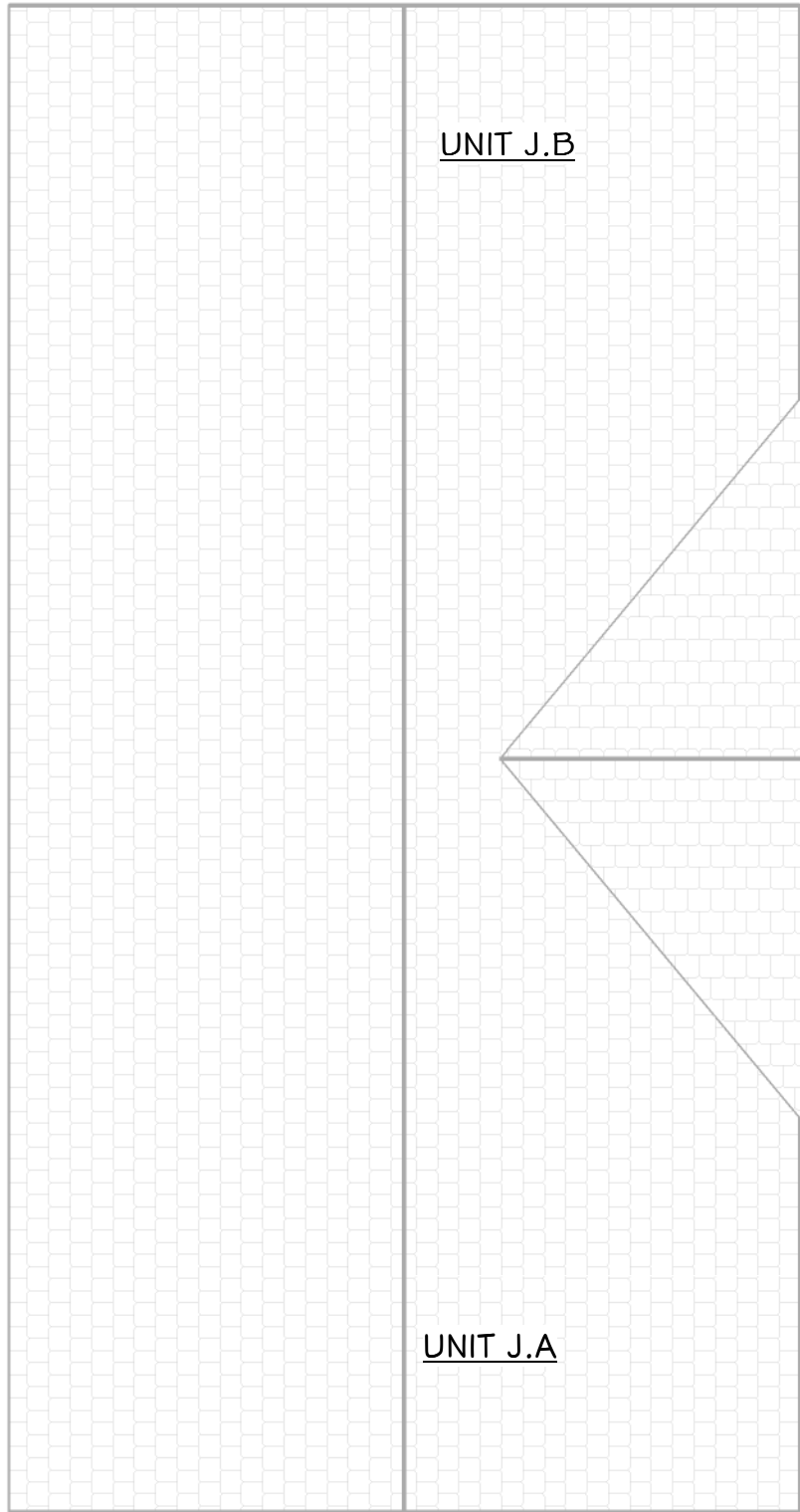
Customer

Approval:

©Copyright 2008 Veridian Management Solutions LLC. Protected Under
Architectural Works Copyright Protection Act of 1990.

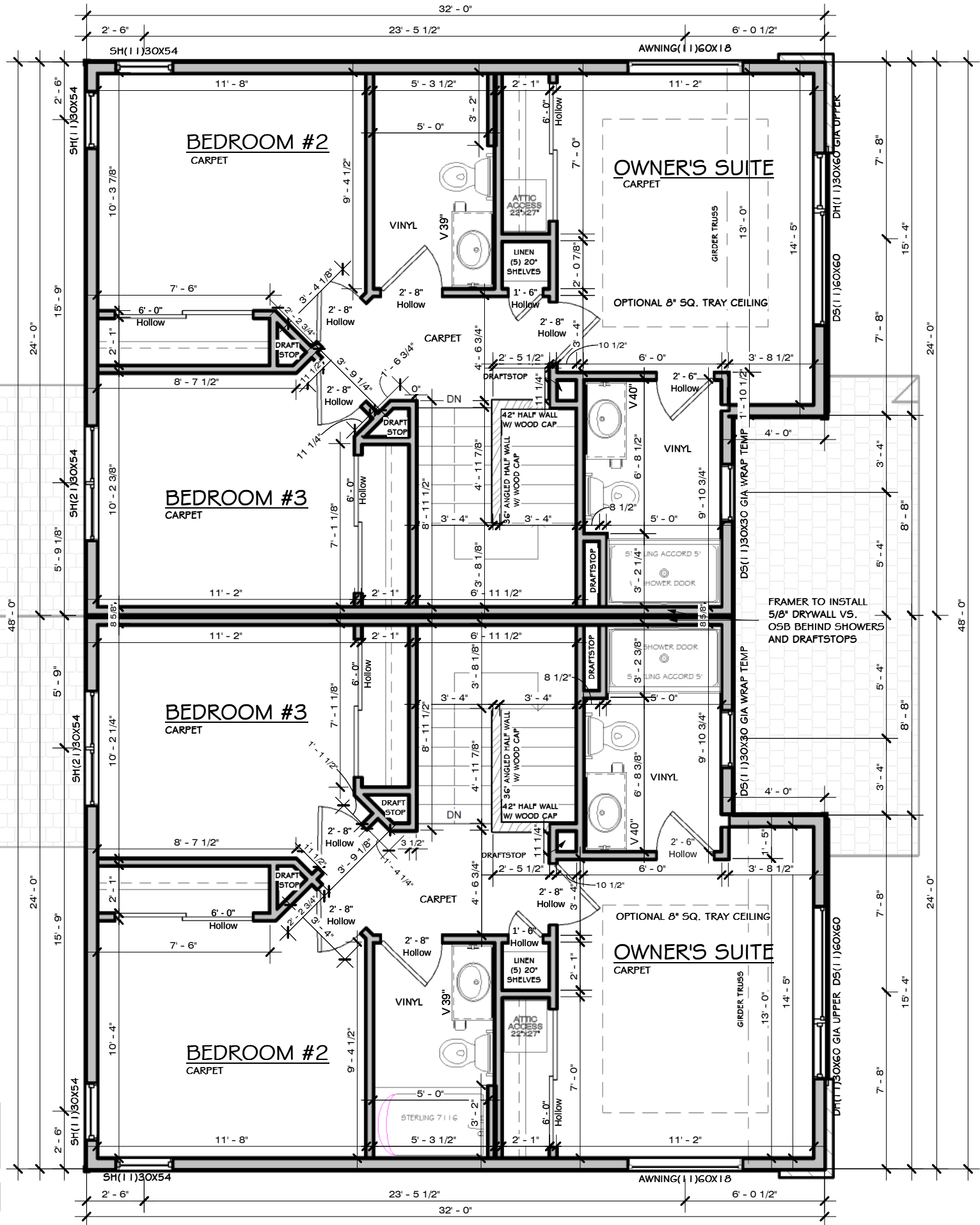
Second Floor - Modern J

3/16" = 1'-0"



Area Schedule (Modern J)	
Level	Area
First Floor	745 SF
Second Floor	733 SF
1478 SF	

Area Schedule (Modern J)	
Level	Area
First Floor	745 SF
Second Floor	733 SF
1478 SF	



Do Not Scale

Note: All dimensions are stud to stud
Actual floor plans & exterior styles may differ from these shown based on
modifications, options & improvements to the plans by the builder.
Room dimensions, features & actual square footage vary by exterior style and options.



