



# City of Madison

## Conditional Use and Demolition

### Location

5533 University Avenue

### Project Name

O'Conner Mixed Use Development

### Applicant

Martin O'Connor / Randy  
Bruce, Knothe & Bruce Architects LLC

### Existing Use

Grocery Store

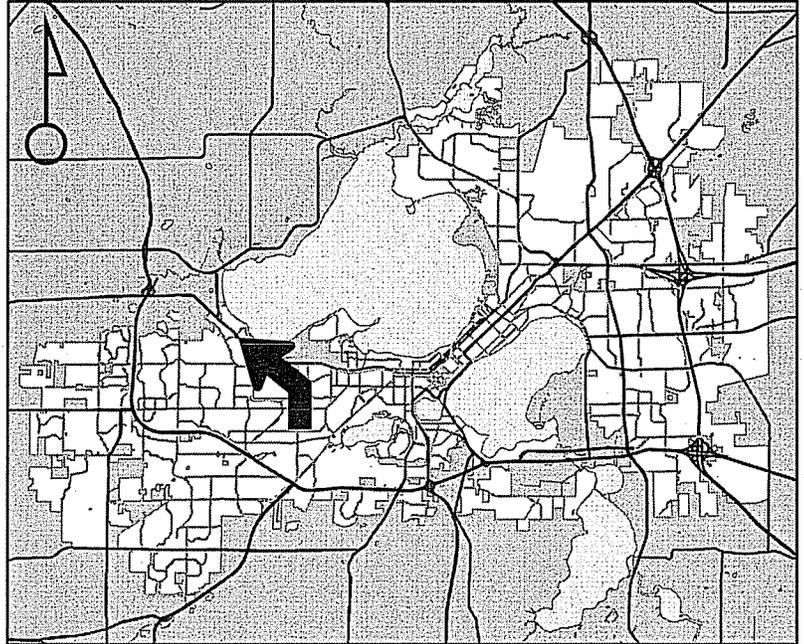
### Proposed Use

Demolish grocery store and construct mixed-use building with 8,100 square feet of commercial space and 52 apartment units in Urban Design Dist. 6.

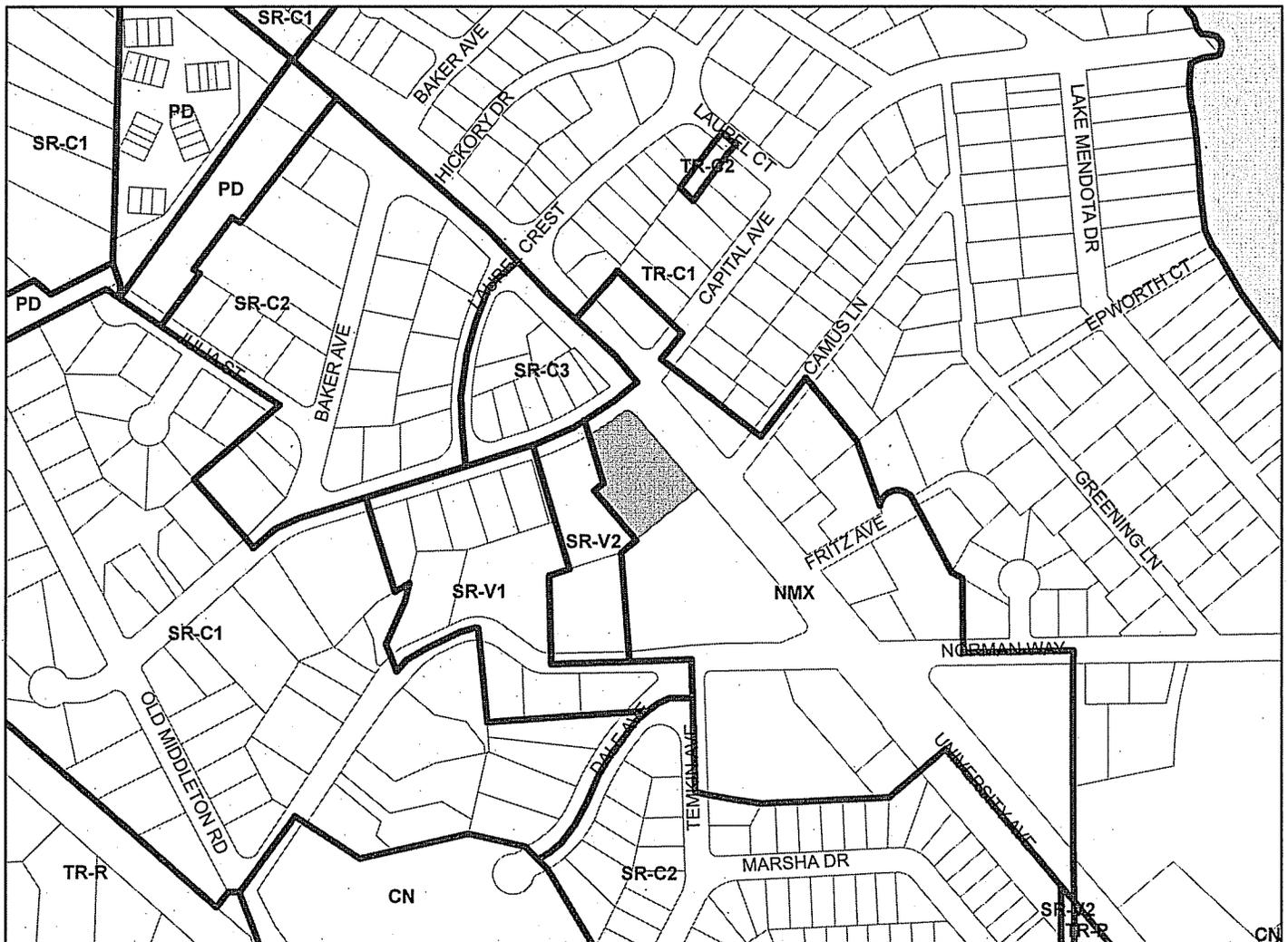
### Public Hearing Date

Plan Commission

8 January 2018

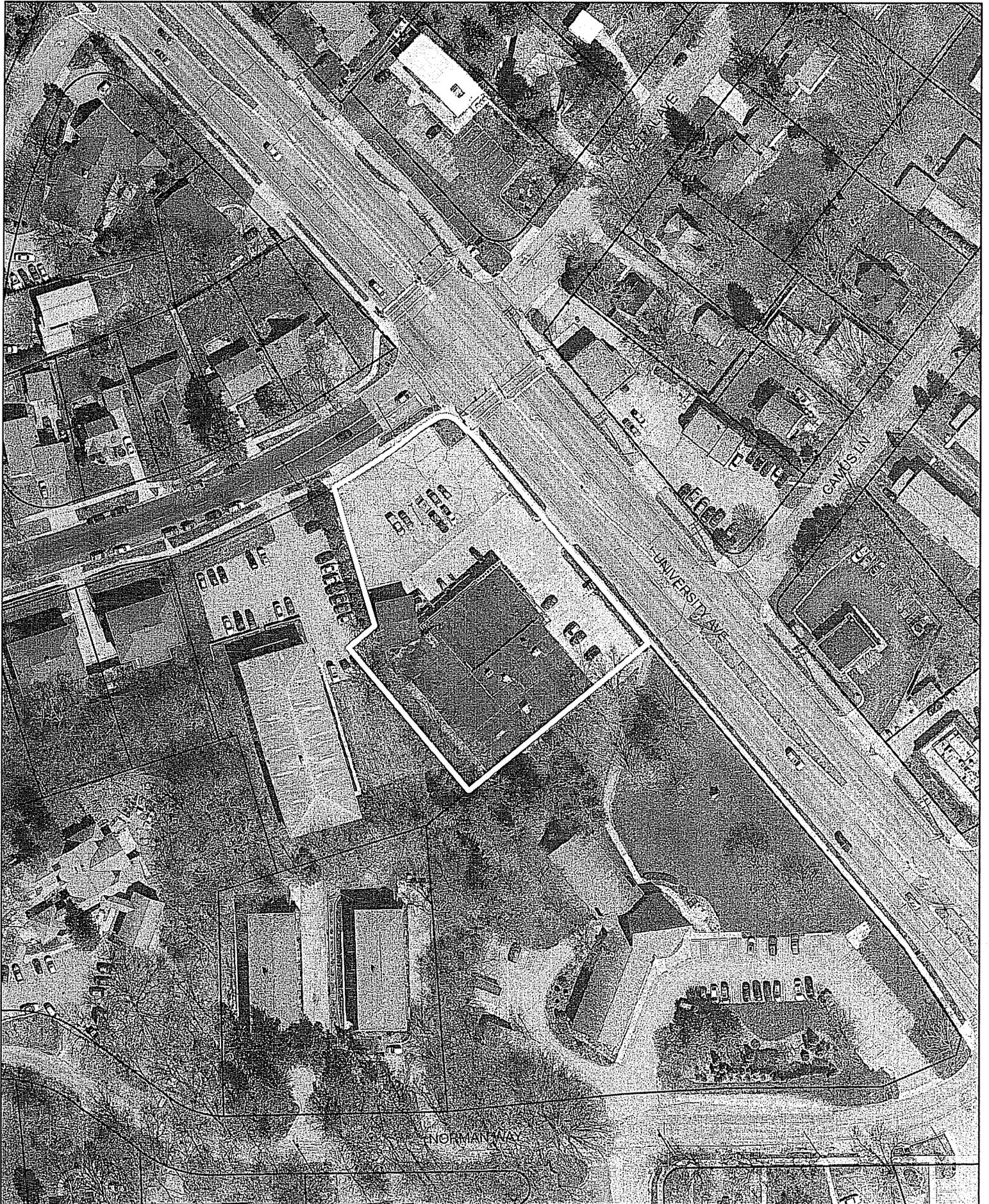


For Questions Contact: Chris Wells at: 261-9135 or [cwells@cityofmadison.com](mailto:cwells@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : PPE : Date : 27 December 2017



City of Madison  
Planning Division  
126 S. Hamilton St.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



FOR OFFICE USE ONLY:

Paid \_\_\_\_\_ Receipt # \_\_\_\_\_

Date received \_\_\_\_\_

Received by \_\_\_\_\_

Parcel # \_\_\_\_\_

Aldermanic district \_\_\_\_\_

Zoning district \_\_\_\_\_

Special requirements \_\_\_\_\_

Review required by \_\_\_\_\_

UDC  PC

Common Council  Other \_\_\_\_\_

Reviewed By \_\_\_\_\_

All Land Use Applications must be filed with the Zoning Office at the above address.

This completed form is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application found on the City's web site.

1. Project Information

Address: 5533 University Avenue

Title: \_\_\_\_\_

2. This is an application for (check all that apply)

- Zoning Map Amendment (rezoning) from \_\_\_\_\_ to \_\_\_\_\_
- Major Amendment to an Approved Planned Development-General Development Plan (PD-GDP) Zoning
- Major Amendment to an Approved Planned Development-Specific Implementation Plan (PD-SIP)
- Review of Alteration to Planned Development (PD) (by Plan Commission)
- Conditional Use or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other requests

3. Applicant, Agent and Property Owner Information

Applicant name Martin O'Connor Company Realm Real Estate Development, LLC

Street address 3120 Edmonton Dr., Suite 300 City/State/Zip Sun Prairie, WI 53590

Telephone 608-712-1463 Email marty@homeagainliving.com

Project contact person Randy Bruce Company Knothe & Bruce Architects, LLC

Street address 7601 University Ave. Suite 201 City/State/Zip Middleton, WI 53562

Telephone (608)836-3690 Email rbruce@knothebruce.com

Property owner (if not applicant) same

Street address \_\_\_\_\_ City/State/Zip \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_

4. Project Description

Provide a brief description of the project and all proposed uses of the site:

Mixed-use development with approx. 8,100 sf commercial, 52 apartments and underground parking

Scheduled start date June 1, 2018

Planned completion date June 1, 2019

5. Required Submittal Materials

Refer to the Land Use Application Checklist for detailed submittal requirements.

- Checkboxes for Filing fee, Land Use Application, Letter of intent, Legal description, Pre-application notification, Vicinity map, Survey or existing conditions site plan, Development plans, Land Use Application Checklist (LND-C), Supplemental Requirements, and Electronic Submittal\*.

\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to pcapplications@cityofmadison.com.

For concurrent UDC applications a separate pre-application meeting with the UDC Secretary is required prior to submittal. Following the pre-application meeting, a complete UDC Application form and all other submittal requirements must be submitted to the UDC Secretary.

6. Applicant Declarations

- Pre-application meeting with staff. Prior to preparation of this application, the applicant is strongly encouraged to discuss the proposed development and review process with Zoning and Planning Division staff. Note staff persons and date.

Planning staff Kevin Firchow, Chris Wells Date 8/16/2017

Zoning staff Matt Tucker Date 8/16/2017

- Demolition Listserv
Public subsidy is being requested (indicate in letter of intent)
Pre-application notification: The zoning code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), business association(s), AND the dates you sent the notices: Alder Clear District #19 - September 1, 2017

The alderperson and the Director of Planning & Community & Economic Development may reduce the 30-day requirement or waive the pre-application notification requirement altogether. Evidence of the pre-application notification is required as part of the application materials.

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of applicant Martin O'Connor Relationship to property Owner

Authorizing signature of property owner Date 10/4/17

December 11, 2017

Ms. Heather Stouder  
Department of Planning & Development  
City of Madison  
146 S. Hamilton Street  
P.O. Box 2985  
Madison, Wisconsin 53701



Re: Letter of Intent  
5533 University Avenue  
**KBA Project # 1735**

Ms. Heather Stouder:

The following is submitted together with the plans and application for the staff and Plan Commission's consideration of approval.

**Organizational Structure:**

Owner:	Realm Real Estate Development LLC 3120 Edmonton Drive, Suite 300 Sun Prairie, WI 53590 608-712-1463 Contact: Martin O'Connor <a href="mailto:marty@homeagainliving.com">marty@homeagainliving.com</a>	Architect:	Knothe & Bruce Architects, LLC 7601 University Avenue, Ste 201 Middleton, WI 53562 608-836-3690 Contact: Randy Bruce <a href="mailto:rbruce@knothebruce.com">rbruce@knothebruce.com</a>
Engineer:	Snyder & Associates, Inc. 5010 Voges Rd Madison, WI 53718 (608) 838-0444 Contact: Mike Calkins <a href="mailto:mcalkins@snyder-associates.com">mcalkins@snyder-associates.com</a>	Landscape Design:	Nelson Landscaping, Inc. P.O. Box 823 Waukesha, WI 53187 (608) 262-549-6111 Contact: Corey Nelson <a href="mailto:Corey@nelsonlandscape.com">Corey@nelsonlandscape.com</a>

**Introduction:**

The site is located at the southeast corner of University Avenue and Capitol Street and is currently zoned Neighborhood Mixed-Use District. The site is currently occupied by a 1-story retail business that served as the former Brennan's Market. This proposal requests a conditional use approval for a mixed-use development with commercial uses on the first floor and three levels of housing above the commercial. A Certified Survey Map has been submitted to combine the underlying parcels into one lot.

**Project Description:**

This proposed project is a mixed-use development consisting of approximately 5,600 square feet of retail space and 56 apartments with vehicle parking located primarily below the building in two levels; at the grade and basement levels. The building is broken into two modules that are linked on the upper floors and horizontally break up the massing of the building. Along University Avenue, a generous set back is provided to allow for a landscape buffer and the building is stepped back above the third floor to reduce the perceived height. The building also has significant setbacks on the side and rear lot lines allowing for landscaping and solar access to neighboring properties.

The applicant has worked with the City Traffic Engineering department to identify vehicular access locations on both Capitol Avenue and University Avenue

The exterior architecture is a clean urban architecture. On the street and eastern facades, the major material is brick masonry accented with fiber-cement siding. Towards the rear of the building the material palette uses a higher amount of fiber-cement siding consistent with the transition to the residential uses to the south.