VERIDIAN
HOMES

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Custom Designed For: Owner
Homestead / Neighborhood: Project Number
Address: Enter address here

Model: EMERSON

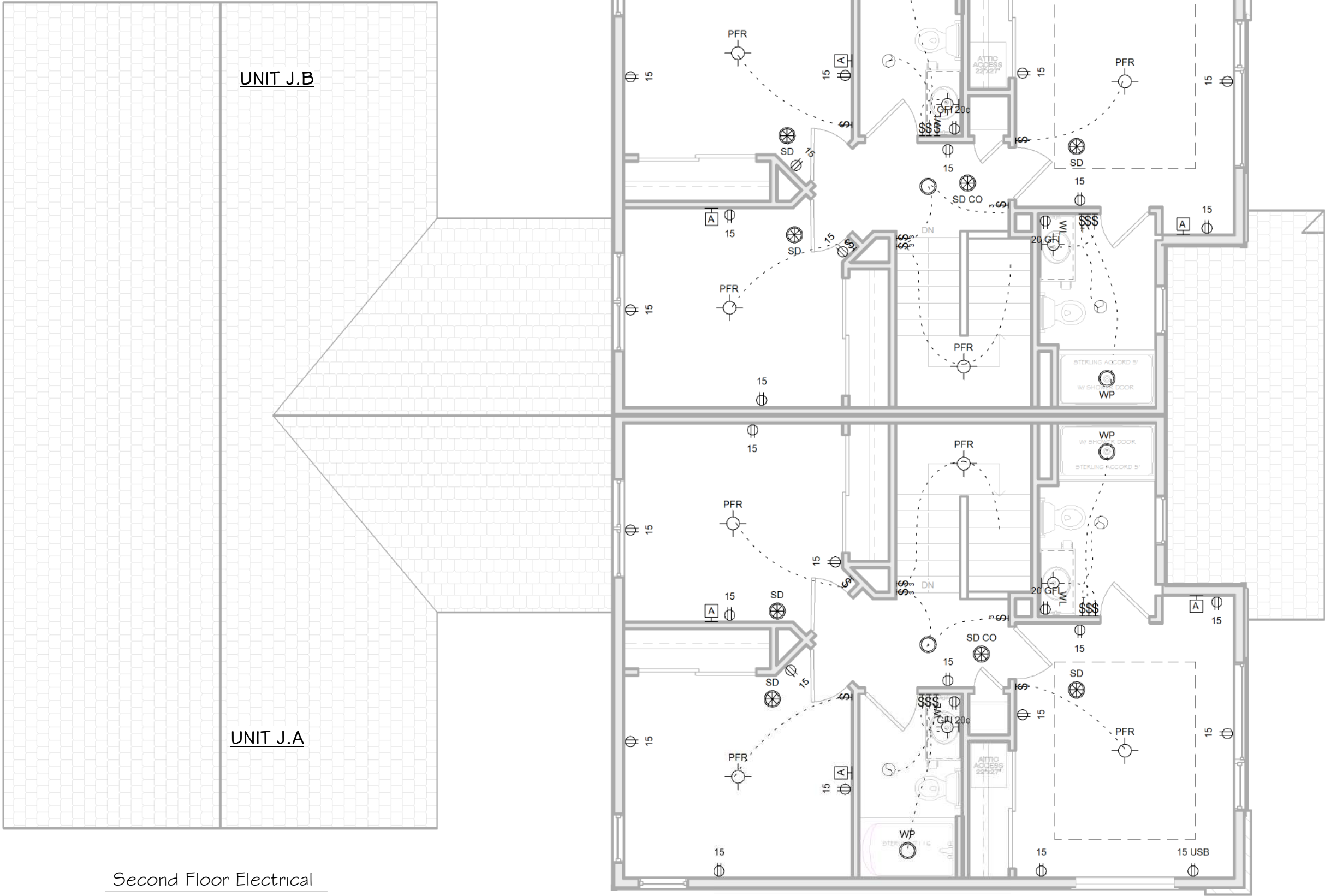
Elevation: Modern J

Drawn By: Author Date: Issue Date

Print Date:
10/30/2019
6:12:44 AM

Drawing No.:
J5

Copyright 2008 Veridian Management Solutions LLC Protected Under
Architectural Works Copyright Protection Act of 1990.



Second Floor Electrical
3/16" = 1'-0"

Do Not Scale Note: All dimensions are stud to stud

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder.

Room dimensions, features & actual square footage vary by exterior style and options.



VERIDIAN
HOMES

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Custom Designed For: Owner
Homestead / Neighborhood: Project Number
Address: Enter address here

Customer
Approval:

©Copyright 2008 Veridian Management Solutions LLC Protected Under
Architectural Works Copyright Protection Act of 1990.

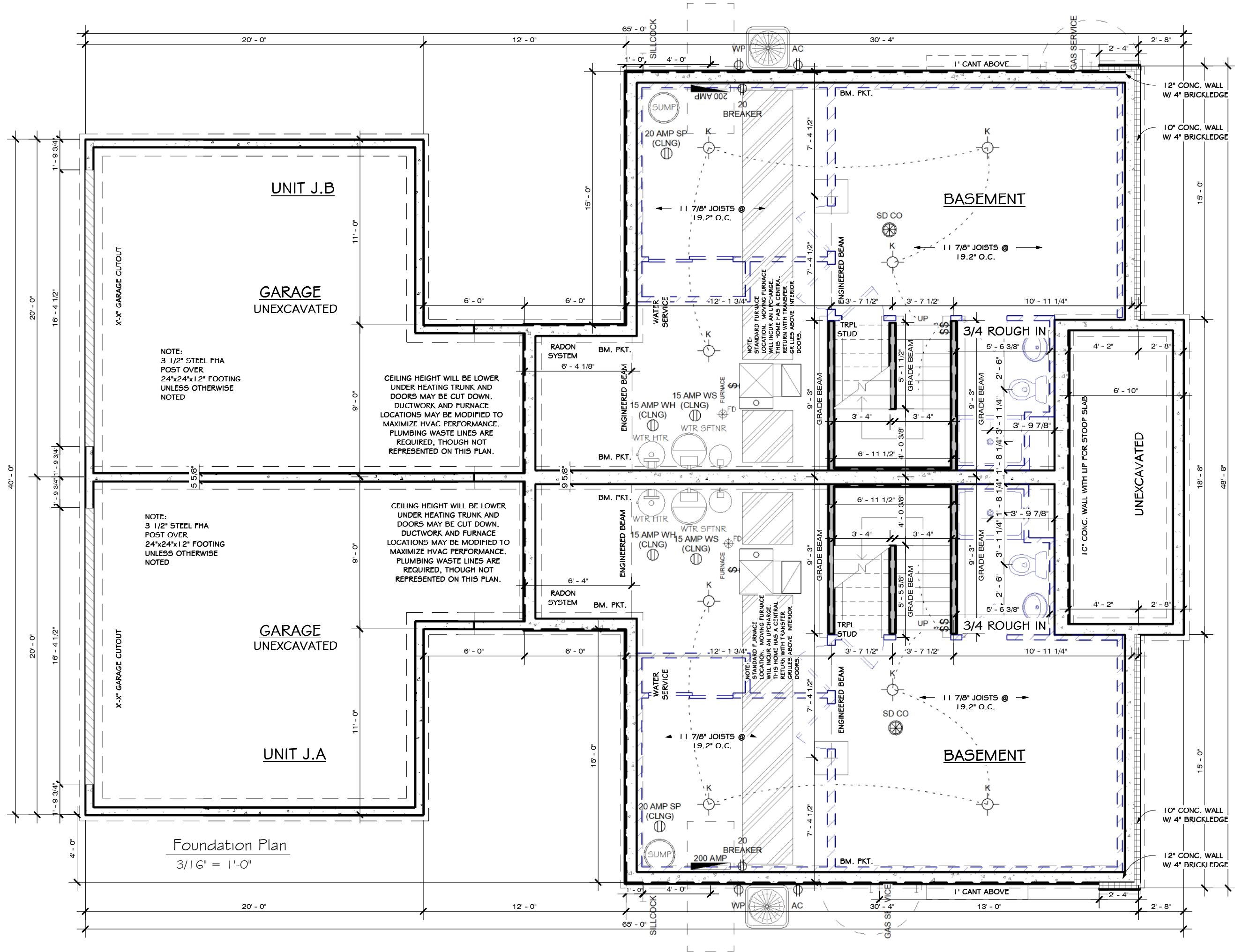
Model: EMERSON

Elevation: Modern J

Drawn By: Author Date: Issue Date

Print Date:
10/30/2019
6:12:46 AM

Drawing No.:
J6



Do Not Scale Note: All dimensions are stud to stud

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder.
Room dimensions, features & actual square footage vary by exterior style and options.



**VERIDIAN
HOMES**

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Custom Designed For: Owner
Homestead / Neighborhood: Project Number
Address: Enter address here

Customer
Approval:

©Copyright 2008 Veridian Management Solutions LLC Protected Under
Architectural Works Copyright Protection Act of 1990.

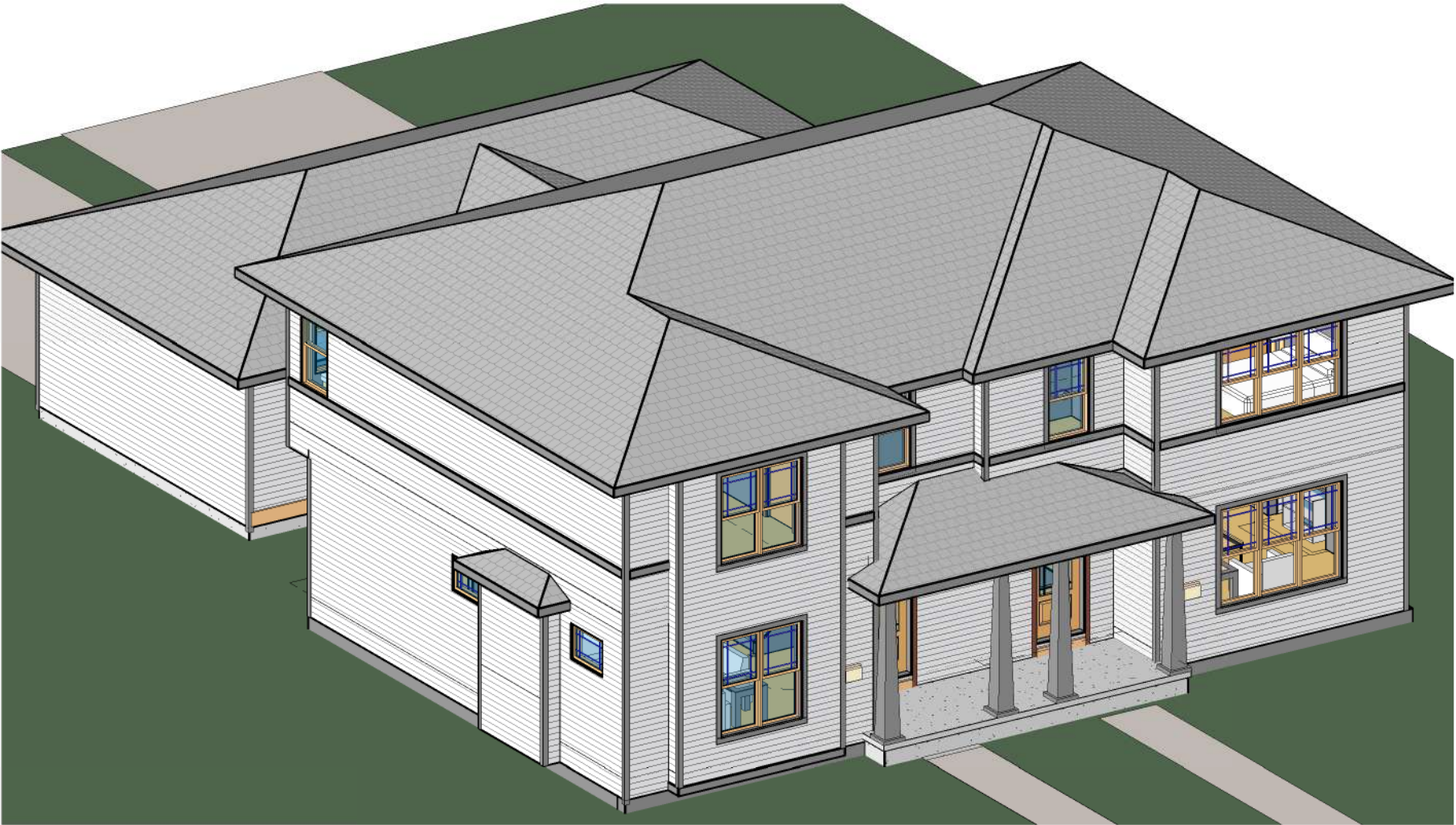
Model: EMERSON

Elevation: Modern J

Drawn By: Author Date: Issue Date

Print Date:
10/30/2019
6:12:47 AM

Drawing No.:
J7



3D - Prairie

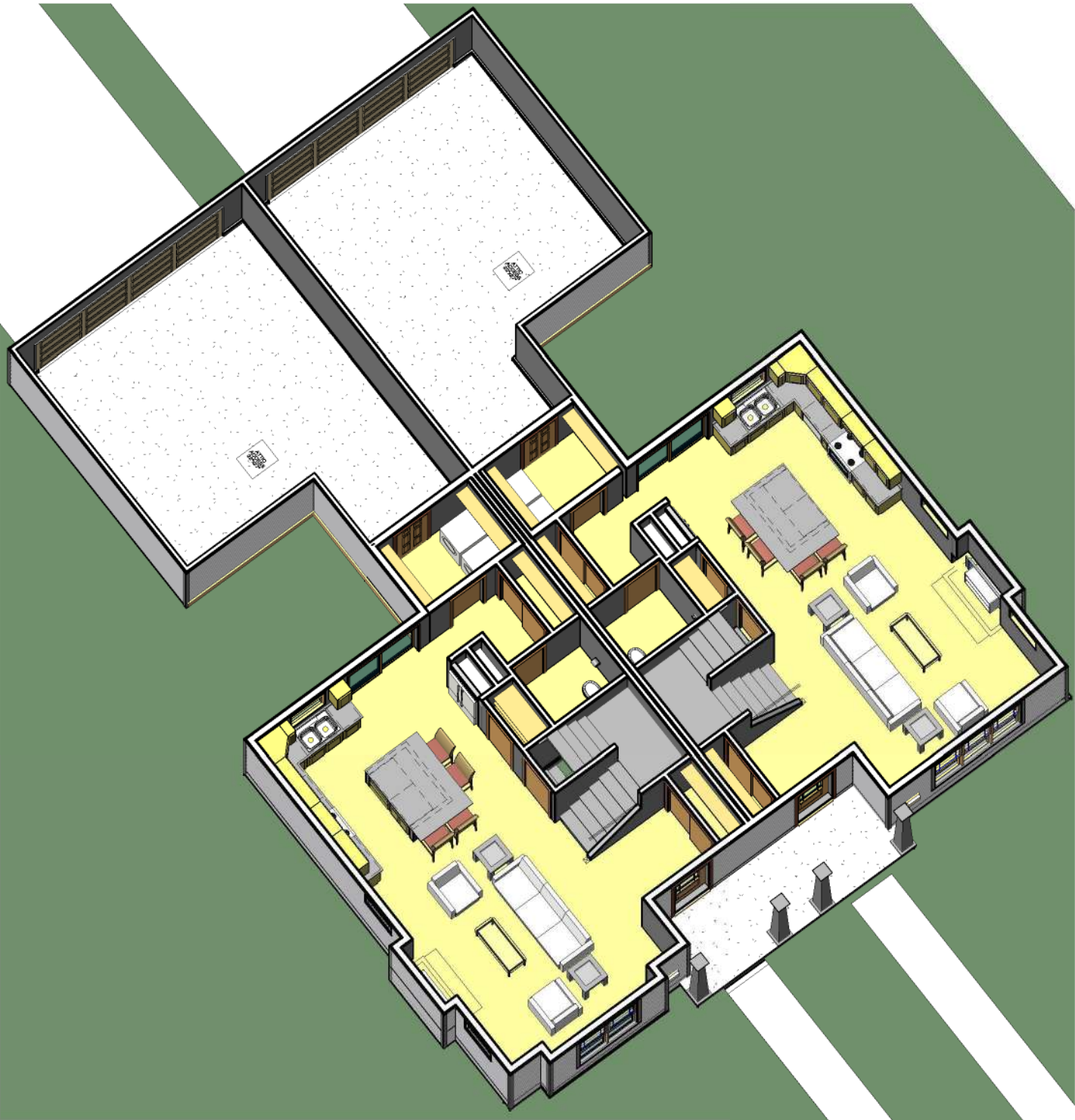


3D - Prairie - Rear

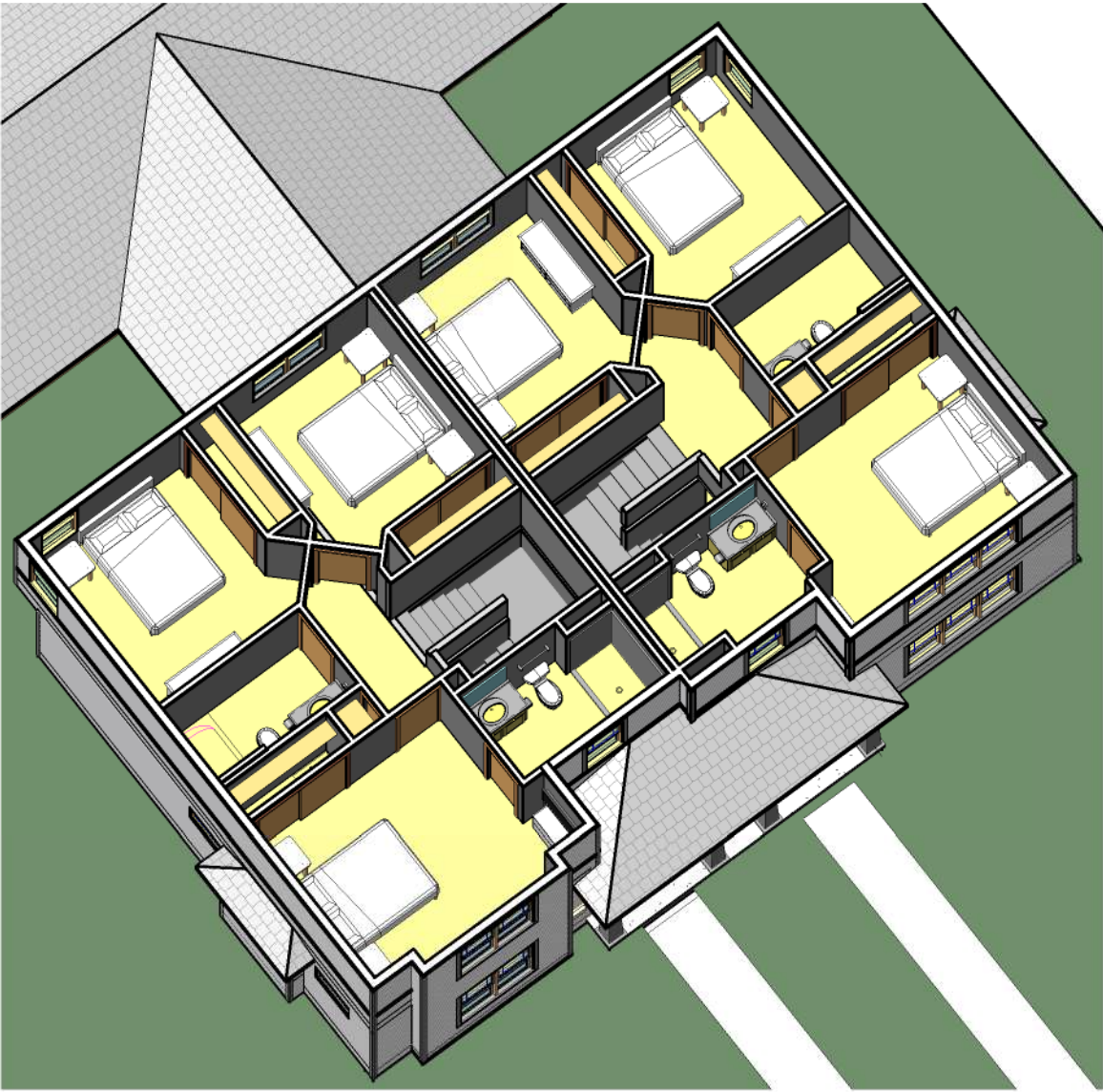
Do Not Scale

Note: All dimensions are stud to stud
Actual floor plans & exterior styles may differ from these shown based on
modifications, options & improvements to the plans by the builder.
Room dimensions, features & actual square footage vary by exterior style and options.

		Custom Designed For: Owner	
		Homesite / Neighborhood: Project Number	
		Address: Enter address here	
		Customer Approval:	
		©Copyright 2008 Veridian Management Solutions LLC Protected Under Architectural Works Copyright Protection Act of 1990.	