### **Spring Harbor Neighborhood Plan and UDD #6**

This project is consistent with the goals and guidelines of both the Spring Harbor Neighborhood Plan and the UDD #6 Guidelines. The SHNP calls for attractive mixed-use development at specified redevelopment sites including the Brennan's Market site. In addition, the plan calls for pedestrian-oriented and transit-oriented development to occur; both of which are met with the proposed plan. The commercial use face the two streets and have direct pedestrian access. A Madison Metro bus stop is currently located at the street intersection but the City of Madison has plans in the future for the bus stop to be located along University Avenue in front of the commercial area.

UDD # 6 generally refers to the SHNP but specifically calls for a minimum and maximum building height of three to four stories with parking areas located to the rear of the site.

### **Site Development Data:**

#### Densities:

Lot Area	48,517 sf / 1.1 Acres
Dwelling Units	56 DU
Lot Area / D.U.	867 sf / unit
Density	51 units/acre
Gross Commercial Area	5,812 sf (50% of first floor)
Building Height	4 stories
Lot Coverage	34,249 S.F. = 70.5%
Usable Open Space	11,140 S.F. (199 sf / D.U.)

#### Dwelling Unit Mix:

Efficiency	15
One Bedroom	25
One Bedroom + Den	3
<u>Two Bedroom</u>	<u>13</u>
Total Dwelling Units	56

#### Vehicle Parking:

Surface	28 stalls
<u>Underground</u>	<u>61 stalls</u>
Total	89 stalls

**Bicycle Parking:**

Surface Commercial	4 stalls
Surface Guest	6 stalls (10% of units)
Underground Garage – Wall Hung	16 stalls (covered)
<u>Underground Garage STD. 2'x6'</u>	<u>38 stalls (covered)</u>
Total	64 stalls

**Project Schedule:**

It is anticipated that the construction on this site will start in May 1, 2018 with a final completion date of June 1, 2019.

Thank you for your time reviewing our proposal.

Sincerely,

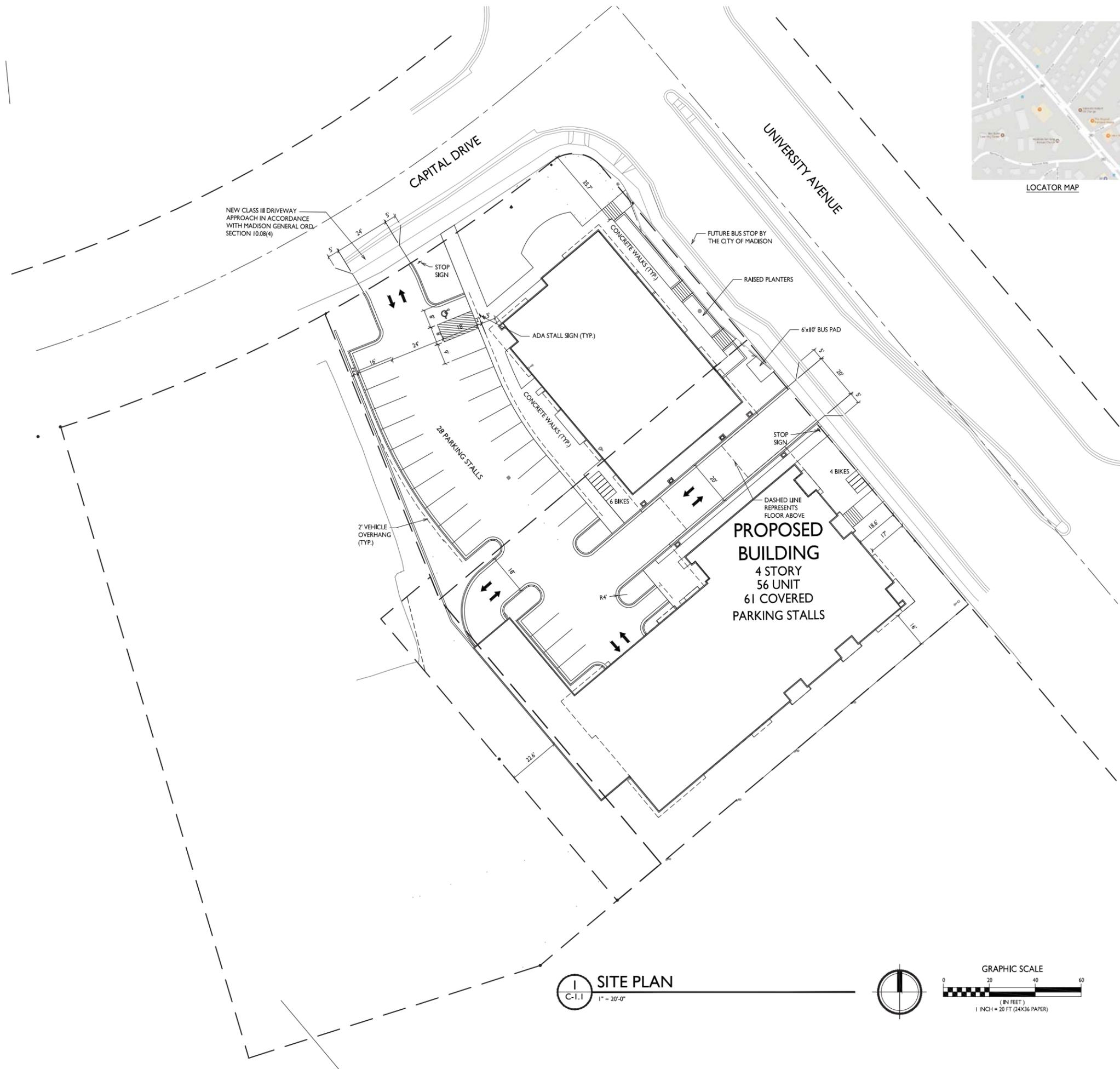
  
Randy Bruce, AIA



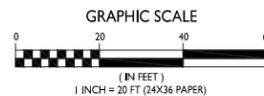
LOCATOR MAP

SHEET INDEX	
<b>SITE</b>	
C-1.1	SITE PLAN
C-1.2	SITE LIGHTING PLAN
C-1.3	FIRE DEPARTMENT ACCESS PLAN
C-1.4	LOT COVERAGE
C-1.5	USABLE OPEN SPACE
<b>EXISTING CONDITIONS/DEMO PLAN</b>	
C-2.1	EXISTING CONDITIONS/DEMO PLAN
C-2.2	SITE PLAN
C-3.0	GRADING & EROSION CONTROL PLAN
C-4.0	UTILITY PLAN
C-5.0	EROSION DETAILS
C-5.1	SITE DETAILS
C-5.2	UTILITY DETAILS
L-1.1	LANDSCAPE PLAN
<b>ARCHITECTURAL</b>	
<b>BUILDING #2</b>	
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-1.4	FOURTH FLOOR PLAN
A-5.1	TYPICAL UNIT FLOOR PLANS
A-2.1	ELEVATIONS
A-2.2	ELEVATIONS
A-2.3	ELEVATIONS

SITE DEVELOPMENT DATA:	
<b>DENSITIES:</b>	
LOT AREA	48,517 SF / 1.1 ACRES
DWELLING UNITS	56 DU
LOT AREA / D.U.	867 SF / UNIT
DENSITY	51 UNITS/ACRE
GROSS COMMERCIAL AREA	APPROX. 5,812 SF (50% OF FIRST FLR)
<b>BUILDING HEIGHT</b>	4 STORIES
<b>LOT COVERAGE</b>	34,249 S.F. = 70.5%
<b>USABLE OPEN SPACE</b>	11,140 S.F. (199 SF / D.U.)
<b>DWELLING UNIT MIX:</b>	
EFFICIENCY	15
ONE BEDROOM	25
ONE BEDROOM + DEN	3
TWO BEDROOM	13
TOTAL DWELLING UNITS	56
<b>VEHICLE PARKING:</b>	
SURFACE	28 STALLS
UNDERGROUND/ COVERED	61 STALLS
TOTAL	89 STALLS
<b>BICYCLE PARKING:</b>	
SURFACE COMMERCIAL	4 STALLS
SURFACE RESIDENT	6 STALLS (10% OF UNITS)
UNDERGROUND GARAGE - WALL	16 STALLS (COVERED)
UNDERGROUND GARAGE STD. 2X6'	38 STALLS (COVERED)
TOTAL	64 STALLS



**SITE PLAN**  
C-1.1 1" = 20'-0"



- GENERAL NOTES:**
1. THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
  2. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
  3. ALL DAMAGE TO THE PAVEMENT, ADJACENT TO THIS DEVELOPMENT, SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
  4. APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER, 266-4816.
  5. EASEMENT LINES SHOWN ON THIS SHEET ARE FOR GENERAL REFERENCE ONLY - SEE CSM AND CIVIL SHEETS FOR ADDITIONAL AND MORE COMPLETE EASEMENT INFORMATION.
  6. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF THE TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72-HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY. TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.



ISSUED  
Issued for Land Use & UDC - Dec. 11, 2017

PROJECT TITLE  
**Mixed-Use  
Development**

5533 University Ave.  
Madison, WI  
SHEET TITLE  
**Site Plan**

SHEET NUMBER

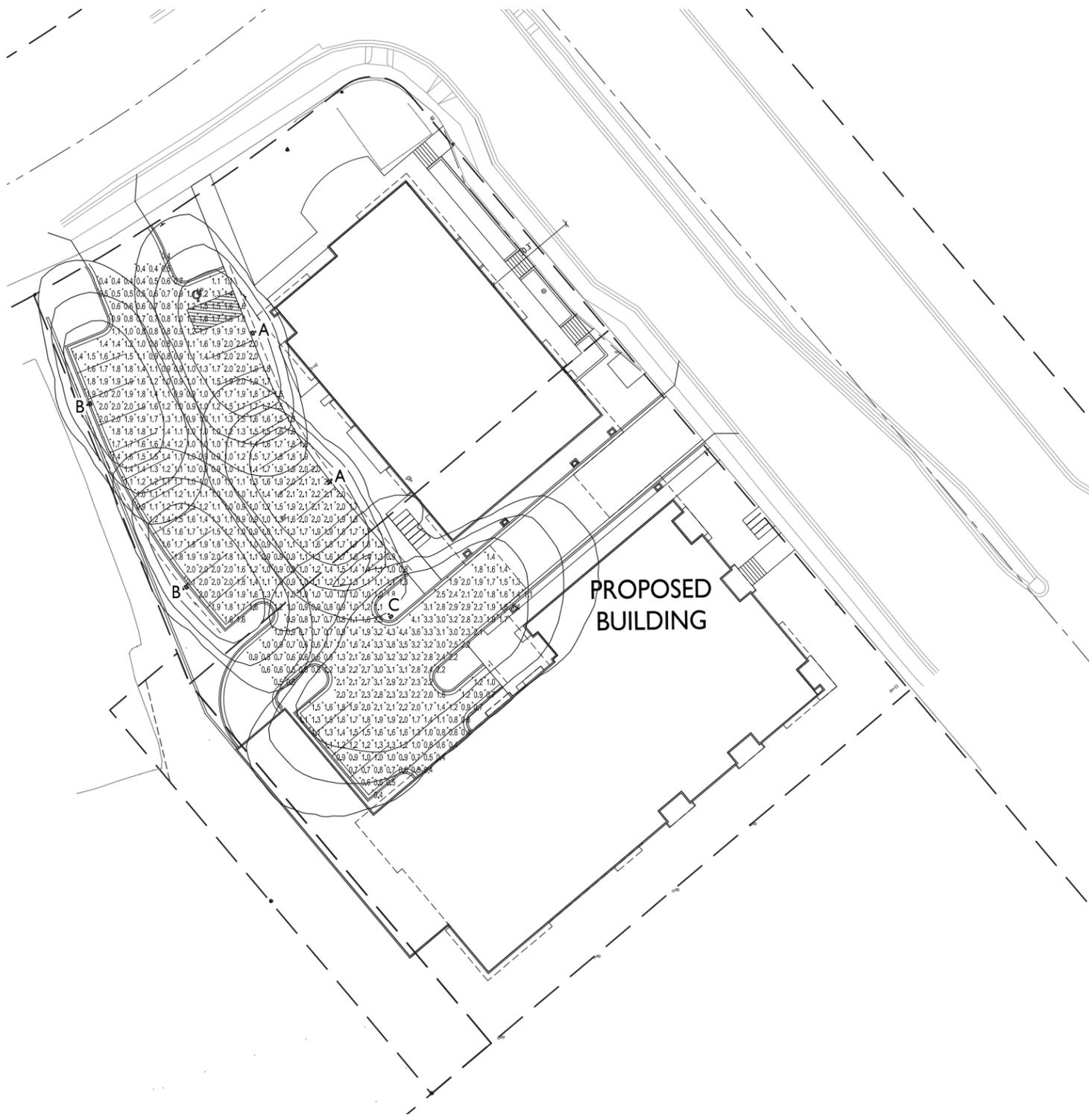
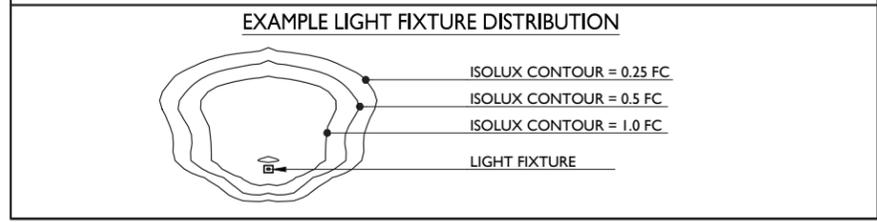
**C-1.1**

PROJECT NO. 1735

© Knothe & Bruce Architects, LLC

STATISTICS						
DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
Calculation Zone	+	1.5 fc	4.4 fc	0.4 fc	11.0:1	3.8:1