Model: EMERSON		Print Date:	
Elevation: Prairie		10/30/2019	
Drawn By: Author		Date: Issue Date	
		6:13:42 AM	
		Drawing No.: PO	



3D First Floor - Prairie



3D Second Floor - Prairie

Do Not Scale Note: All dimensions are stud to stud. Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



VERIDIAN
HOMES

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Model: EMERSON

Elevation: Prairie

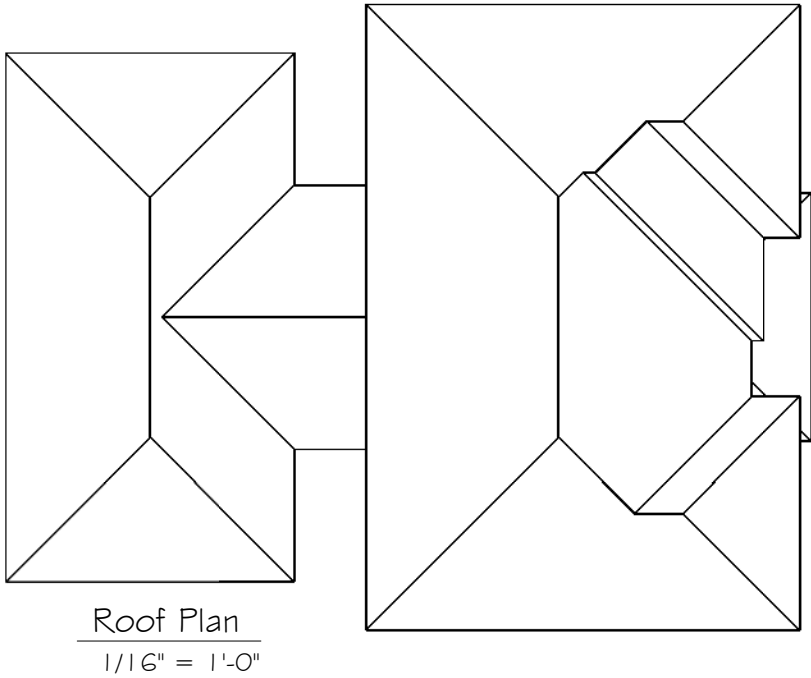
Drawn By: Author Date: Issue Date

Custom Designed For: Owner
Homestead / Neighborhood: Project Number
Address: Enter address here

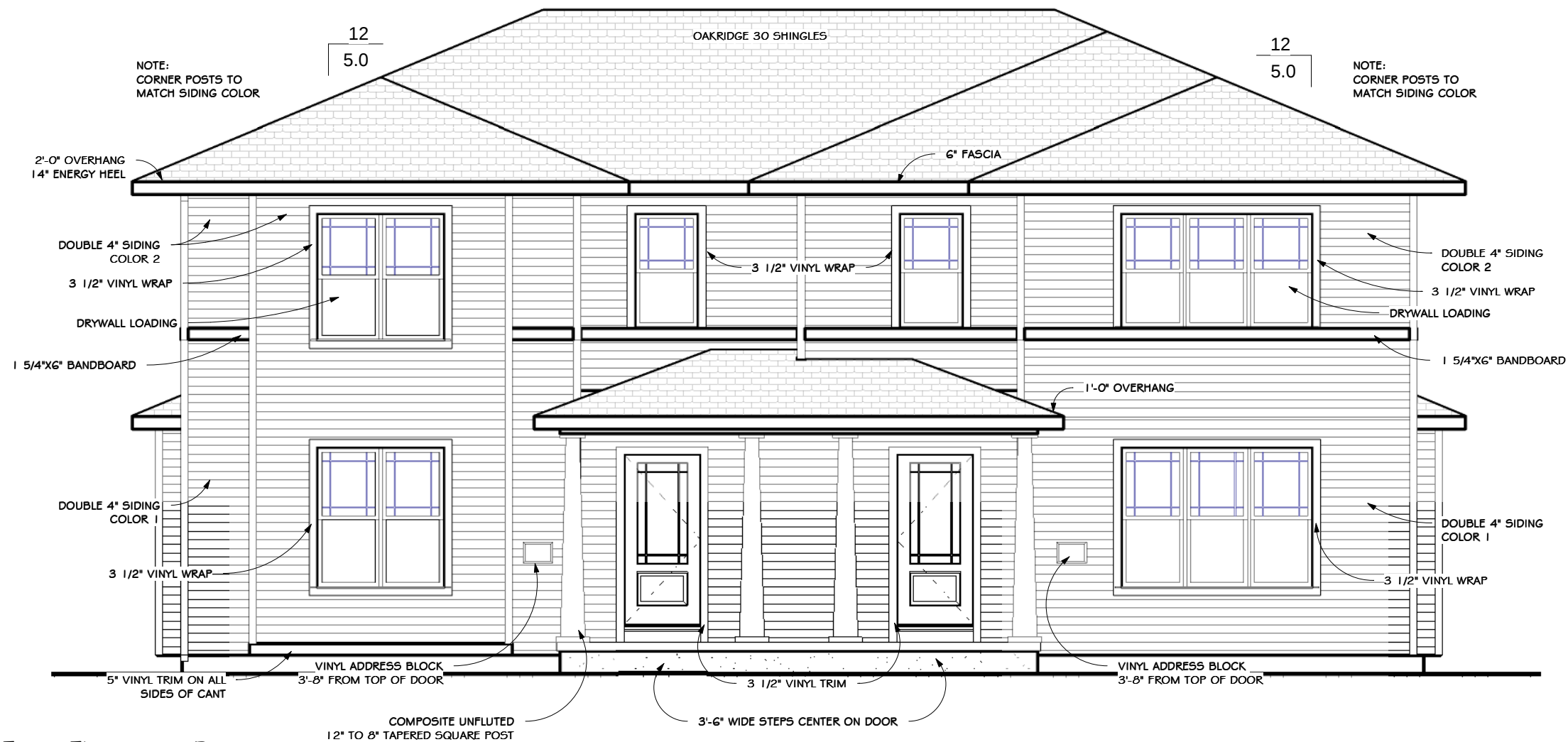
Customer Approval:
©Copyright 2008 Veridian Management Solutions LLC Protected Under Architectural Works Copyright Protection Act of 1990.

Print Date:
10/30/2019
6:13:44 AM

Drawing No.:
PO.1



Roof Plan
1/16" = 1'-0"



Front Elevation - Prairie
3/16" = 1'-0"

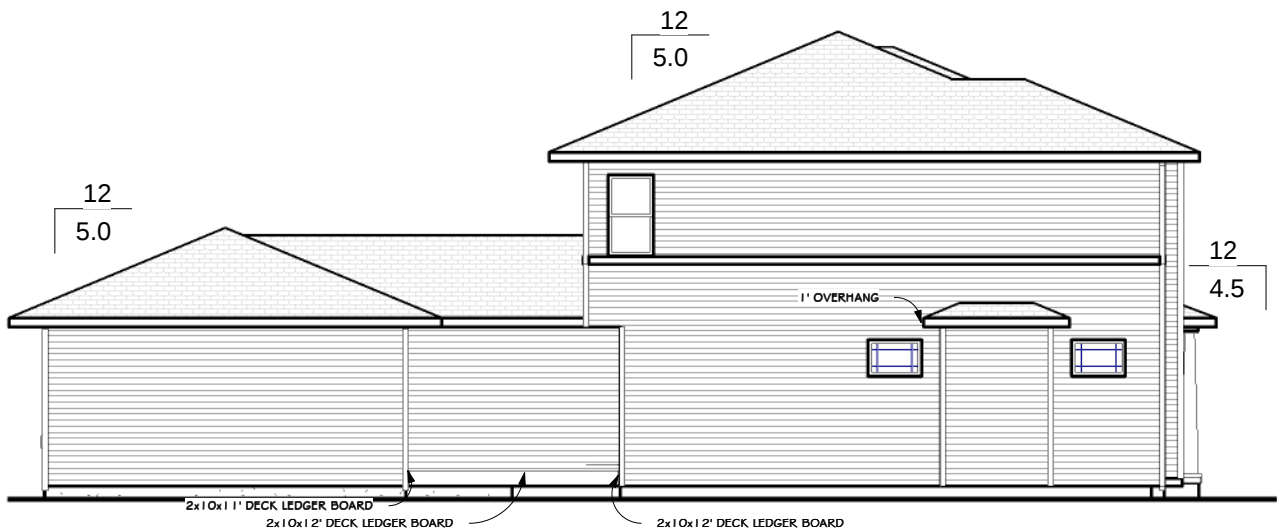
Do Not Scale Note: All dimensions are stud to stud
Actual floor plans & exterior styles may differ from these shown based on
modifications, options & improvements to the plans by the builder.
Room dimensions, features & actual square footage vary by exterior style and options.

Custom Designed For:	Owner
Homesite / Neighborhood:	Project Number
Address:	Enter address here
Customer Approval:	
©Copyright 2008 Veridian Management Solutions LLC Protected Under Architectural Works Copyright Protection Act of 1990.	

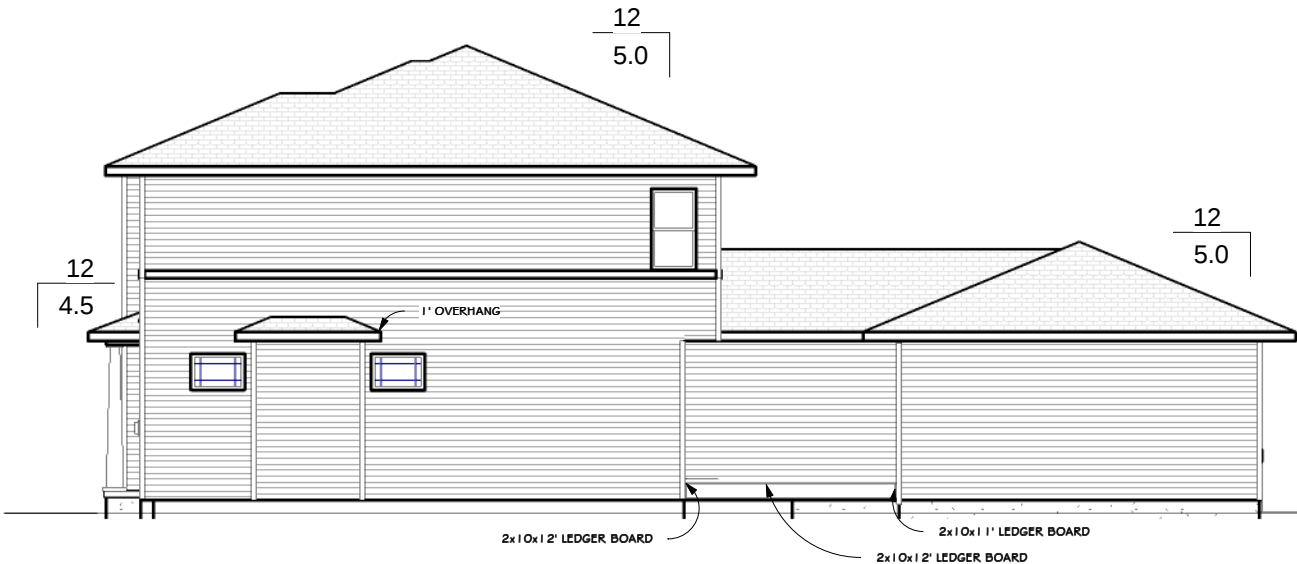
**VERIDIAN
HOMES**

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

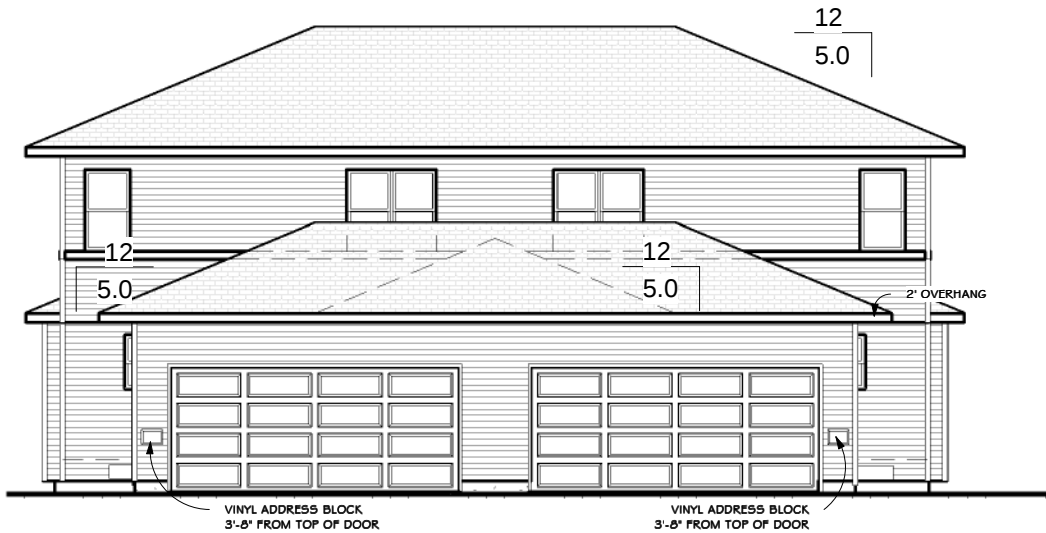
Model:	EMERSON
Elevation:	Prairie
Drawn By:	Author
Date:	Issue Date
Print Date: 10/30/2019 6:13:45 AM	
Drawing No.: P2	



Left Elevation - Prairie
3/32" = 1'-0"



Right Elevation - Prairie
3/32" = 1'-0"



Rear Elevation - Prairie
3/32" = 1'-0"

Do Not Scale Note: All dimensions are stud to stud

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder.