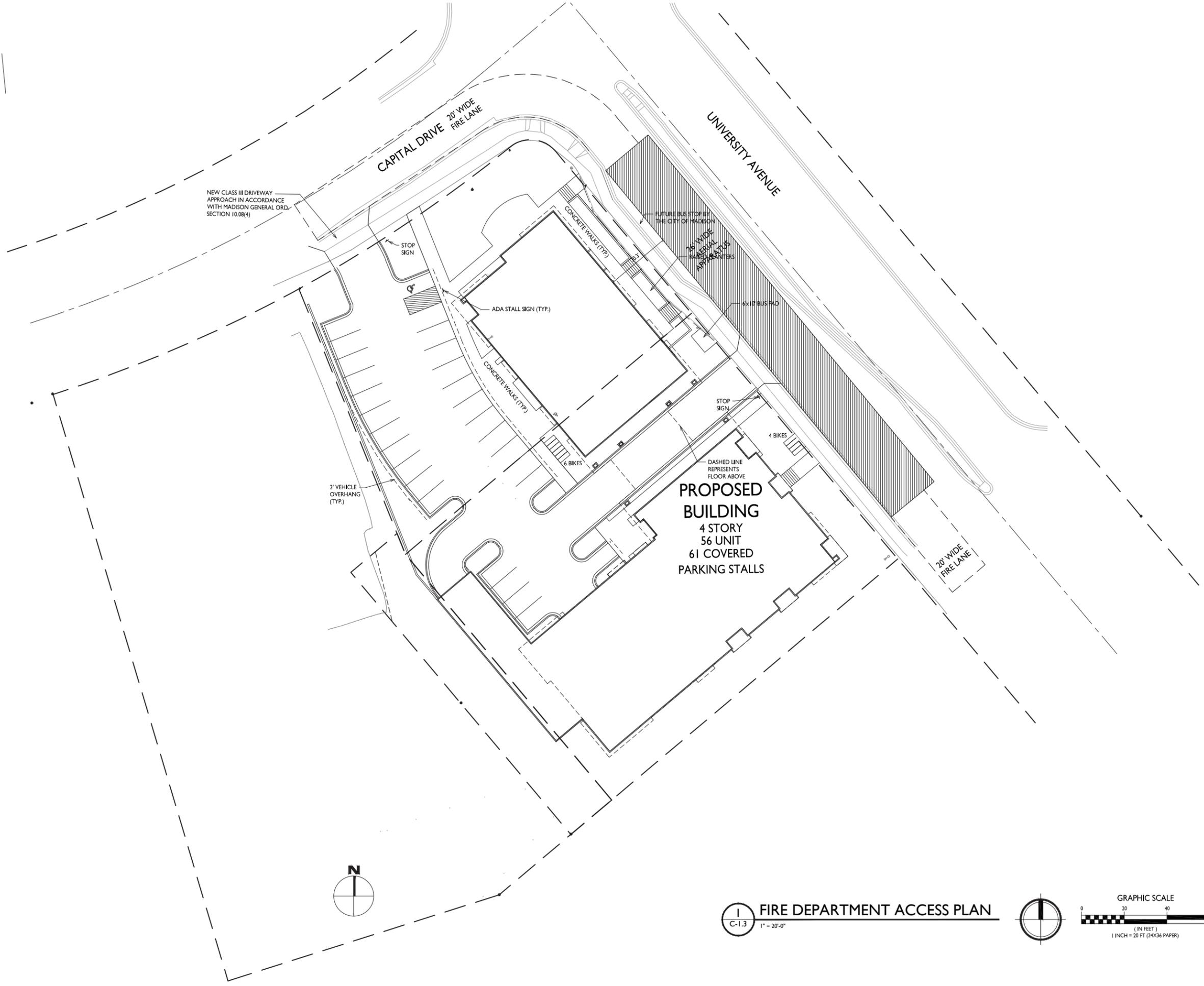
LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QTY	MANUF.	CATALOG	DESCRIPTION	FILE	MOUNTING
□	A	2	LITHONIA LIGHTING	DSX0 LED P1 30K T2S MVOLT HS	DSX0 LED P1 30K T2S MVOLT WITH HOUSE-SIDE SHIELDS	DSX0_LED_P1_30K_T2S_MVOLT_HS.ies	16'-0" POLE ON 2'-0" TALL CONC. BASE
□	B	2	LITHONIA LIGHTING	DSX0 LED P1 30K T2S MVOLT HS	DSX0 LED P1 30K T2S MVOLT WITH HOUSE-SIDE SHIELDS	DSX0_LED_P1_30K_T2S_MVOLT_HS.ies	18'-0" POLE ON FLUSH CONC. BASE
□	C	1	LITHONIA LIGHTING	DSX0 LED P4 30K T3M MVOLT	DSX0 LED P4 30K T3M MVOLT	DSX0_LED_P4_30K_T3M_MVOLT.ies	18'-0" POLE ON FLUSH CONC. BASE



**C-1.2** 1" = 20'-0"

**SITE LIGHTING PLAN**

GRAPHIC SCALE  
0 20 40 60  
(IN FEET)  
1 INCH = 20 FT (24X36 PAPER)



ISSUED  
 Issued for Land Use & UDC - Dec. 11, 2017

PROJECT TITLE  
**Mixed-Use  
 Development**

5533 University Ave.  
 Madison, WI  
 SHEET TITLE  
**Fire Department  
 Access Plan**

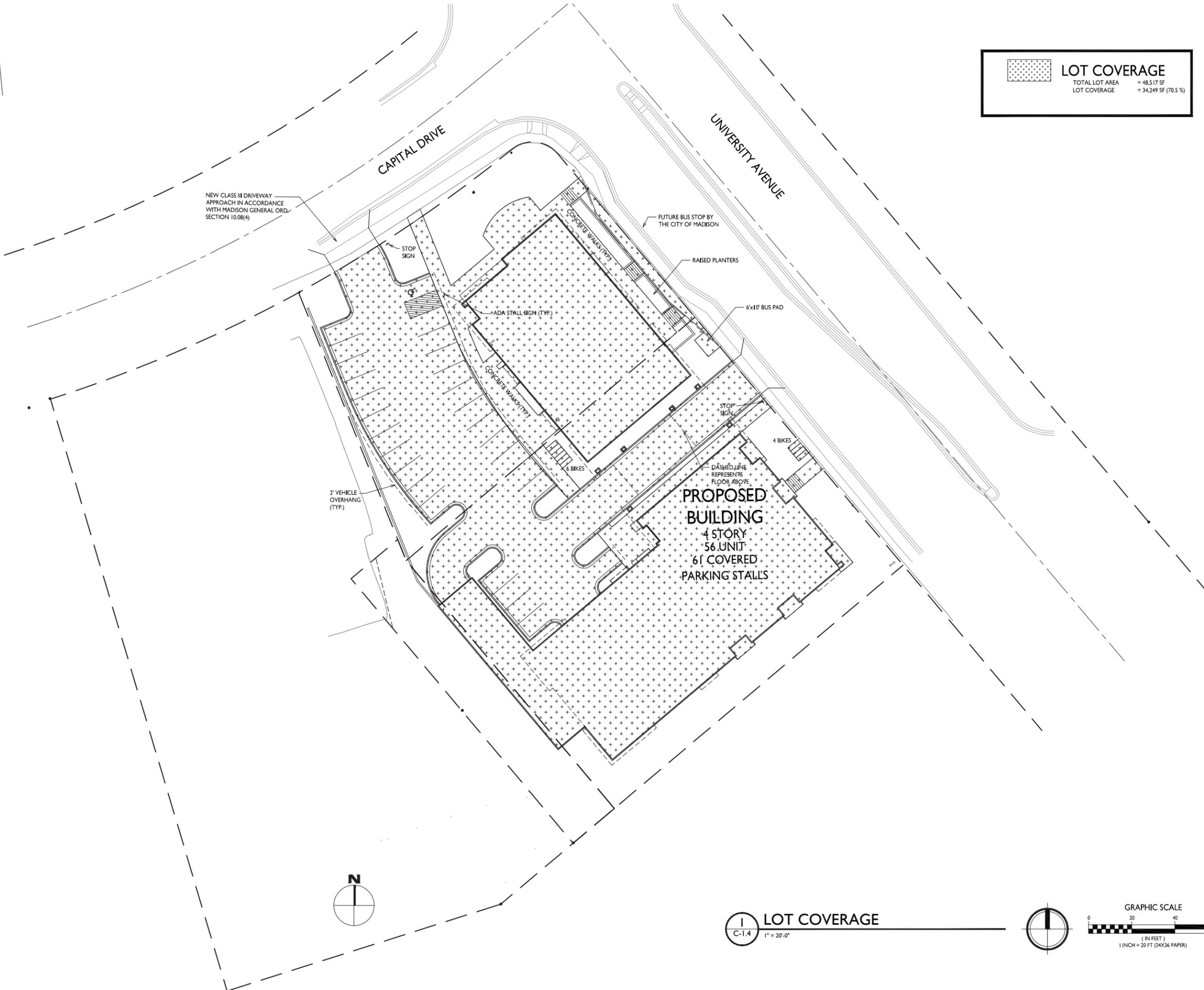
SHEET NUMBER

**C-1.3**

PROJECT NO. **1735**  
 © Knothe & Bruce Architects, LLC

**FIRE DEPARTMENT ACCESS PLAN**  
 1" = 20'-0"

GRAPHIC SCALE  
 0 20 40 60  
 (IN FEET)  
 1 INCH = 20 FT (24X36 PAPER)



LOT COVERAGE	
TOTAL LOT AREA	= 48,517 SF
LOT COVERAGE	= 34,249 SF (70.5%)

ISSUED  
Issued for Land Use & UDC - Dec. 11, 2017

PROJECT TITLE  
**Mixed-Use  
Development**

5533 University Ave.  
Madison, WI  
SHEET TITLE  
**Lot Coverage**

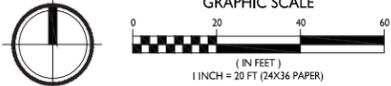
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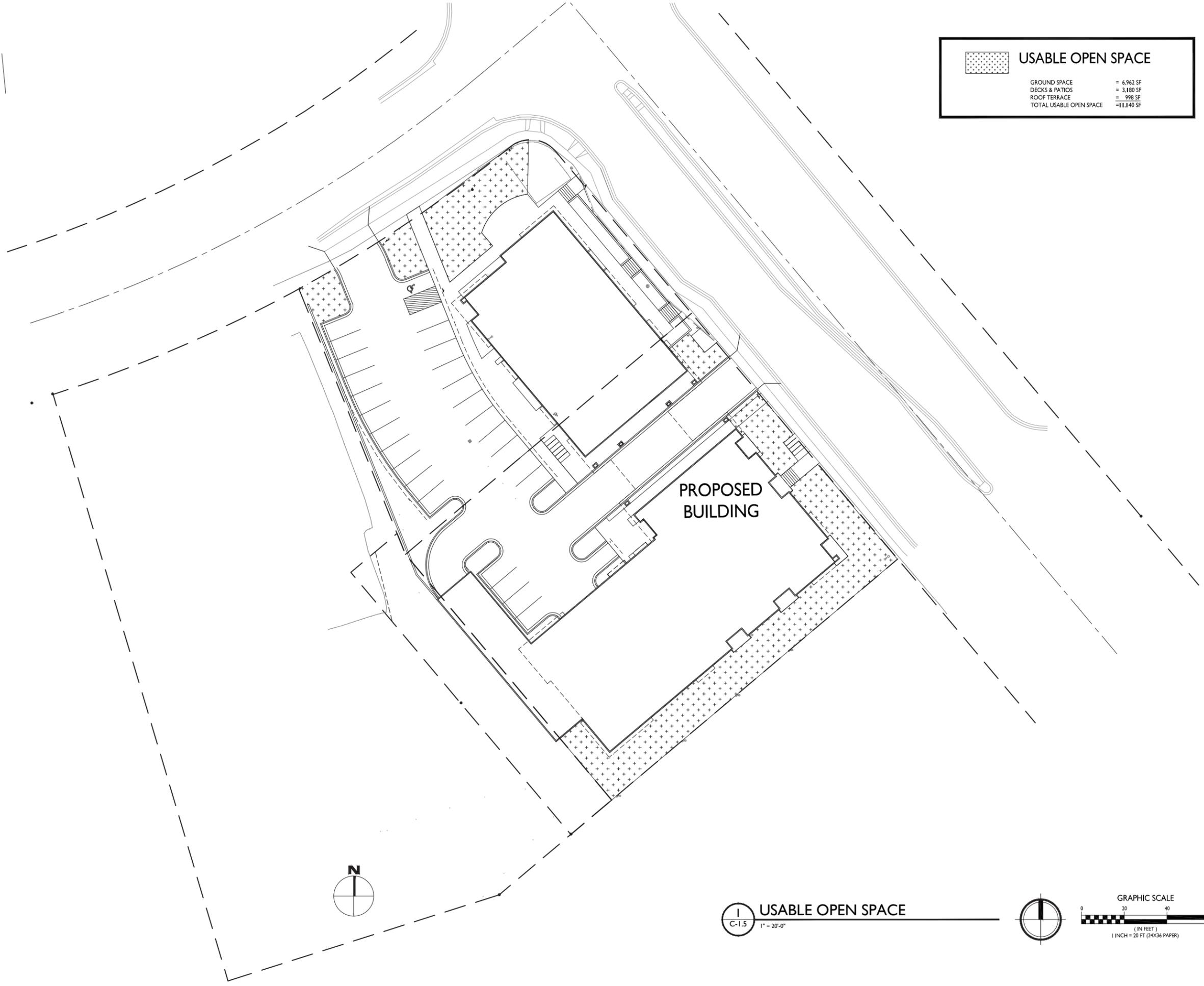
**C-1.4**

PROJECT NO. **1735**

© Knothe & Bruce Architects, LLC

**LOT COVERAGE**  
C-1.4 1" = 20'-0"





USABLE OPEN SPACE	
GROUND SPACE	= 6,962 SF
DECKS & PATIOS	= 3,180 SF
ROOF TERRACE	= 998 SF
TOTAL USABLE OPEN SPACE	= 11,140 SF

ISSUED  
 Issued for Land Use & UDC - Dec. 11, 2017

PROJECT TITLE  
**Mixed-Use  
 Development**

5533 University Ave.  
 Madison, WI  
 SHEET TITLE  
**Usable Open  
 Space**

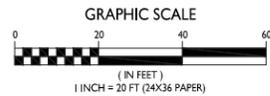
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**C-1.5**

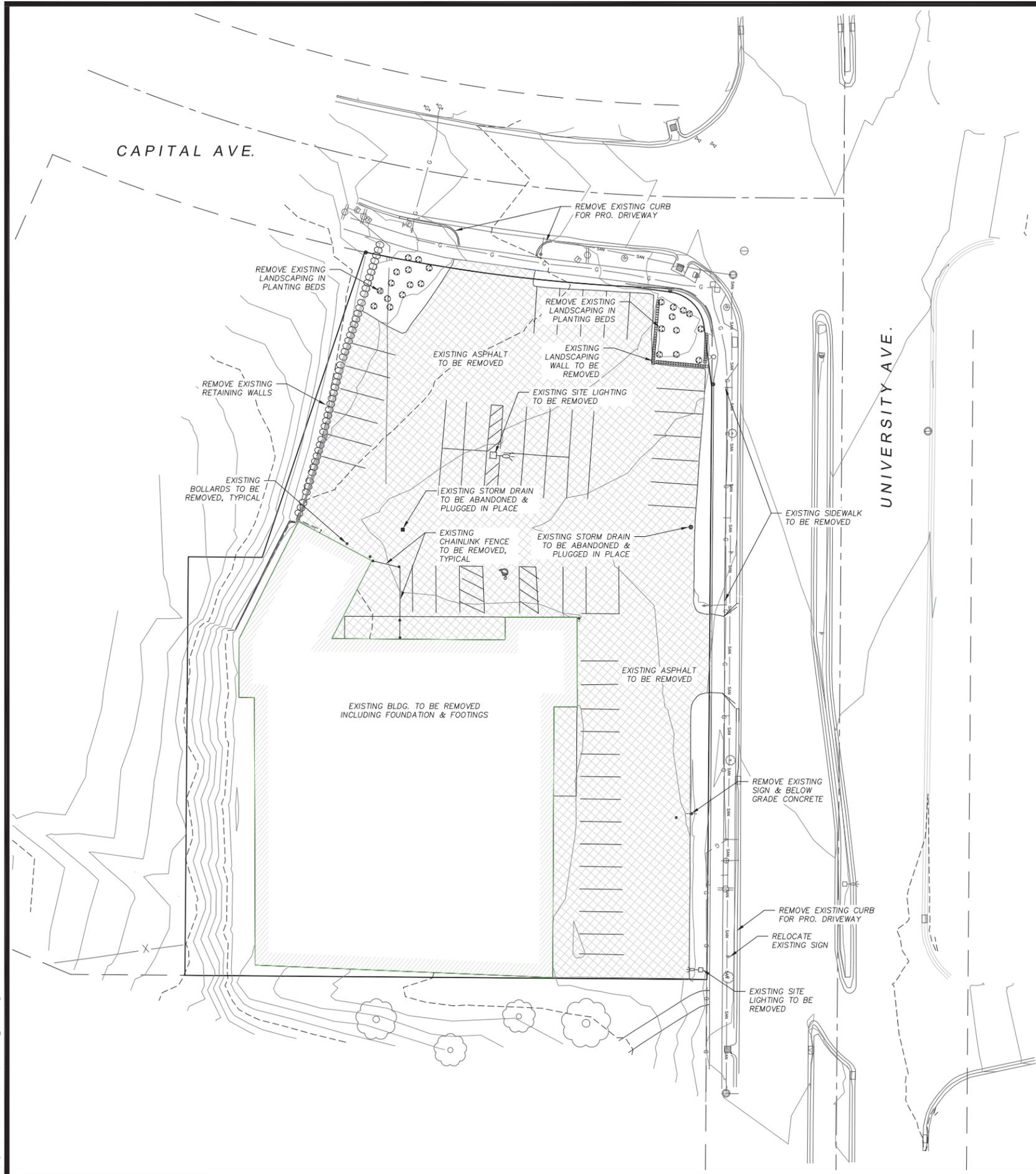
PROJECT NO. **1735**  
 © Knothe & Bruce Architects, LLC



**USABLE OPEN SPACE**  
 1" = 20'-0"



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**GENERAL CONDITIONS**

1. THE CONTRACTOR SHALL NOTIFY THE OWNER TWO WORKING DAYS (48 HOURS) PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
3. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
4. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
6. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
7. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD LOCATING OF EXISTING UTILITIES.
8. CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
9. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL, AND SHOULD BE INCLUDED IN THE BID PRICES.
10. REMOVE SIDEWALKS TO THE NEAREST JOINT.
11. SAW CUTS SHALL BE FULL DEPTH PRIOR TO REMOVAL.