Room dimensions, features & actual square footage vary by exterior style and options.



VERIDIAN
HOMES

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Custom Designed For: Owner

Homestead / Neighborhood: Project Number

Address: Enter address here

Customer

Approval:

©Copyright 2008 Veridian Management Solutions LLC. Protected Under
Architectural Works Copyright Protection Act of 1990.

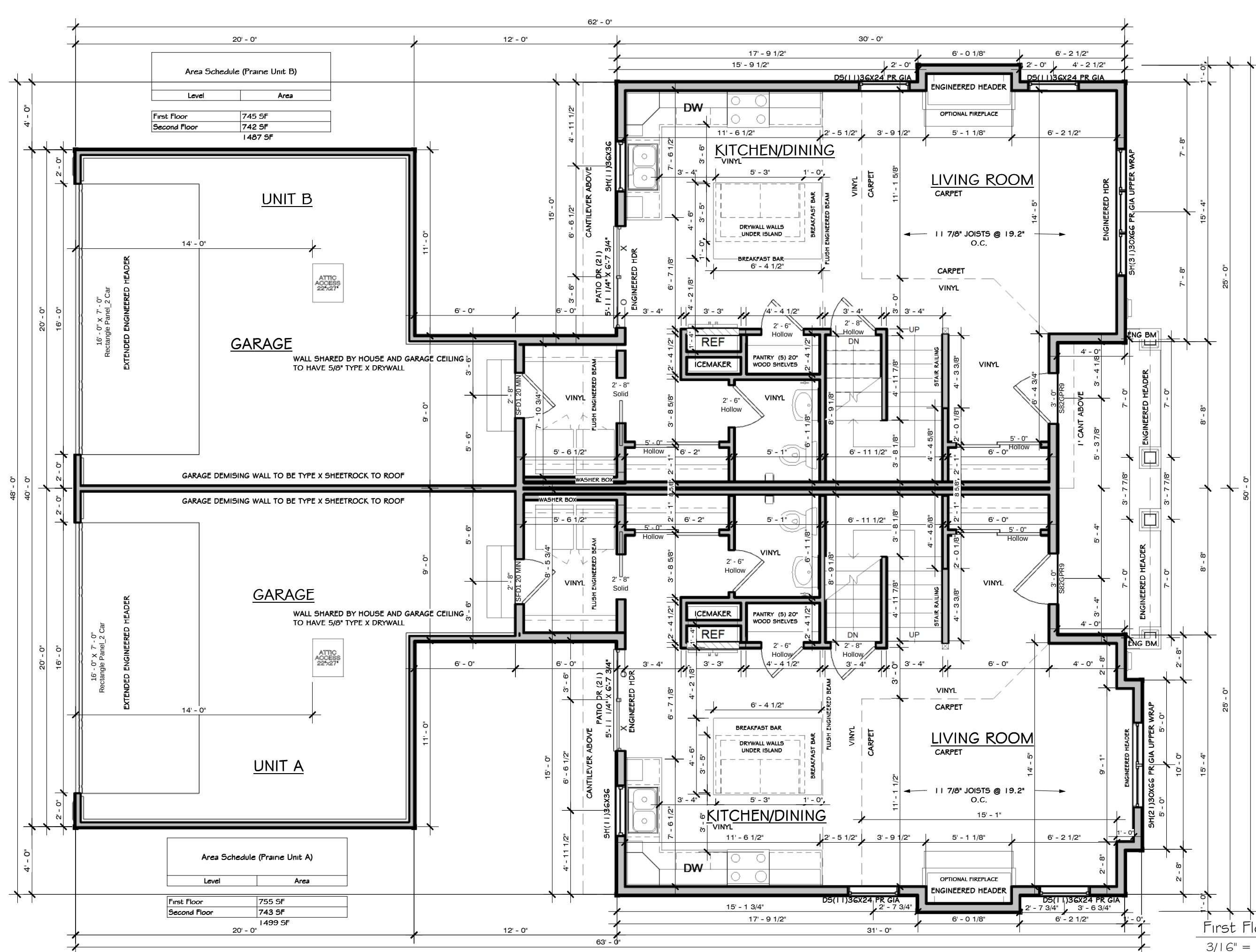
Model: EMERSON

Elevation: Prairie

Drawn By: Author Date: Issue Date

Print Date:
10/30/2019
6:13:47 AM

Drawing No.:
P2.1



Do Not Scale Note: All dimensions are stud to stud

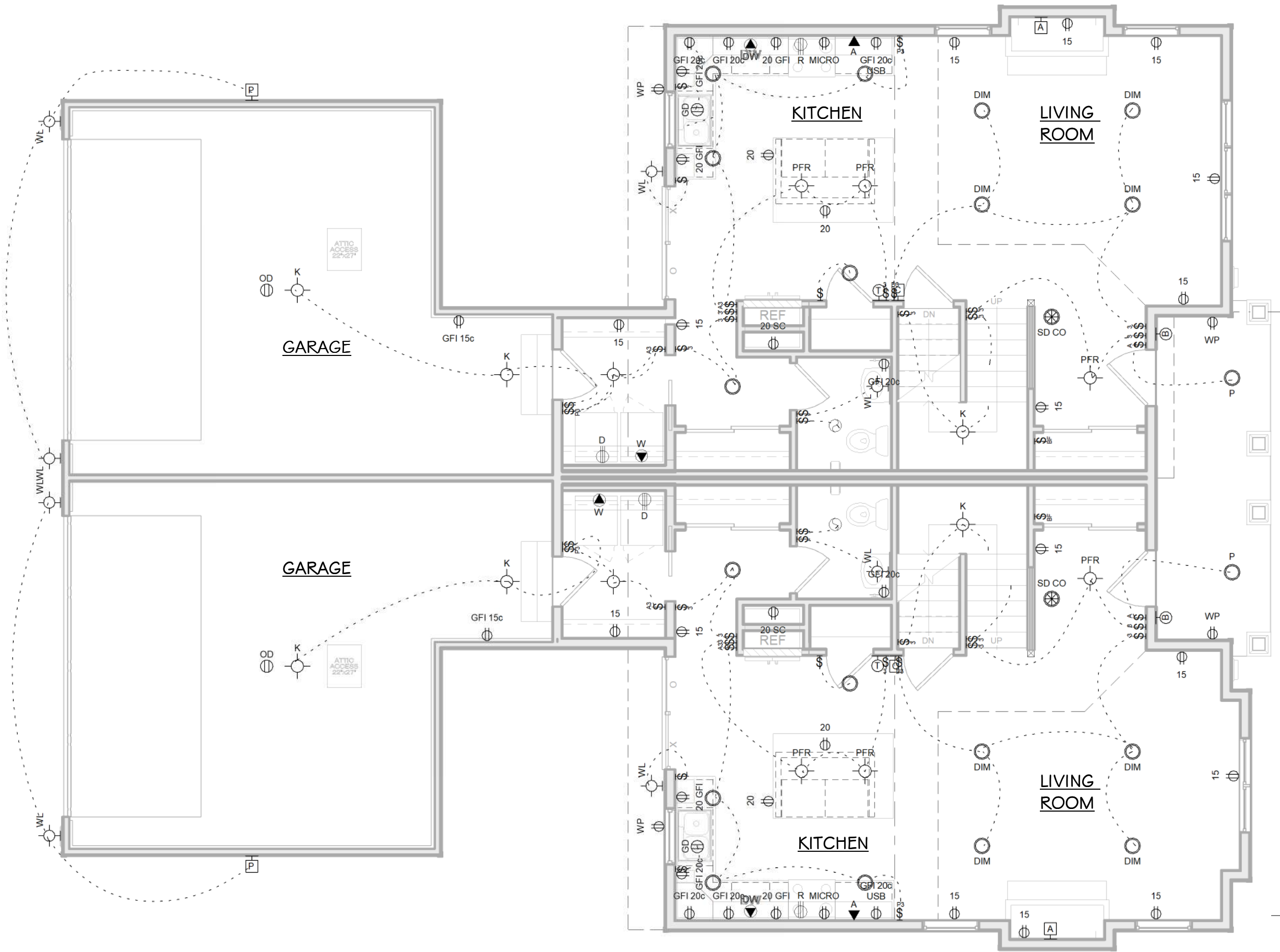
Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder.
Room dimensions, features & actual square footage vary by exterior style and options.

Custom Designed For:	Owner
Homestead / Neighborhood:	Project Number
Address:	Enter address here
Customer Approval:	

**VERIDIAN
HOMES**

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Model:	EMERSON
Elevation:	Prairie
Drawn By:	Author
Date:	Issue Date
Print Date:	10/30/2019 6:13:48 AM
Drawing No.:	P3



First Floor Electrical
3/16" = 1'-0"

Do Not Scale Note: All dimensions are stud to stud

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder.