**LEGEND**



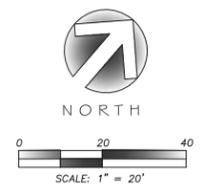
CERTAIN UNDERGROUND UTILITIES HAVE BEEN LOCATED ON THE PLANS. THESE LOCATIONS SHALL NOT BE TAKEN AS CONCLUSIVE. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER SHOWN ON THE DRAWING OR NOT, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT.

**EXISTING SITE / DEMO PLAN**

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

**CALL DIGGERS HOTLINE**  
1-800-242-8511  
TOLL FREE

WIS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE

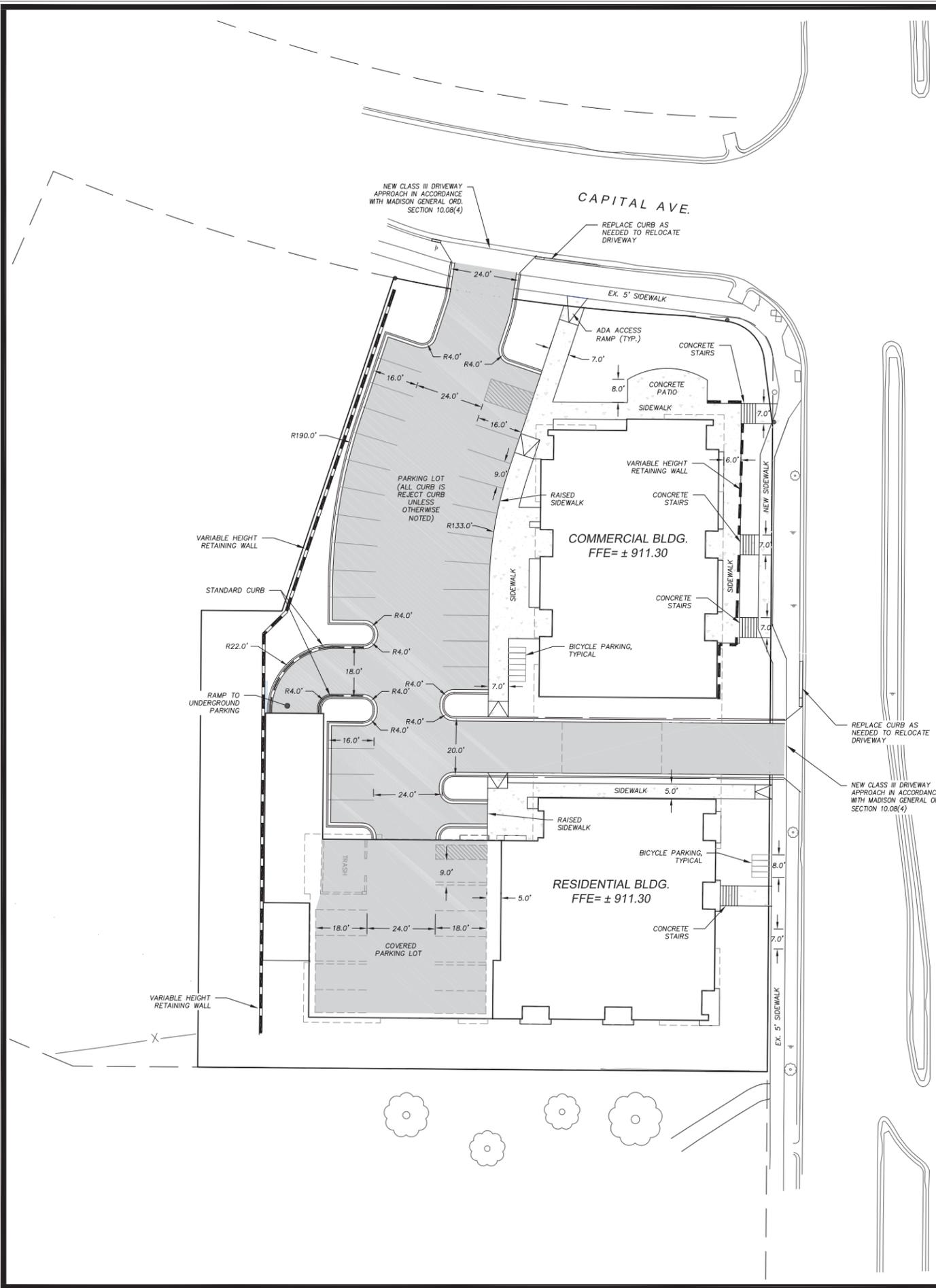


MARK	REVISION	DATE	BY
Engineer: MLC	Checked By: BCA/LAO	Scale: NOTED	
Technician: MW	Date: 12-6-2017	Field Bk:	

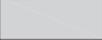
5533 UNIVERSITY AVENUE  
EXISTING SITE / DEMO PLAN  
CITY OF MADISON, WI  
**SNYDER & ASSOCIATES, INC.**  
5010 VOGES ROAD  
MADISON, WISCONSIN 53718  
608-838-0444 | www.snyder-associates.com



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LEGEND

	ASPHALT
	CONCRETE

5533 UNIVERSITY AVENUE

SITE PLAN

**SNYDER & ASSOCIATES, INC.**

CITY OF MADISON, WI

5010 VOEGES ROAD  
MADISON, WISCONSIN 53718  
608-838-0444 | www.snyder-associates.com

SITE PLAN

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
**1-800-242-8511**  
**TOLL FREE**  
WIS. STATUTE 182.0175 (1974)  
 REQUIRES MIN. OF 3 WORK DAYS  
 NOTICE BEFORE YOU EXCAVATE

  
 NORTH

  
 SCALE: 1" = 20'

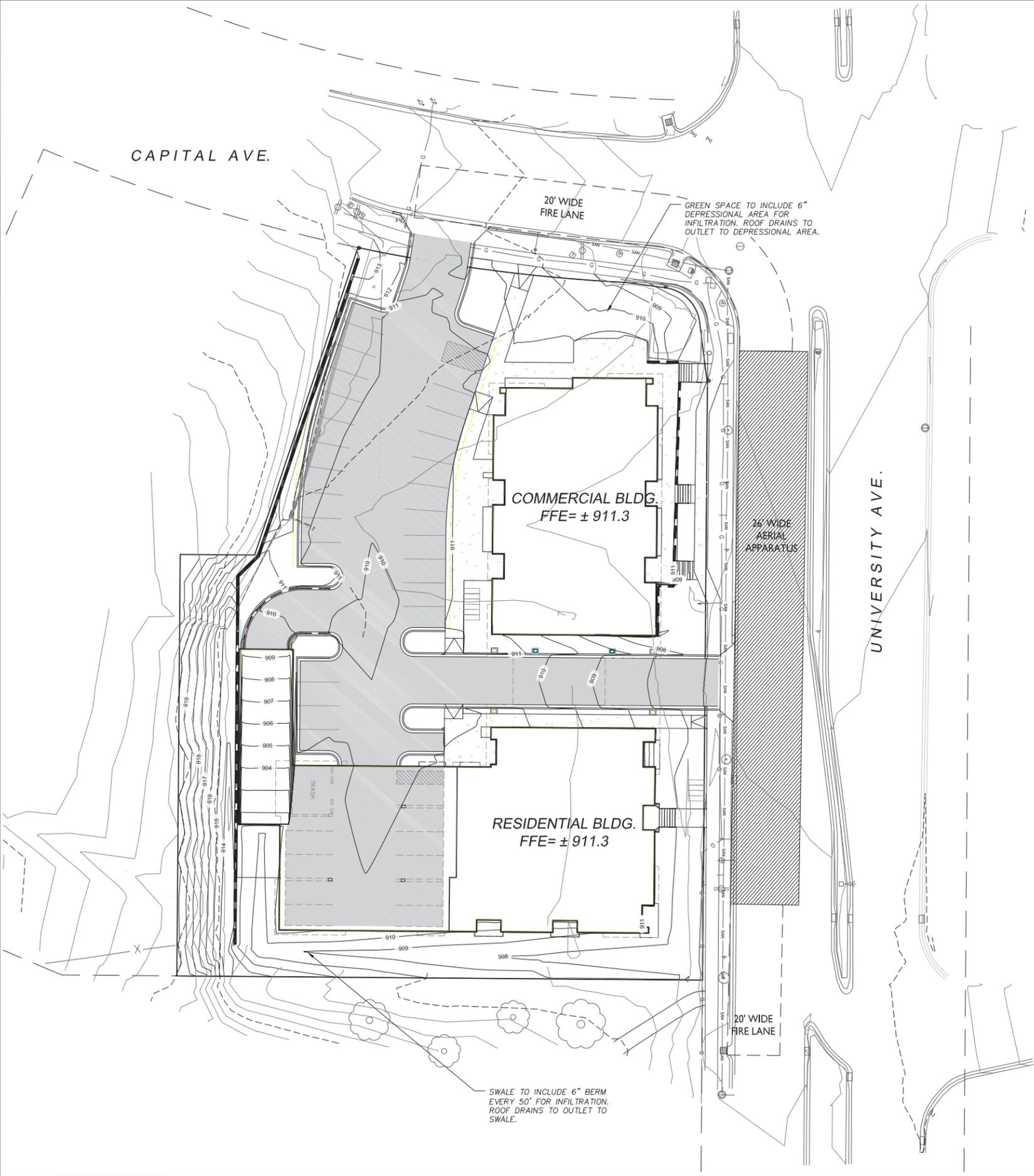


Project No: 117.0784.30

C 2.2

MARK	REVISION	DATE	BY
Engineer: MLC	Checked By: BCA/LAO	Scale: NOTED	
Technician: MW	Date: 12-6-2017	Field Bk:	Page:

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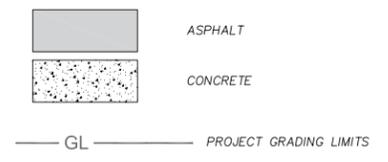
**EROSION CONTROL**

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS, INCLUDING WPDES DISCHARGE PERMITS (IF APPLICABLE). CONTRACTOR IS RESPONSIBLE FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
2. ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARD.
3. ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD.
4. ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. NEEDED REPAIRS WILL BE MADE IMMEDIATELY.
5. ALL DISTURBED GROUND LEFT INACTIVE FOR THIRTY DAYS OR MORE SHALL BE STABILIZED WITH TOPSOIL, SEED, AND MULCH IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS 1059 AND 1058.
6. DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING EROSION MAT IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1050.
7. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE AND DITCH CHECKS WHEN IT REACHES HALF THE HEIGHT OF THE FENCE/BALE THE SILT FENCE AND DITCH CHECKS SHALL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
8. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED. DEPENDING ON HOW THE CONTRACTOR GRADES THE SITE, IT MAY BE NECESSARY TO INSTALL TEMPORARY SEDIMENT TRAPS IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT. TEMPORARY SEDIMENT TRAPS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1063.
9. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, BEFORE THE END OF EACH WORKING DAY.
10. DUST CONTROL SHALL BE PROVIDED AS NECESSARY IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1068.
11. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBING ACTIVITIES.
12. REFER TO SPECIFICATION SECTIONS 31 20 00, 31 25 00, 32 91 19, AND 32 92 00.

**GRADING**

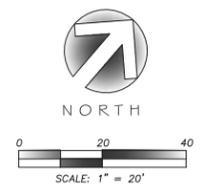
1. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.
2. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE SITE HAS BEEN STABILIZED WITH VEGETATION AND THE APPROVAL OF THE GOVERNING AGENCY.
3. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ALL GRADING, CUT AND FILL CALCULATIONS AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
4. GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AND ON-SITE EARTHWORK BALANCE, GRADING THE BUILDING PADS AND PAVEMENT AREAS, SCARIFYING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.
5. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE ENGINEER BEFORE ANY MATERIAL IS PLACED.
6. REFER TO SPECIFICATION SECTIONS 31 20 00, 31 25 00, 32 91 19, AND 32 92 00.

**LEGEND**



**GRADING / EROSION CONTROL PLAN**


 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
**1-800-242-8511**  
**TOLL FREE**  
WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



MARK	REVISION	DATE	BY

Checked By: BCA/LAO Scale: NOTED  
 Engineer: MLC  
 Technician: MW  
 Date: 12-6-2017  
 File No:

**5533 UNIVERSITY AVENUE**  
**GRADING & EROSION CONTROL PLAN**  
**CITY OF MADISON, WI**  
**SNYDER & ASSOCIATES, INC.**  
 5010 VOGES ROAD  
 MADISON, WISCONSIN 53718  
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CAPITAL AVE.

UNIVERSITY AVE.

INSTALL TRENCH GRATE  
AT BOTTOM OF RAMP  
RIM = 901.50  
SUMP TO SURFACE

UPFLOW FILTER  
RIM = 909.75  
INV. = 903.65 N  
SEE DETAILS ON C 5.2

COMMERCIAL BLDG.  
FFE = ± 911.3

RESIDENTIAL BLDG.  
FFE = ± 911.3

JOIN EX. INLET  
INV. = 902.68 S

11'-12" RCP  
STORM @ 0.52%

45'-12" RCP STORM @ 0.52%

STM-2  
48" STMH  
R-2070 TY A F&G  
RIM = 910.35  
INV. = 902.97 S  
INV. = 902.97 NE

STM-3  
48" STMH  
R-2070 TY A F&G  
RIM = 908.30  
INV. = 902.74 SW  
INV. = 902.74 N

**LEGEND**

- SAN — SAN — SAN — EXISTING SANITARY SEWER
- SAN — SAN — SAN — SANITARY SEWER
- ST — ST — ST — EXISTING STORM SEWER
- ST — ST — ST — STORM SEWER
- W — W — W — EXISTING WATER
- W — W — W — WATER

**UTILITY PLAN**

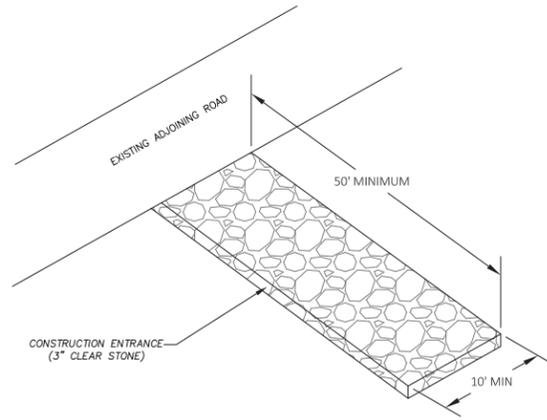
TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
**1-800-242-8511**  
**TOLL FREE**  
WS. STATUTE 182.0175 (1974)  
 REQUIRES MIN. OF 3 WORK DAYS  
 NOTICE BEFORE YOU EXCAVATE

  
 NORTH  
  
 SCALE: 1" = 20'

MARK	REVISION	DATE	BY
Engineer: MLC	Checked By: BCA/LAO	Scale: NOTED	
Technician: MW	Date: 12-6-2017	Field Bk:	Page:

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**UTILITY PLAN**  
 CITY OF MADISON, WI  
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- GENERAL NOTES:**
1. CONSTRUCTION ENTRANCE TO BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE.
  2. THE AGGREGATE FOR THE CONSTRUCTION ENTRANCE SHALL BE 3 INCH CLEAR OR WASHED STONE.
  3. AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK.
  4. THE CONSTRUCTION ENTRANCE SHALL BE UNDERLAIN WITH A WDOT TYPE HR OR FF GEOTEXTILE FABRIC TO PREVENT MIGRATION OF UNDERLYING SOIL INTO THE STONE.
  5. SURFACE WATERS MUST BE PREVENTED FROM PASSING THROUGH THE CONSTRUCTION ENTRANCE. FLOWS SHALL BE DIVERTED AWAY FROM THE CONSTRUCTION ENTRANCE OR CONVEYED UNDER AND AROUND THEM BY USE OF A CULVERT, DIVERSION BERM OR OTHER PRACTICES AS APPROVED BY THE CONSTRUCTION ENGINEER.
  6. CLEANING BY SCRAPING OR ADDING NEW STONE SHALL BE REQUIRED IF ENTRANCE BECOMES MORE THAN 50% COVERED BY TRACKED MUD.