Room dimensions, features & actual square footage vary by exterior style and options.



**VERIDIAN
HOMES**

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Custom Designed For: Owner
Homestead / Neighborhood: Project Number
Address: Enter address here

Customer
Approval:

©Copyright 2008 Veridian Management Solutions LLC Protected Under
Architectural Works Copyright Protection Act of 1990.

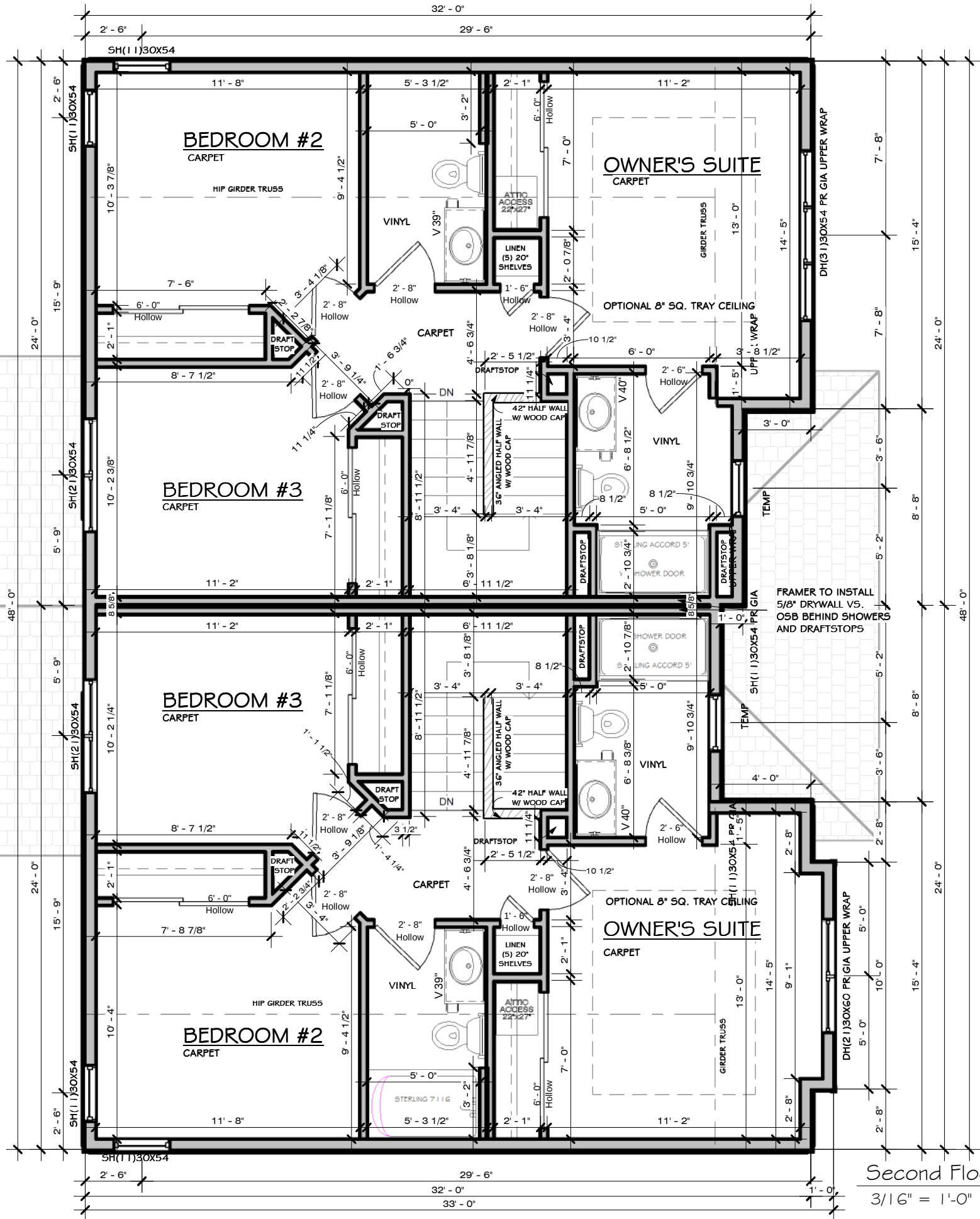
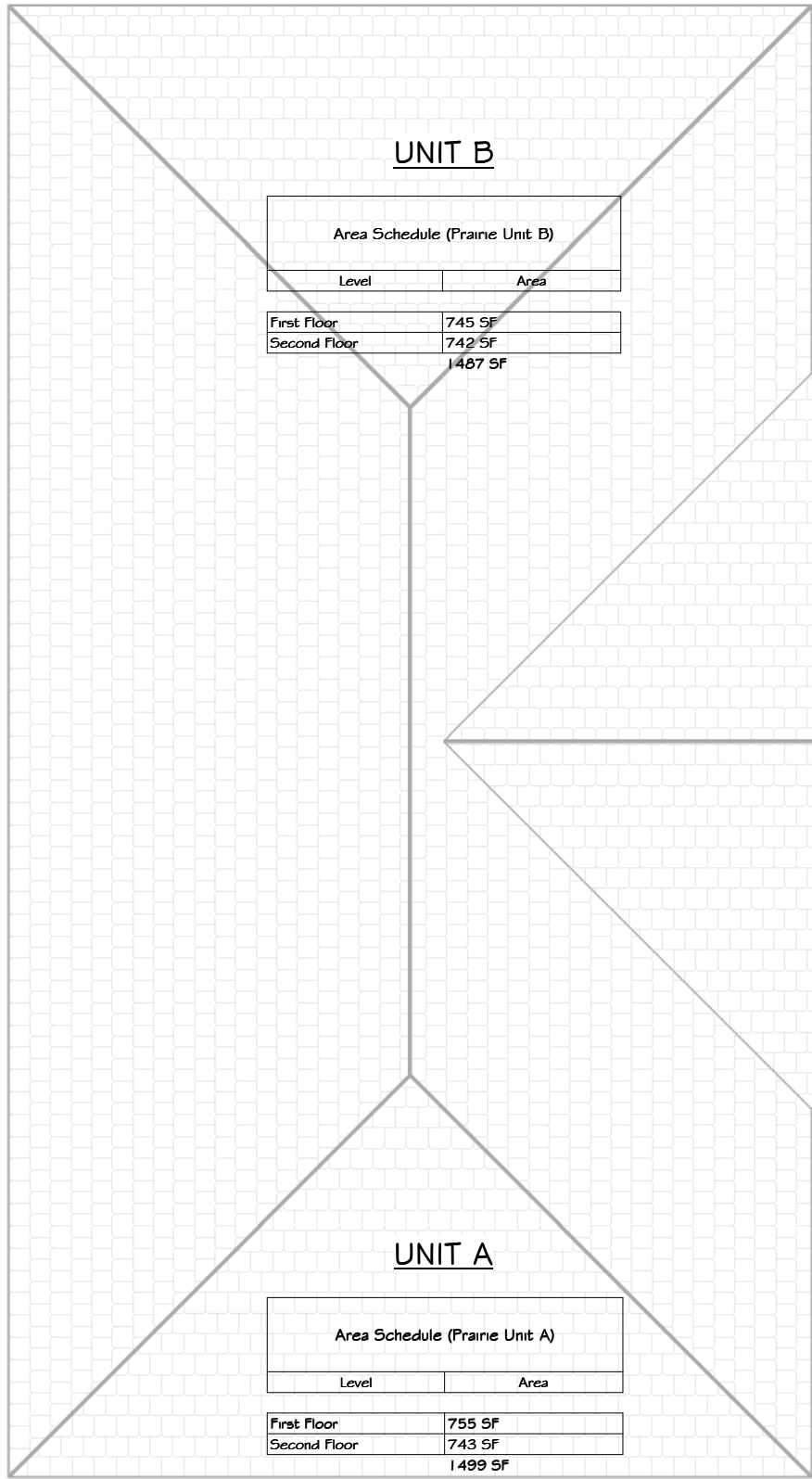
Model: EMERSON

Elevation: Prairie

Drawn By: Author Date: Issue Date

Print Date:
10/30/2019
6:13:50 AM

Drawing No.:
P4



Do Not Scale Note: All dimensions are stud to stud

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder.
Room dimensions, features & actual square footage vary by exterior style and options.



VERIDIAN
HOMES

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Model: EMERSON

Elevation: Prairie

Drawn By: Author Date: Issue Date

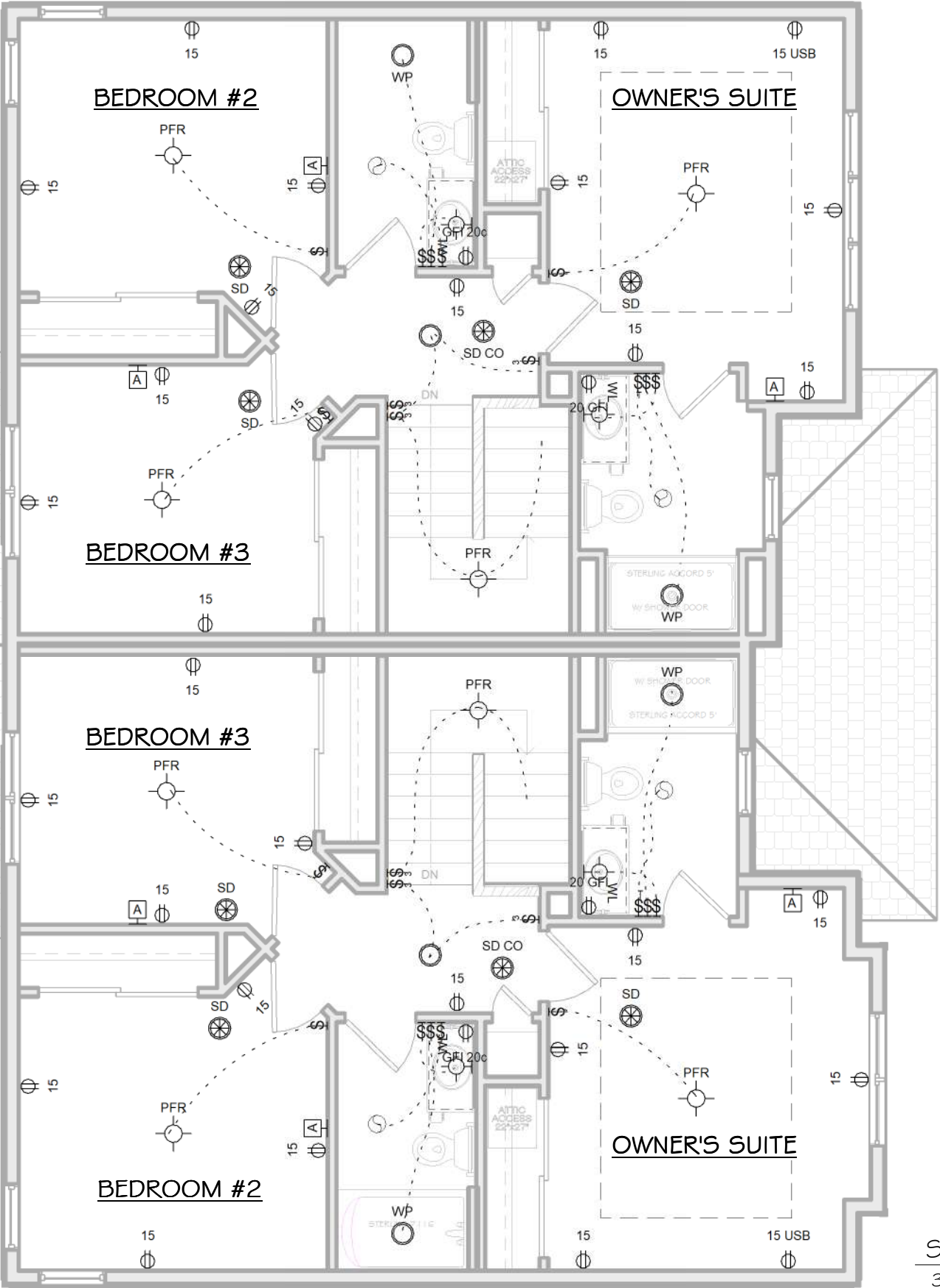
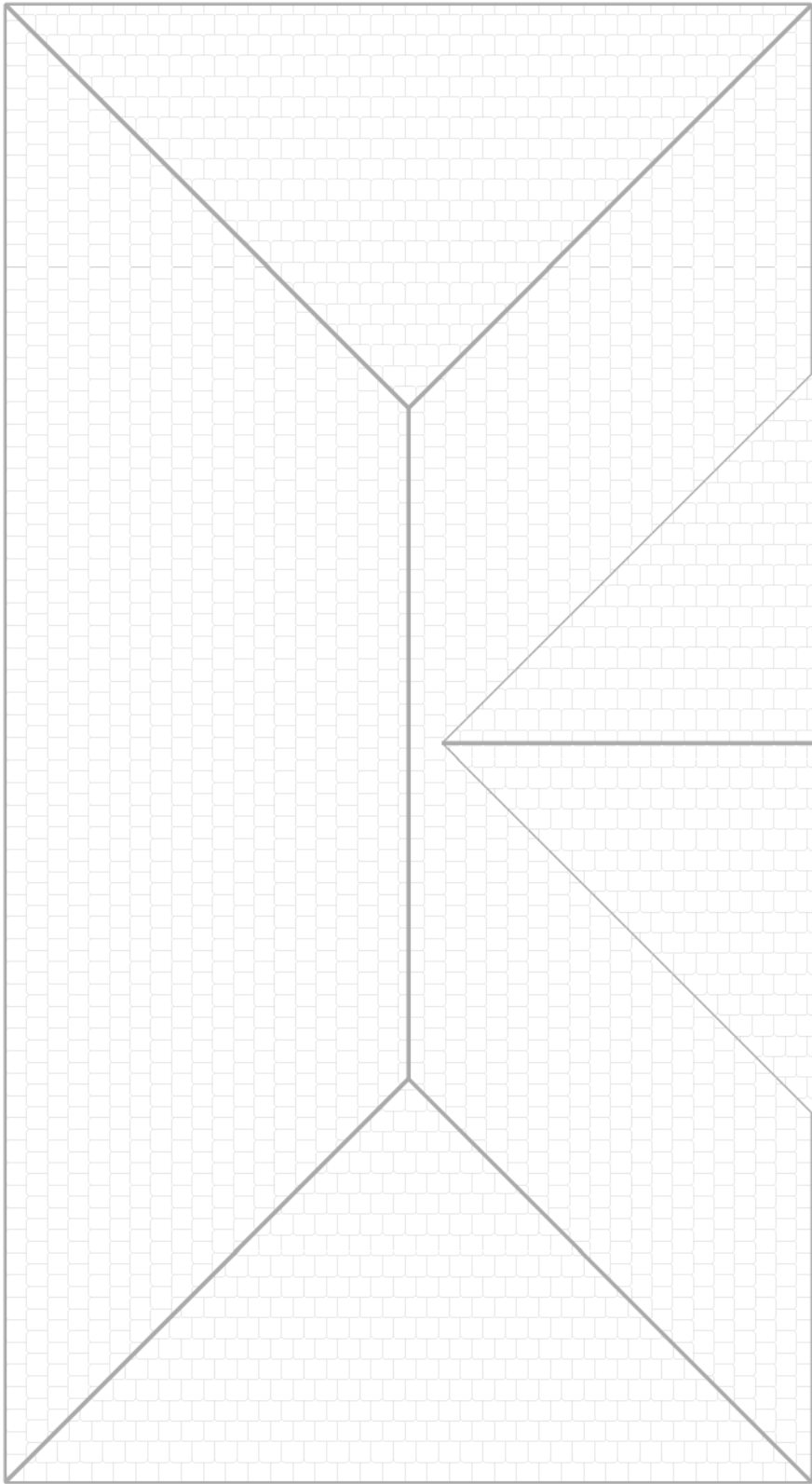
Print Date:
10/30/2019
6:13:51 AM

Drawing No.:
P5

Custom Designed For: Owner
Homestead / Neighborhood: Project Number
Address: Enter address here

Customer Approval:

©Copyright 2008 Veridian Management Solutions LLC Protected Under
Architectural Works Copyright Protection Act of 1990.



Second Floor Electrical
3/16" = 1'-0"

Do Not Scale Note: All dimensions are stud to stud
Actual floor plans & exterior styles may differ from these shown based on
modifications, options & improvements to the plans by the builder.
Room dimensions, features & actual square footage vary by exterior style and options.



**VERIDIAN
HOMES**

6801 South Towne Drive
Madison, WI 53713
Phone 608.226.3100
Fax 608.226.0600

Custom Designed For: Owner
Homesite / Neighborhood: Project Number
Address: Enter address here

Customer
Approval:

©Copyright 2008 Veridian Management Solutions LLC Protected Under
Architectural Works Copyright Protection Act of 1990.

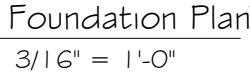
Model: EMERSON

Elevation: Praine

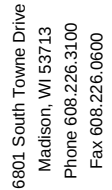
Drawn By: Author Date: Issue Date

Print Date:
10/30/2019
6:13:53 AM

Drawing No.:
P6



Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder.



Drawing No.:
P7