**1**  
C5.0 CONSTRUCTION ENTRANCE  
SCALE: NTS

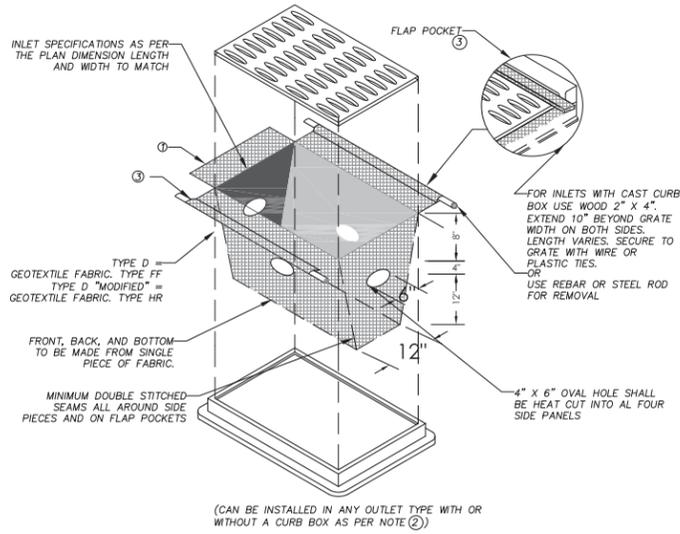
**GENERAL NOTES**  
MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WISCONSIN EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

CLEANING SHALL BE REQUIRED WHEN SEDIMENT OR STANDING WATER IS WITHIN 6" OF OVERFLOW HOLES OR AS DIRECTED BY THE CONSTRUCTION ENGINEER.

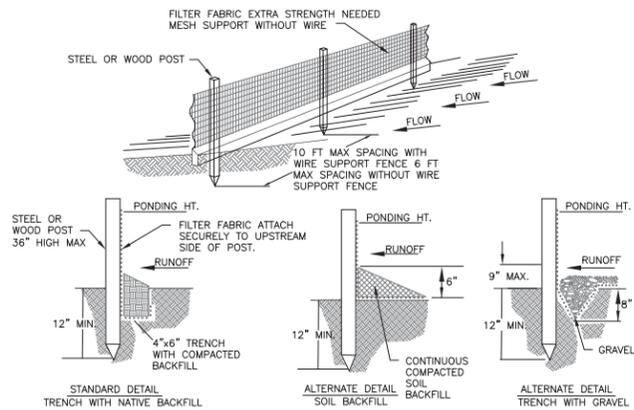
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARING BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG USING PLASTIC ZIP TIES. TO ACHIEVE THE 3" CLEARANCE, THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

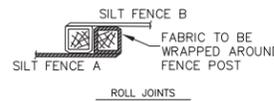
- 1 TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- 2 FOR INLET PROTECTION WITH CURB BOX AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- 3 FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.



**3**  
C5.0 INLET PROTECTION TYPE "D" DETAIL  
SCALE: NTS



- NOTE:**
1. INSPECT FENCE WEEKLY AND AFTER EACH RAIN EVENT OF 0.5 INCHES AND REPAIR IF REQUIRED. REMOVE SEDIMENT WHEN NECESSARY OR WHEN SEDIMENT REACHES 1/2 OF FENCE HEIGHT.
  2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
  3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
  4. SILT FENCE SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH WDNr TECHNICAL STANDARD 1056.



**2**  
C5.0 SILT FENCE DETAIL  
SCALE: NTS

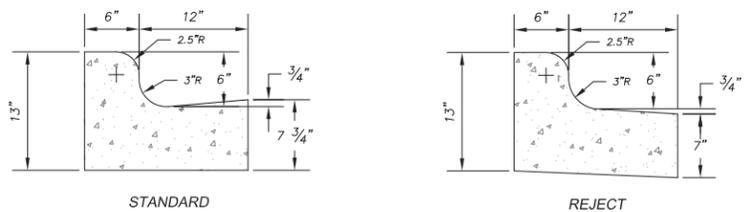
MARK	REVISION	DATE	BY
Engineer: MLC	Checked By: BCA/LAO	Scale: NOTED	
Technician: MW	Date: 12-6-2017	Field Bk:	

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EROSION DETAILS  
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MADISON, WISCONSIN 53718  
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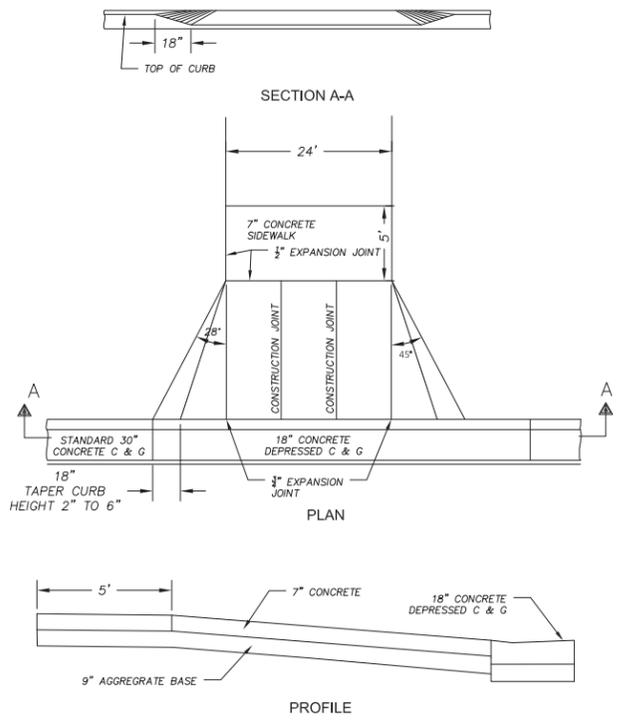
Project No: 117.0784.30

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- NOTES:**
- LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH. EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER.
  - THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

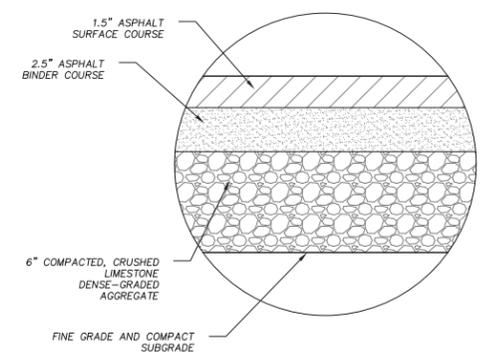
**1 CONCRETE CURB & GUTTER**  
SCALE: NTS



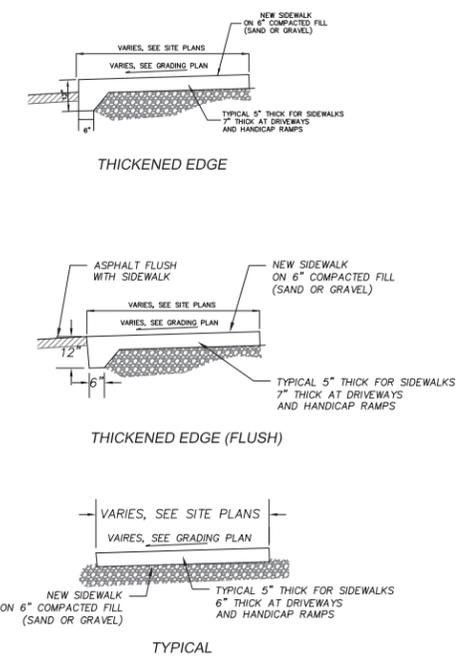
**4 DRIVEWAY DETAIL**  
SCALE: NTS

- PAVEMENT AND CURB NOTES**
- THE IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O. T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 1A TEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
  - PAVING SHALL CONSIST OF FINE GRADING PAVEMENT AREAS, INSTALLATION OF CRUSHED STONE BASE, CONCRETE AND/OR BITUMINOUS PAVEMENT, PAVEMENT MARKING, AND CLEANUP. ALL MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR.
  - AGGREGATES USED IN THE CRUSHED AGGREGATE BASE SHALL BE (\*-INCH) DENSE GRADED BASE IN ACCORDANCE WITH SUBSECTION 305.2.2 OF THE STANDARD SPECIFICATIONS.
  - HOT MIX ASPHALT PAVEMENT (HMA) SHALL BE SUPERPAVE (E-\*\*) IN ACCORDANCE WITH SECTION 460 OF THE STANDARD SPECIFICATIONS.
  - ASPHALTIC MATERIALS SHALL BE PERFORMANCE GRADED (PG) BINDERS IN ACCORDANCE WITH SECTION 455 OF THE STANDARD SPECIFICATIONS. UPPER LAYERS SHALL BE PG(\*\*\*), AND LOWER LAYERS SHALL BE PG(\*\*\*)
  - AGGREGATES USED IN THE HMA SHALL BE IN ACCORDANCE WITH SUBSECTION 460.2.2.3 OF THE STANDARD SPECIFICATIONS. THE NOMINAL AGGREGATE SIZE FOR THE UPPER LAYER PAVEMENT SHALL BE (\*\*\*\*), AND THE LOWER LAYER PAVEMENT SHALL BE (\*\*\*\*).
  - TACK COAT SHALL BE IN ACCORDANCE WITH SUBSECTION 455.2.5 OF THE STANDARD SPECIFICATIONS. THE RATE OF APPLICATION SHALL BE 0.025 GAL/SY.
  - CONCRETE FOR CURB, DRIVEWAY, WALKS AND NON-FLOOR SLABS SHALL BE GRADE A (OR GRADE A2 IF PLACING BY SLIP-FORMED PROCESS) AIR ENTRAINED IN ACCORDANCE WITH SECTION 501 FOR THE STANDARD SPECIFICATIONS, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI.
  - CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING SECTIONS OF THE STANDARD SPECIFICATIONS:  
SECTION 415 FOR CONCRETE PAVEMENT  
SECTION 601 FOR CONCRETE CURB AND GUTTER  
SECTION 602 FOR CONCRETE SIDEWALKS.
  - ALL FINISHED CONCRETE SHALL BE COVERED WITH A LIQUID CURING COMPOUND CONFORMING TO AASHTO M 148, TYPE 2, IN ACCORDANCE WITH SECTION 415 OF THE STANDARD SPECIFICATIONS.
  - PAVEMENT MARKINGS SHALL BE PAINT IN ACCORDANCE WITH SECTION 646 OF THE STANDARD SPECIFICATIONS. (COLOR SHALL BE AS INDICATED ON THE PLANS.) THE FOLLOWING ITEMS SHALL BE PAINTED WITH COLORS NOTED BELOW:  
PARKING STALLS: WHITE  
PEDESTRIAN CROSSWALKS: WHITE  
LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN OPPOSITE DIRECTIONS: YELLOW  
LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN SAME DIRECTIONS: WHITE  
ADA SYMBOLS: BLUE OR PER LOCAL CODE  
FIRE LANES: PER LOCAL CODE  
EXTERIOR SIDEWALK CURBED, LIGHT POLE BASES, AND GUARD POSTS: YELLOW
- NOTE:** PAVEMENT SHALL BE DESIGNED BY GEOTECHNICAL ENGINEER. MISSING INFORMATION ABOVE, DESIGNATED WITH (\*), SHALL BE FILLED IN PER GEOTECHNICAL REPORT. CAUTION: INFORMATION BELOW SHALL BE USED ONLY AS A GUIDE.
- \* DENSE GRADED BASE GRADATIONS: 3-INCH, 1 1/4-INCH, OR 3/4-INCH (TYPICALLY 1 1/4-INCH)
  - \*\* HMA SUPERPAVE TYPES: E-0.3, E-1, E-3, E-10, E-30 (TYPICALLY E-0.3 OR E-1 FOR MOST RESIDENTIAL AND COMMERCIAL PROJECTS)
  - \*\*\* PG BINDERS:  
64-22 BASIC ASPHALT, TYPICALLY USED FOR PARKING LOTS  
58-28 RECOMMENDED FOR OVERLAY PROJECTS  
64-28 POLYMER-ADDED, HIGH COST ASPHALT, LARGEST RANGE OF TEMP.  
UPPER LAYER PG64-28, PG64-22, OR PG58-28  
LOWER LAYER PG64-22 (IF UPPER LAYER IS PG64-xx OR HIGHER), OR PG58-28
  - \*\*\*\* HMA AGGREGATE GRADATIONS: 37.5 MM, 25.0 MM, 19.0 MM, 12.5 MM, 9.5 MM (TYPICALLY 12.5 MM FOR UPPER LAYER, 19.0 MM FOR LOWER LAYER)

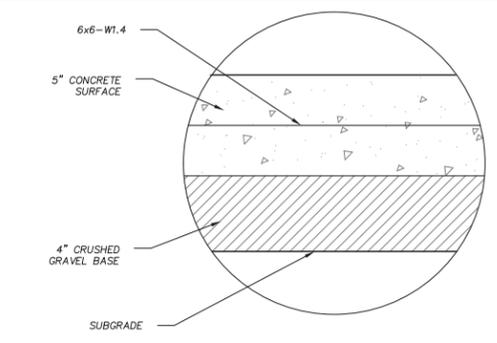
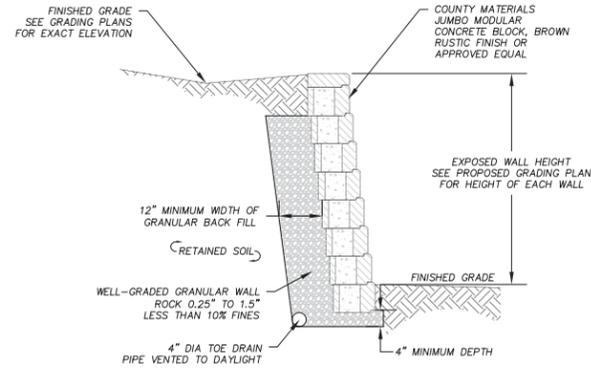
**6 SPLIT BLOCK RETAINING WALL DETAIL**  
SCALE: NTS



**2 LIGHT DUTY ASPHALT PAVING DETAIL**  
SCALE: NTS



**5 CONCRETE SIDEWALK DETAILS**  
SCALE: NTS



**3 DUMPSTER PAD LOADING CONCRETE DETAIL**  
SCALE: NTS

MARK	REVISION	DATE	BY
Engineer: MLC	Checked By: BCA/LAO	Scale: NOTED	
Technician: MW	Date: 12-6-2017	Field Bk:	Page:

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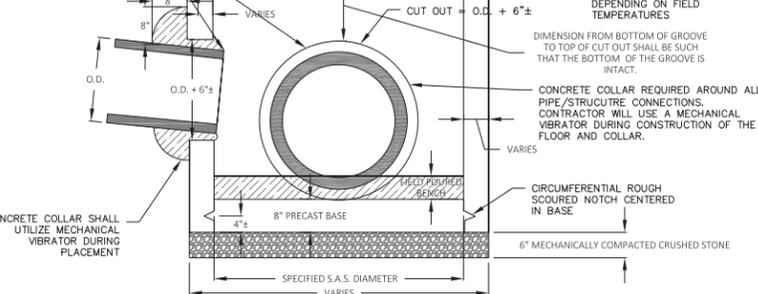
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SITE DETAILS  
SNYDER & ASSOCIATES, INC.



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SEE DETAIL 5.7.15 FOR CASTING AND ADJUSTMENT REQUIREMENTS

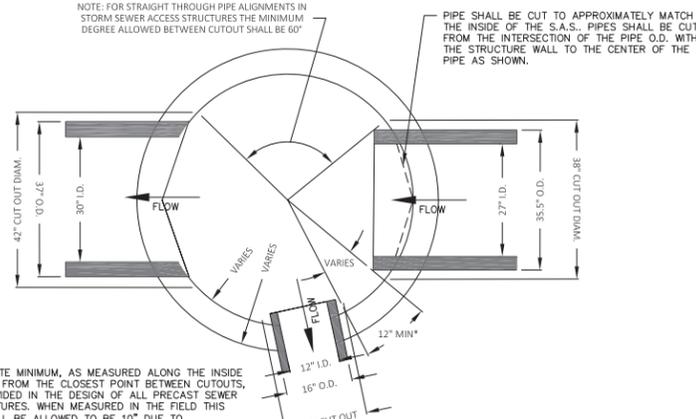
PIPE MAY BE PLACED AT ANY LOCATION IN CUT OUT PROVIDED INVERTS MATCH THOSE IN THE STORM TABLE



PROFILE VIEW

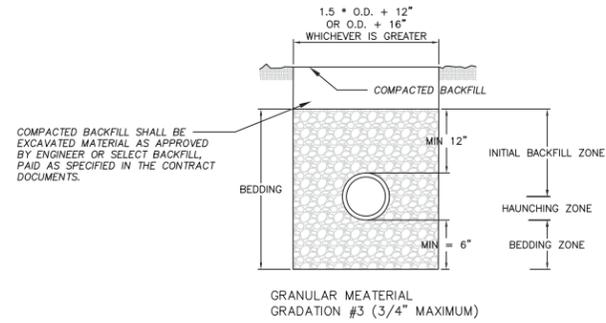
NOTE: ALL STORM SEWER ACCESS STRUCTURES (S.A.S.) SHALL BE CONSTRUCTED IN COMPLIANCE WITH ASTM C478.

NOTE: FOR STRAIGHT THROUGH PIPE ALIGNMENTS IN STORM SEWER ACCESS STRUCTURES THE MINIMUM DEGREE ALLOWED BETWEEN CUTOUT SHALL BE 60°



PLAN VIEW

\* 12" OF CONCRETE MINIMUM, AS MEASURED ALONG THE INSIDE WALL RADIIALLY FROM THE CLOSEST POINT BETWEEN CUTOUTS, SHALL BE PROVIDED IN THE DESIGN OF ALL PRECAST SEWER ACCESS STRUCTURES. WHEN MEASURED IN THE FIELD THIS DIMENSION SHALL BE ALLOWED TO BE 10" DUE TO MANUFACTURING TOLERANCES. STRUCTURES WITH LESS THAN 10" SHALL ONLY BE ALLOWED WITH THE CONSTRUCTION ENGINEER'S APPROVAL.  
\*\* PIPES SHOWN IN VARIOUS CONSTRUCTION STAGES FOR ILLUSTRATIVE PURPOSES.

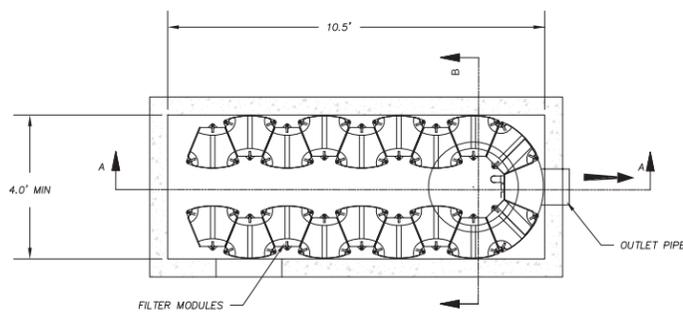


GRANULAR MATERIAL GRADATION #3 (3/4" MAXIMUM)

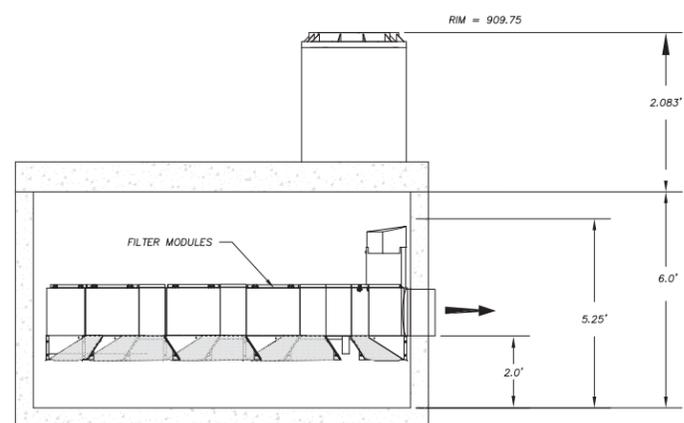
NOTES:  
UNLESS OTHERWISE SPECIFIED, ALL SANITARY AND STORM SEWER PIPES, INCLUDING LATERALS AND LEADS, SHALL BE INSTALLED WITH THE TYPE OF BEDDING SHOWN FOR THE TYPE AND SIZE OF PIPE INSTALLED.  
THE COST OF BEDDING SHALL BE INCLUDED IN THE UNIT PRICES BID FOR THE PIPE. FOR RCP, BEDDING INCLUDES THE HAUNCHING & BEDDING ZONES. FOR PLASTIC PIPES, THE BEDDING INCLUDES THE HAUNCHING, BEDDING & INITIAL BACKFILL ZONES. THE BEDDING SHALL BE INSTALLED & COMPACTED IN 6" MAXIMUM LIFTS.  
ALL TRENCHES SHALL BE HAND BACKFILLED TO A POINT 12" ABOVE THE TOP OF THE PIPE. ALL BEDDING SHALL BE MECHANICALLY COMPACTED. PAYMENT SHALL NOT BE MADE FOR BACKFILL WITH EXCAVATED MATERIAL, IF APPROVED. SELECT FILL IF REQUIRED, SHALL BE PAID PER CONTRACT.  
THE MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE O.D. +24" AND MINIMUM OF O.D. +16" AS SPECIFIED, AND SHALL APPLY FROM THE BOTTOM OF THE TRENCH TO A POINT 12" ABOVE THE TOP OF THE PIPE. WHERE THIS WIDTH IS EXCEEDED, THE CONTRACTOR SHALL FURNISH AND INSTALL A HIGHER TYPE OF BEDDING AT NO EXTRA COST. THE TYPE OF BEDDING SHALL BE DETERMINED BY THE ENGINEER.  
O.D. EQUALS THE OUTSIDE DIAMETER OF THE PIPE.

1 PRECAST STORM SEWER  
C5.2 SCALE: NTS

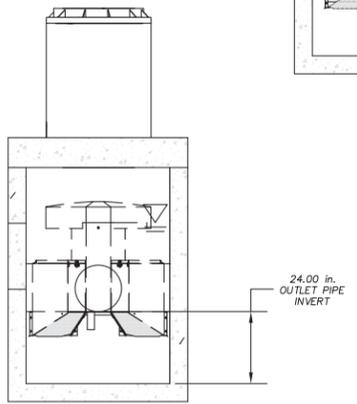
3 STORM PIPE BEDDING AND BACKFILL  
C5.2 SCALE: NTS



PLAN VIEW



ELEVATION A-A



ELEVATION B-B

2 UP-FLO FILTER AND VAULT DETAIL  
C5.2 SCALE: NTS

MARK	REVISION	DATE	BY
Engineer: MLC	Checked By: BCA/LAO	Scale: NOTED	
Technician: MW	Date: 12-6-2017	Field Bk:	

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Qty	Botanical Name	Common Name	Size/Condition
3	<i>Aster sp.</i>	AUTUMN BRILLIANCE APPLE SERVICEBERRY (multi-stem)	8-10" h
1	<i>Asplenium platyneuron</i>	STATE STREET PRINCE PALM	2 1/2" h
2	<i>Corylus heterophylla</i>	FASTIGIATA COMMON HORSEBEAN	2 1/2" h
2	<i>Prunus pennsylvanica</i>	AMUR CHERRY	2 1/2" h
2	<i>Quercus macrocarpa</i>	REGAL PRINCE OAK	2 1/2" h
6	<i>Thuja occidentalis</i>	TECHNY ARBORVITAE	6" h
2	<i>Greening</i>	GREENING SPHALL-LEAVED LINDBERGH	2 1/2" h
4	<i>Ulmus x</i>	ULMUS X	2 1/2" h

**LANDSCAPE CALCULATIONS & DISTRIBUTION:**

TOTAL SQUARE FOOTAGE OF DEVELOPED AREA = 35,483 SQUARE FEET  
 TOTAL LANDSCAPE POINTS REQUIRED = 595

**Table of Points and Credits**

Plant Type/Element	Minimum Size at Installation	Points	Credits/Existing Landscaping	New/Proposed Landscaping
Ornamental deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35		16
Tall evergreen tree (i.e. pine, spruce)	5-6 foot tall	35		560
Ornamental tree	1 1/2 inch caliper	15		45
Upright evergreen shrub (i.e. arbutus)	3-4 foot tall	10		160
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3		121
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4		49
Ornamental ground perennials	#1 gallon container size, Min. 8"-18"	2		369
Ornamental decorative fencing or wall	4 per 10 linear ft.	n/a		
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200		
Landscape furniture for public viewing and/or transit connections		3 points per "unit"		
<b>Sub Totals</b>				<b>2,307</b>

**Table of Points and Credits**

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/Element	Minimum Size at Installation	Points	Credits/Existing Landscaping	New/Proposed Landscaping
Ornamental deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35		16
Tall evergreen tree (i.e. pine, spruce)	5-6 foot tall	35		560
Ornamental tree	1 1/2 inch caliper	15		45
Upright evergreen shrub (i.e. arbutus)	3-4 foot tall	10		160
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3		121
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4		49
Ornamental ground perennials	#1 gallon container size, Min. 8"-18"	2		369
Ornamental decorative fencing or wall	4 per 10 linear ft.	n/a		
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200		
Landscape furniture for public viewing and/or transit connections		3 points per "unit"		
<b>Sub Totals</b>				<b>2,307</b>

**PLANTING NOTES:**

1. CONTRACTOR SHALL VERIFY LOCATION OF ALL ON-SITE UTILITIES PRIOR TO COMMENCING ANY WORK ON SITE. WI STATE STATUTE 182.0715 REQUIRES THREE WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGER'S HOTLINE AT 1-800-242-8511.

2. SUPPLY AND INSTALL ALL WISCONSIN GROWN NURSERY STOCK. GUARANTEE ALL STOCK FOR A PERIOD OF ONE YEAR. ALL PLANTING MATERIAL IS TO MEET AMERICAN STANDARDS FOR NURSERY STOCK ANSI Z60.1-2004. ALL PLANT MATERIAL IS TO BE PLANTED IMMEDIATELY AFTER ARRIVAL AND UNLOADING ON SITE. PLANT TYPES, SIZES, AND QUANTITIES ARE ACCORDING TO THE PROPOSED PLANS. IF ANY DISCREPANCIES ARE PRESENT BETWEEN PLANT LEGEND AND GRAPHIC DEPICTION, GRAPHICALLY DEPICTED QUANTITIES SHALL HOLD PRECEDENCE. ANY POTENTIAL PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING.

3. ACTUAL LOCATIONS OF PLANT MATERIAL ARE SUBJECT TO FINAL SITE LAYOUT AND CONDITIONS AND MAY BE ADJUSTED ACCORDINGLY.

4. ALL DECIDUOUS TREES SHALL BE GUAYED AND STAKED ACCORDINGLY AS PER PLANTING DETAILS.

5. SHALL PLANTS ARE TO BE BACKFILLED WITH A 50/50 MIX OF PLANT STARTER AND TOPSOIL BLEND AND IS TO BE FREE OF ROOTS, ROCKS LARGER THAN 1" IN DIAMETER, SUBSOIL DEBRIS, AND WEEDS.

6. OPEN AND REMOVE THE TOP BURLAP AND TWINE OR STRING FROM ALL BALLED AND BURLAPPED PLANTS AND SET ALL PLANTS AT FINISH GRADE.

7. SUPPLY AND INSTALL 3" OF WASHED STONE MULCH IN ALL PLANTING BEDS. STONE MULCH SHALL BE SPREAD EVENLY OVER A COMMERCIAL GRADE, WEED-BARRIER, NON-WOVEN LANDSCAPE FABRIC, AND SHALL BE SECURED WITH 4" STEEL STAPLES AND 1"-0" LAP JOINTS.

8. SUPPLY AND INSTALL BLACK VINYL EDGING "ACE OF DIAMOND" MANUFACTURED BY VALLEY VIEW INDUSTRIES IN ALL PLANTING BEDS THAT ADJOIN TURF AREAS. INSTALL ACCORDING TO MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS. IN ADDITION, INSTALL 1"-0" SPIKES 3'-0" ON CENTER IN ADDITION TO MANUFACTURER SUPPLIED HARDWARE TO PREVENT FROST HEAVING.

9. SUPPLY AND INSTALL 3'-4" OF SHREDED HARDWOOD BARK MULCH 1"-0" PAST THE DRIPLINE OF ALL INDIVIDUAL TREES. DO NOT PLACE MULCH AGAINST TREE TRUNK OR ROOT FLARE AT TREE BASE.

10. ALL TURF AREAS SHALL BE FINE GRADED, REMOVING ALL SURFACE STONES 1" OR LARGER. APPLY A STARTER FERTILIZER AT THE RECOMMENDED RATE IN ALL TURF AREAS. ALL TURF AREAS SHALL BE SOODED WITH A KENTUCKY BLUEGRASS BLEND 90D, INSTALLED IN A STAGGERED JOINT LAYING FASHION. ALL SOODED AREAS SHALL BE WATERED IMMEDIATELY AFTER INSTALLATION AND SATURATED TO A DEPTH OF 3".

**GENERAL NOTES:**

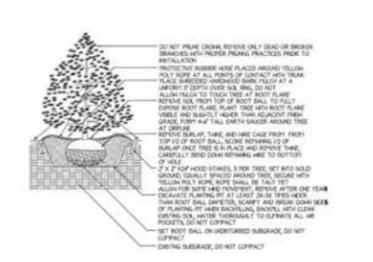
1. REFER TO GRADING AND CIVIL PLANS FOR RETAINING WALLS.

2. SUPPLY AND INSTALL A DESIGN/BUILD IRRIGATION SYSTEM FOR ALL LANDSCAPED AREAS. CONTRACTOR TO PROVIDE CAD SHOP DRAWINGS AND ALL PRODUCT LITERATURE SUBMITTALS PRIOR TO FINAL APPROVAL. AS-BUILT DRAWINGS, MANUALS, AND WARRANTIES SHALL BE PROVIDED TO THE OWNER UPON PROJECT COMPLETION.

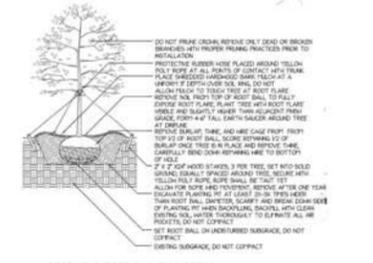
3. THE OWNER IS RESPONSIBLE FOR ALL ON-GOING MAINTENANCE OF LANDSCAPING ON THE SITE. ALL PLANTING BEDS SHALL BE KEPT FREE OF WEEDS. ANY PLANT MATERIAL THAT HAS DIED SHALL BE REPLACED NO LATER THAN THE UPCOMING JUNE 1. ANY PLANT MATERIAL THAT HAS DIED DURING THE FIRST YEAR WARRANTY PERIOD SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST.

**Landscaping Designers & Contractors Celebrating Over Fifty Years of Outstanding Results**

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**CONIFEROUS TREE PLANTING DETAIL**  
 TYPICAL INSTALLATION - NOT TO SCALE



**DECIDUOUS TREE PLANTING DETAIL**  
 TYPICAL INSTALLATION - NOT TO SCALE



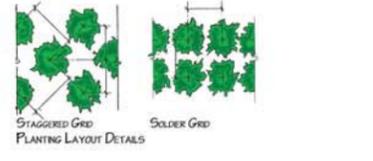
**SHRUBS PLANTING DETAIL**



**TREE & SHRUB SLOPE PLANTING DETAIL**



**GROUND COVER PLANTING DETAIL**



**PLANTING LAYOUT DETAILS**



**LANDSCAPE INC.**

Post Office Box 823  
 Waukesha, WI 53187-0823  
 262-549-6111  
 262-549-9229  
 www.nelsonlandscape.com

**Sheet Title:**

**LANDSCAPE PLAN**

**Project:**

PROPOSED DEVELOPMENT  
 5533 UNIVERSITY AVENUE  
 MADISON, WI 53705

**Client:**

**Plan Notes:**

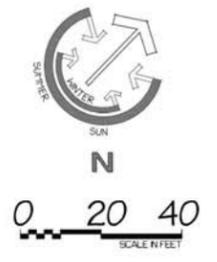
Designed By:  
 Drawn By: C. J. N.  
 Date: 10-03-17  
 Revisions: 10-04-17, 12-05-17, 12-07-17, 12-11-17

**Notice:**

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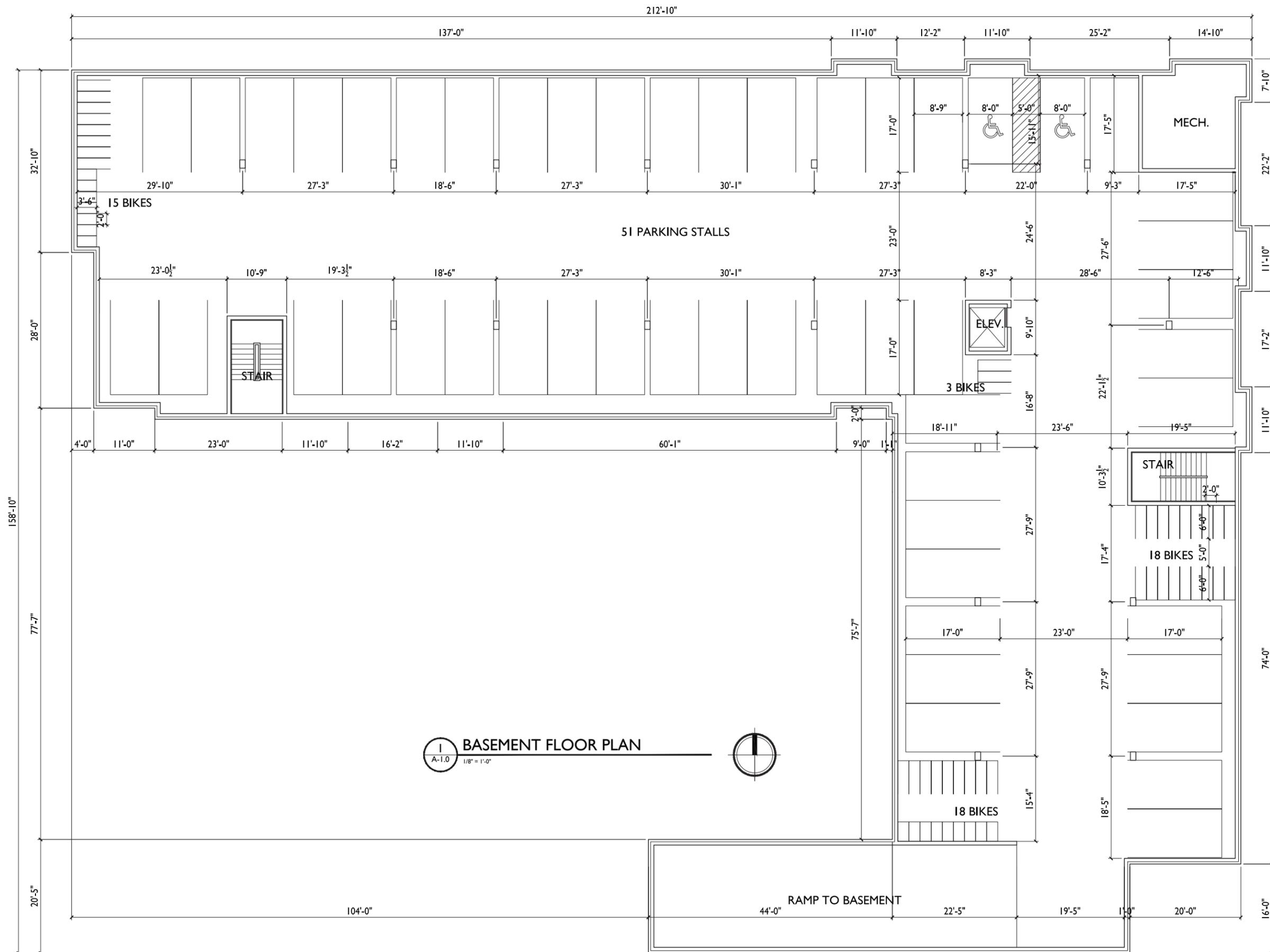
This plan is subject to final on-site conditions and may be modified to account for unforeseen obstacles, other changes, or site modifications that were not made known at the time of preparation dated on this plan.



Digitally signed by CHARLES D WILLIAMS  
 Date: 2017.12.10 19:19:10 -06'00'

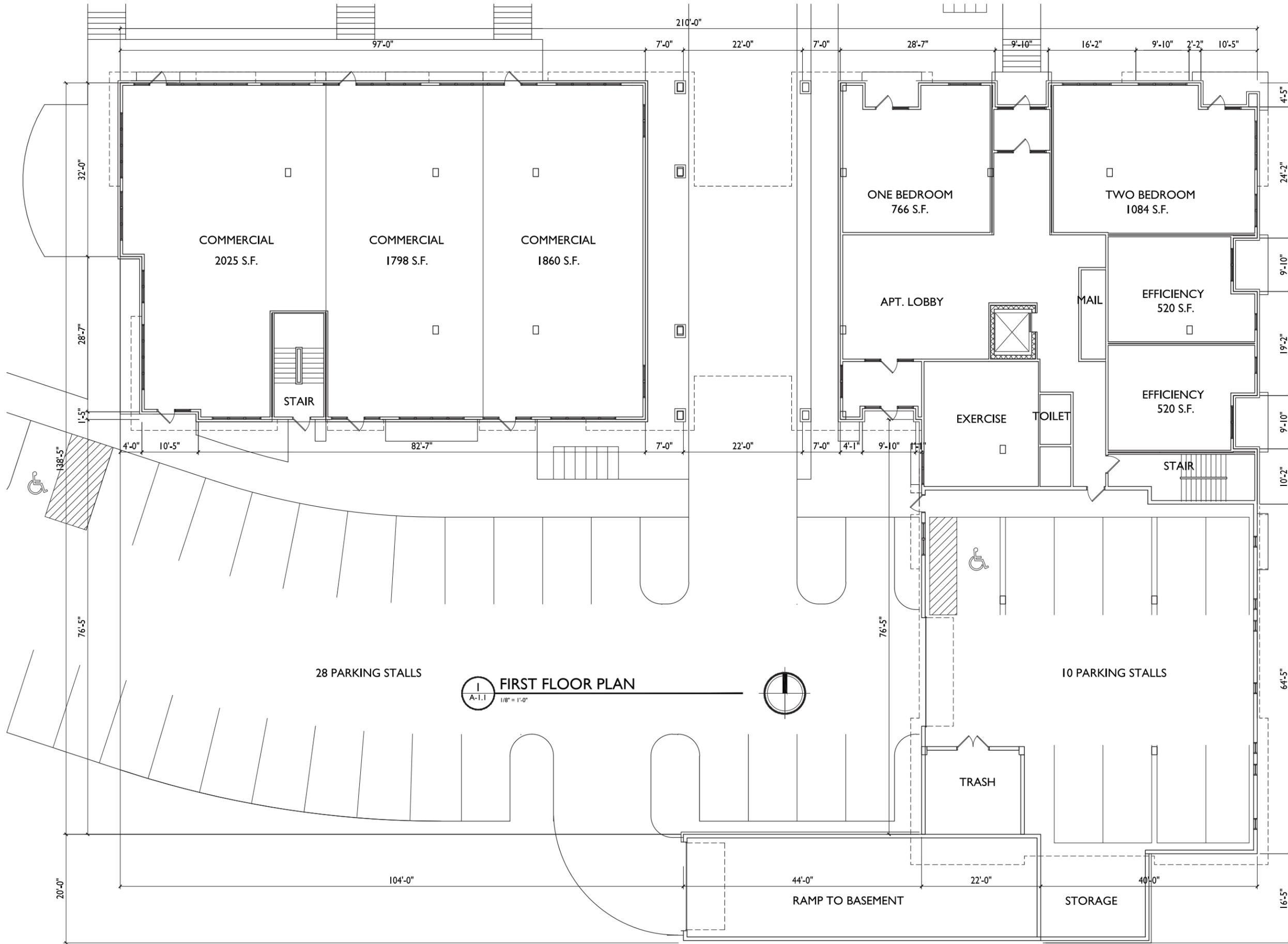
PREPARED PER CITY OF MADISON ZONING CODE SECTION 28.142-LANDSCAPING & SCREENING REQUIREMENTS





**1** BASEMENT FLOOR PLAN  
 A-1.0 1/8" = 1'-0"





**FIRST FLOOR PLAN**  
 A-1.1 1/8" = 1'-0"

ISSUED  
 Issued for Land Use & UDC - December 11, 2017

PROJECT TITLE  
**Mixed-Use  
 Development**

5533 University Ave.  
 Madison, WI  
 SHEET TITLE  
**First Floor Plan**

SHEET NUMBER

**A-1.1**



**knothe • bruce**  
ARCHITECTS

Phone: 7681 University Ave, Ste 201  
608.836.3690 Middleton, WI 53562

ISSUED  
Issued for Land Use & UDC - December 11, 2017

PROJECT TITLE  
**Mixed-Use  
Development**

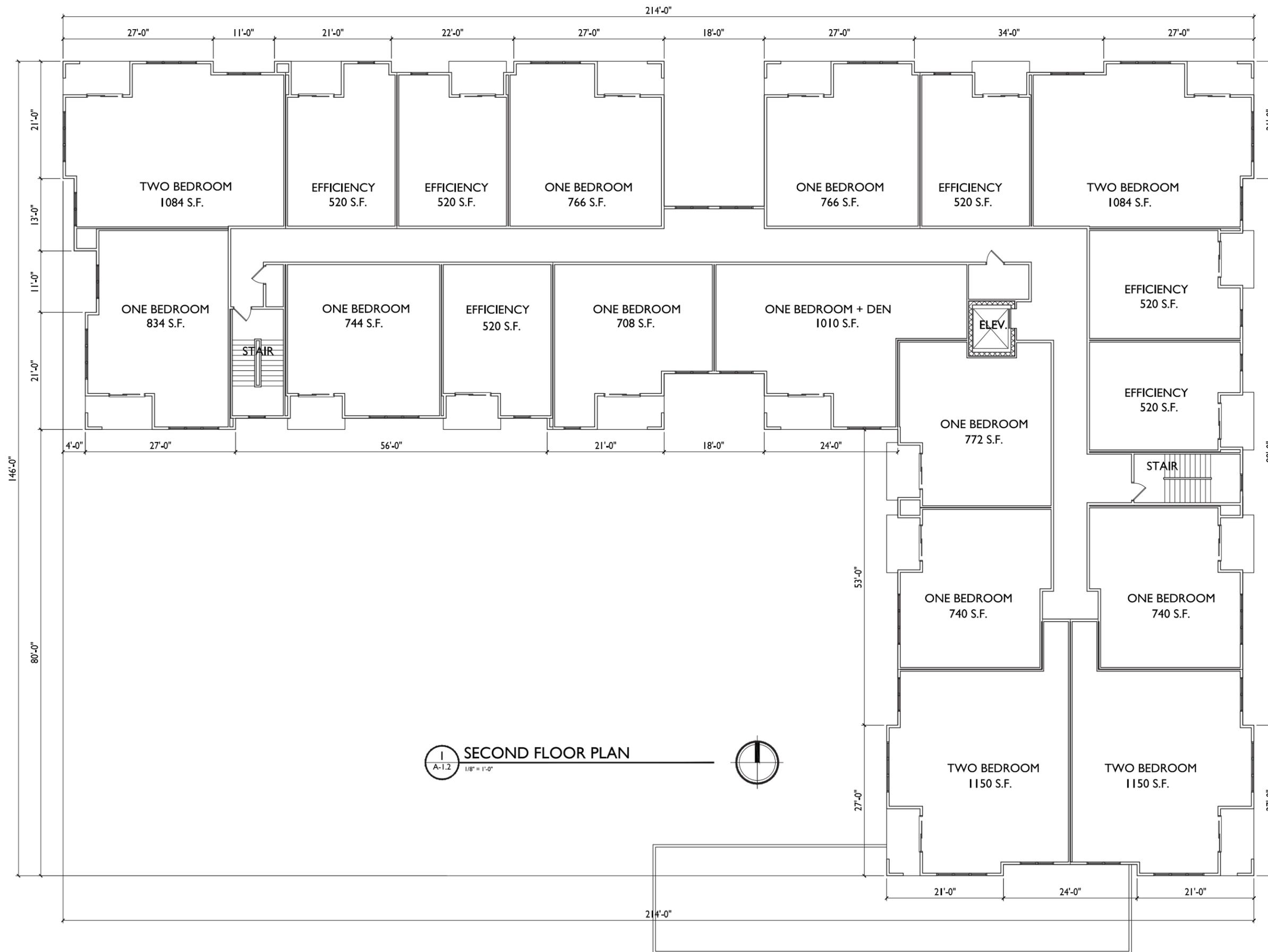
5533 University Ave.  
Madison, WI  
SHEET TITLE  
**Second Floor Plan**

SHEET NUMBER

**A-1.2**

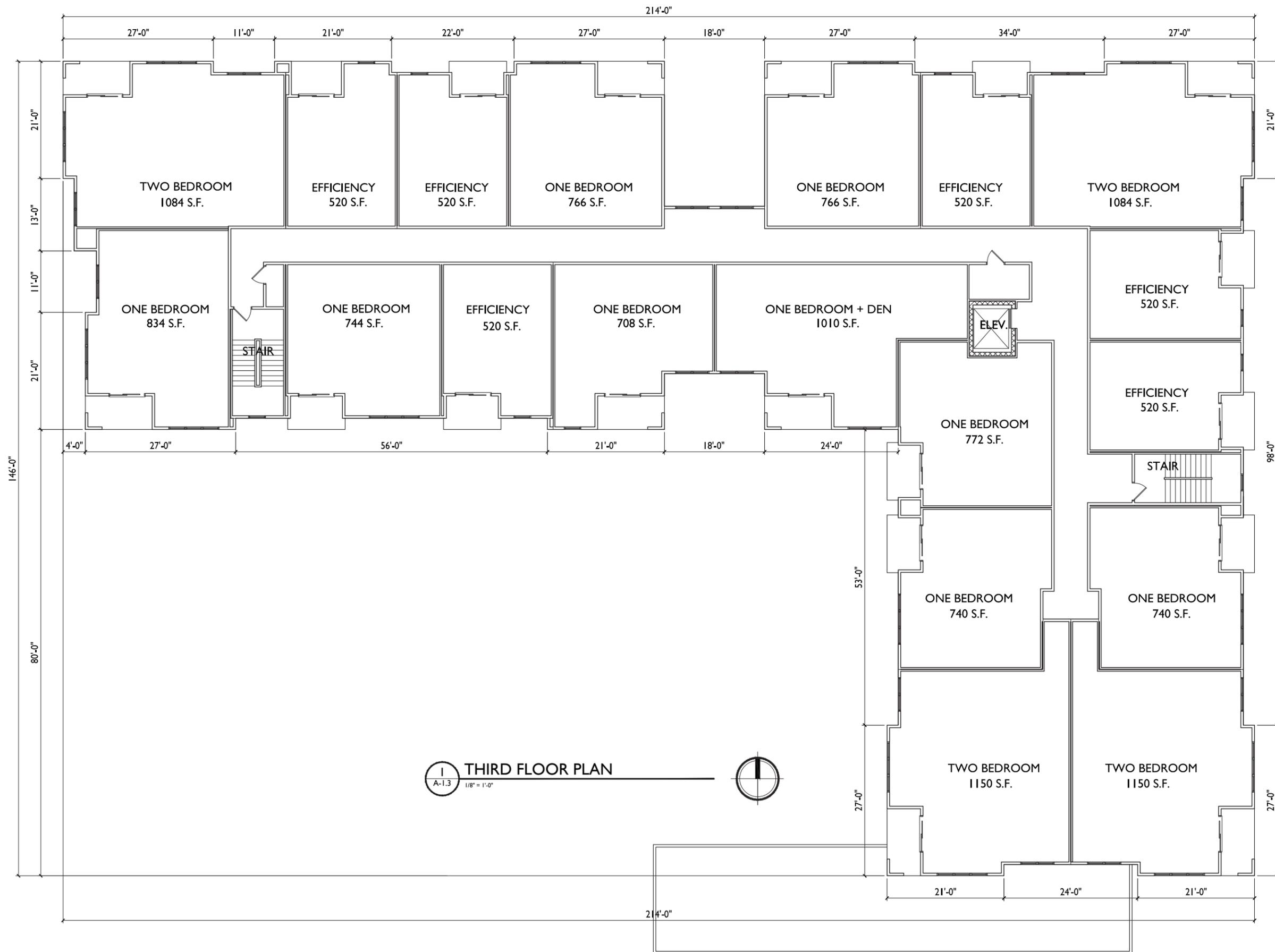
PROJECT NO. **1735**

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**1**  
A-1.2  
1/8" = 1'-0"  
**SECOND FLOOR PLAN**



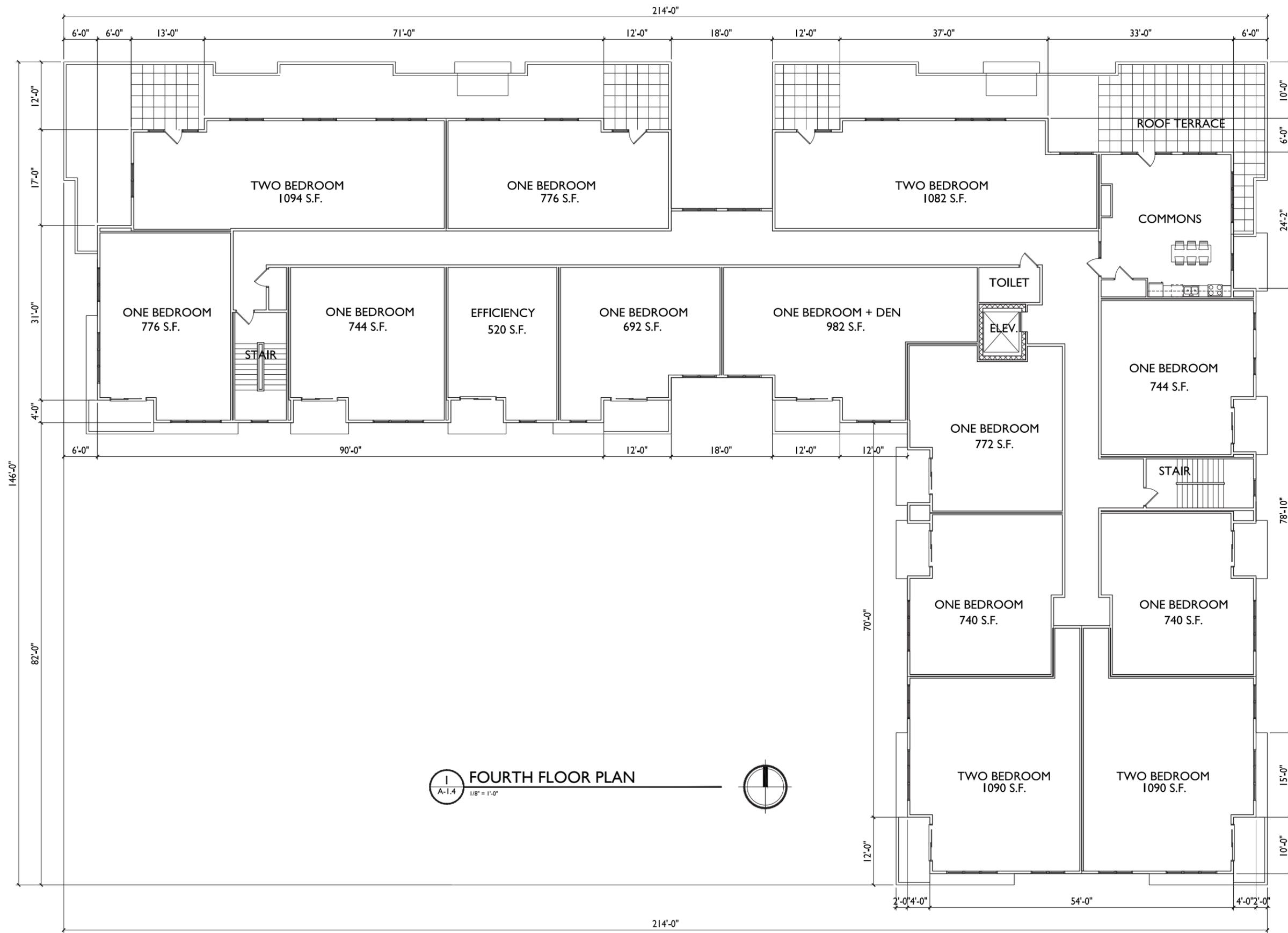


**THIRD FLOOR PLAN**  
 A-1.3 1/8" = 1'-0"  
 NORTH

ISSUED  
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PROJECT TITLE  
**Mixed-Use  
 Development**

5533 University Ave.  
 Madison, WI  
 SHEET TITLE  
**Third Floor Plan**



**FOURTH FLOOR PLAN**  
 A-1.4 1/8" = 1'-0"

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PROJECT TITLE  
**Mixed-Use  
 Development**

5533 University Ave.  
 Madison, WI  
 SHEET TITLE  
**Fourth Floor Plan**



**1**  
 NORTH ELEVATION  
 ALONG UNIVERSITY AVENUE  
 A-2.1 1/8" = 1'-0"

- TYPICAL MATERIALS
- COMPOSITE SIDING AND TRIM
  - VINYL / FIBERGLASS WINDOWS
  - COMPOSITE SIDING AND TRIM
  - COMPOSITE PANEL
  - ALUM. RAILING
  - BRICK VENEER
  - ALUM. STOREFRONT
  - CAST STONE BASE

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**2**  
 WEST ELEVATION  
 ALONG CAPITAL DRIVE  
 A-2.1 1/8" = 1'-0"

- TYPICAL MATERIALS
- COMPOSITE SIDING AND TRIM
  - VINYL / FIBERGLASS WINDOWS
  - COMPOSITE SIDING AND TRIM
  - COMPOSITE PANEL
  - ALUM. RAILING
  - BRICK VENEER
  - ALUM. STOREFRONT
  - CAST STONE BASE

PROJECT TITLE  
 Mixed-Use  
 Development

5533 University Ave.  
 Madison, WI  
 SHEET TITLE  
 Elevations

SHEET NUMBER

**A-2.1**

**TYPICAL MATERIALS**

COMPOSITE SIDING AND TRIM

VINYL / FIBERGLASS WINDOWS

COMPOSITE SIDING AND TRIM

COMPOSITE PANEL

ALUM. RAILING

BRICK VENEER

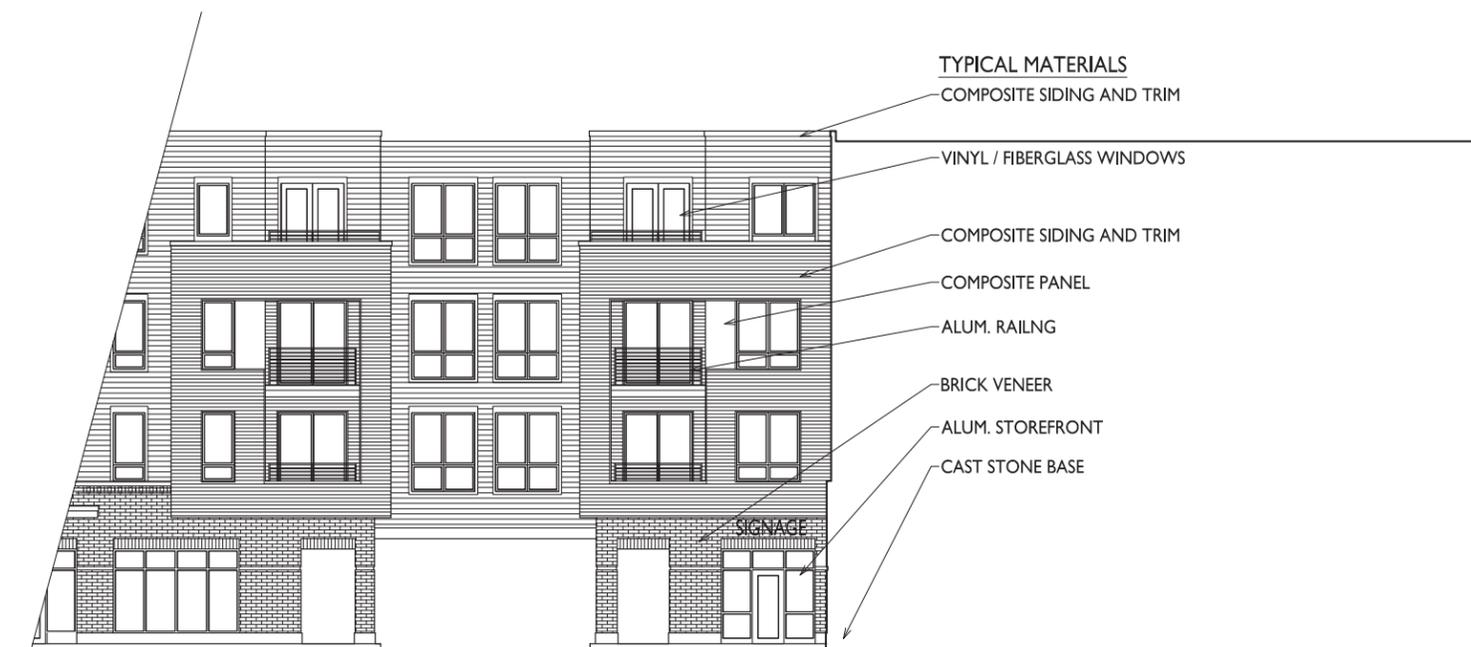
ALUM. STOREFRONT

CAST STONE BASE



**1 SOUTH ELEVATION**  
A-2.2 1/8" = 1'-0"

ISSUED  
Issued for Land Use & UDC - December 11, 2017



**2 SOUTH HIDDEN ELEVATION**  
A-2.2 1/8" = 1'-0"

PROJECT TITLE  
**Mixed-Use  
Development**

5533 University Ave.  
Madison, WI  
SHEET TITLE  
**Elevations**

SHEET NUMBER

**A-2.2**



**1 EAST ELEVATION**  
 A-2.3 1/8" = 1'-0"

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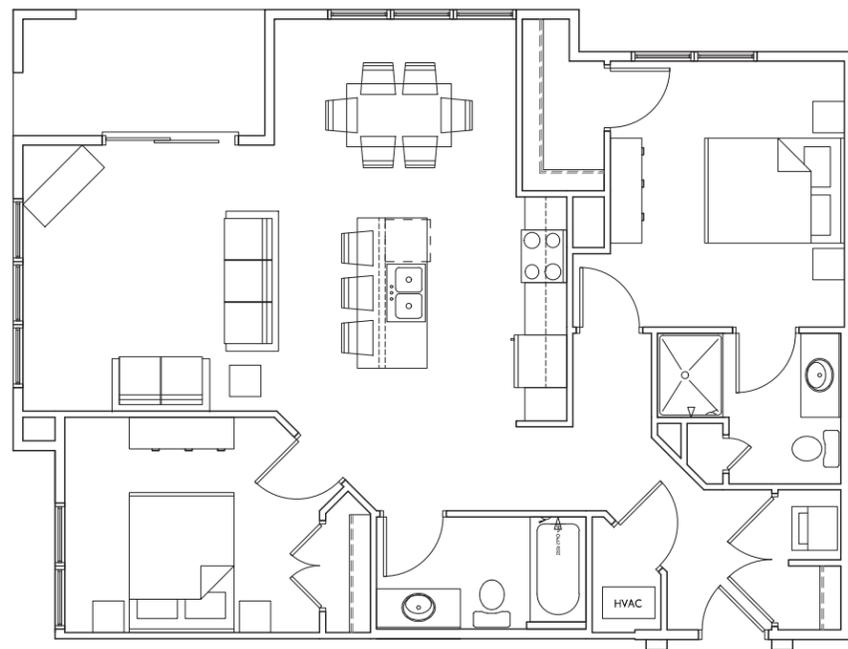
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 Madison, WI  
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**Elevations**

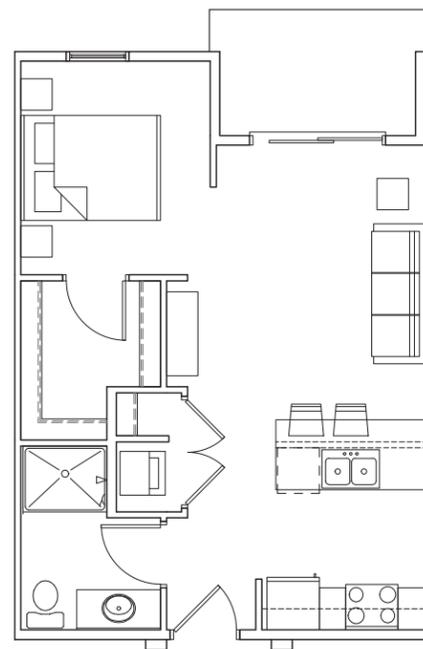
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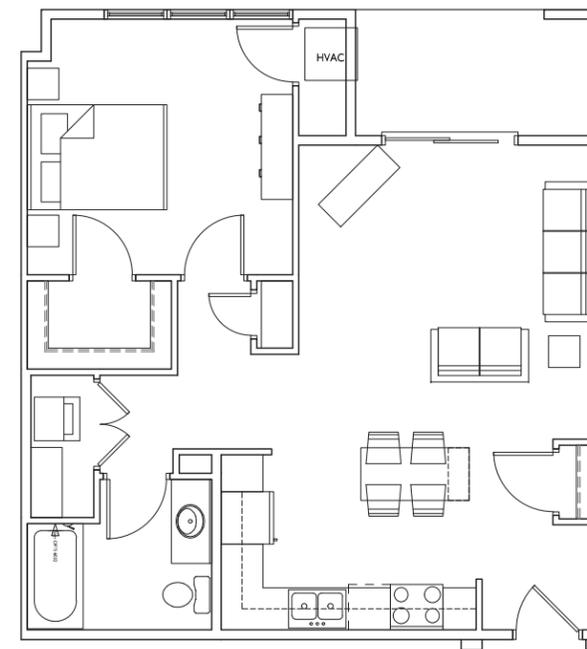
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**TWO BEDROOM**  
**1084 S.F.**



**EFFICIENCY**  
**520 S.F.**



**ONE BEDROOM**  
**766 S.F.**

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 Issued for Land Use & UDC - December 11, 2017

PROJECT TITLE  
**Mixed-Use  
 Development**

5533 University Ave.  
 Madison, WI  
 SHEET TITLE  
**Typical Unit Plans**

SHEET NUMBER

**A-5.1**

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**TYPICAL UNIT PLANS**  
 A-5.1 1/4" = 1'-0"

