



City of Madison

Conditional Use

Location

2318 S. Stoughton Road

Project Name

Blain's Supply – Stoughton Road Property

Applicant

Neal VanLoo / Ron Locast,
Potter Lawson, Inc.

Existing Use

Parking Lot

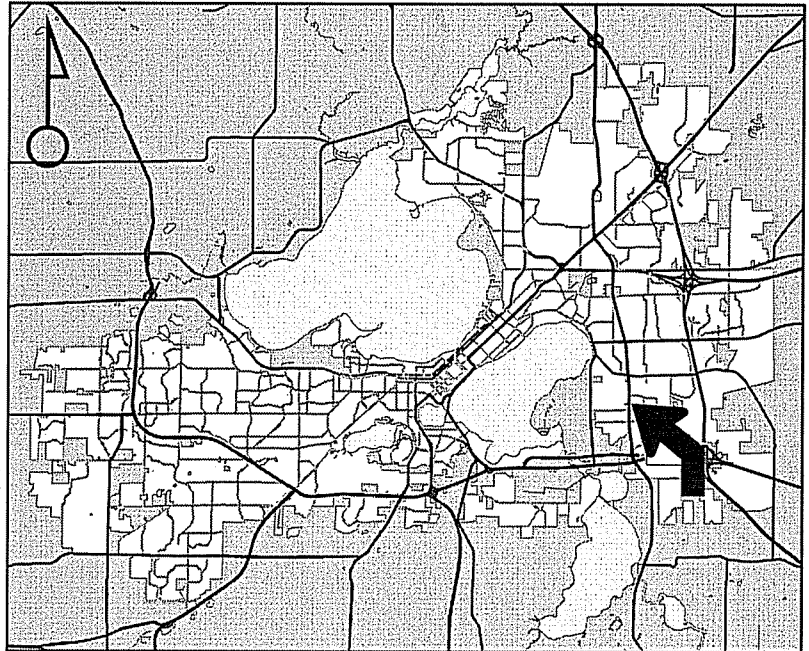
Proposed Use

Convert auto repair building into accessory storage building adjacent retail business at 2202 S. Stoughton Road

Public Hearing Date

Plan Commission

22 May 2017

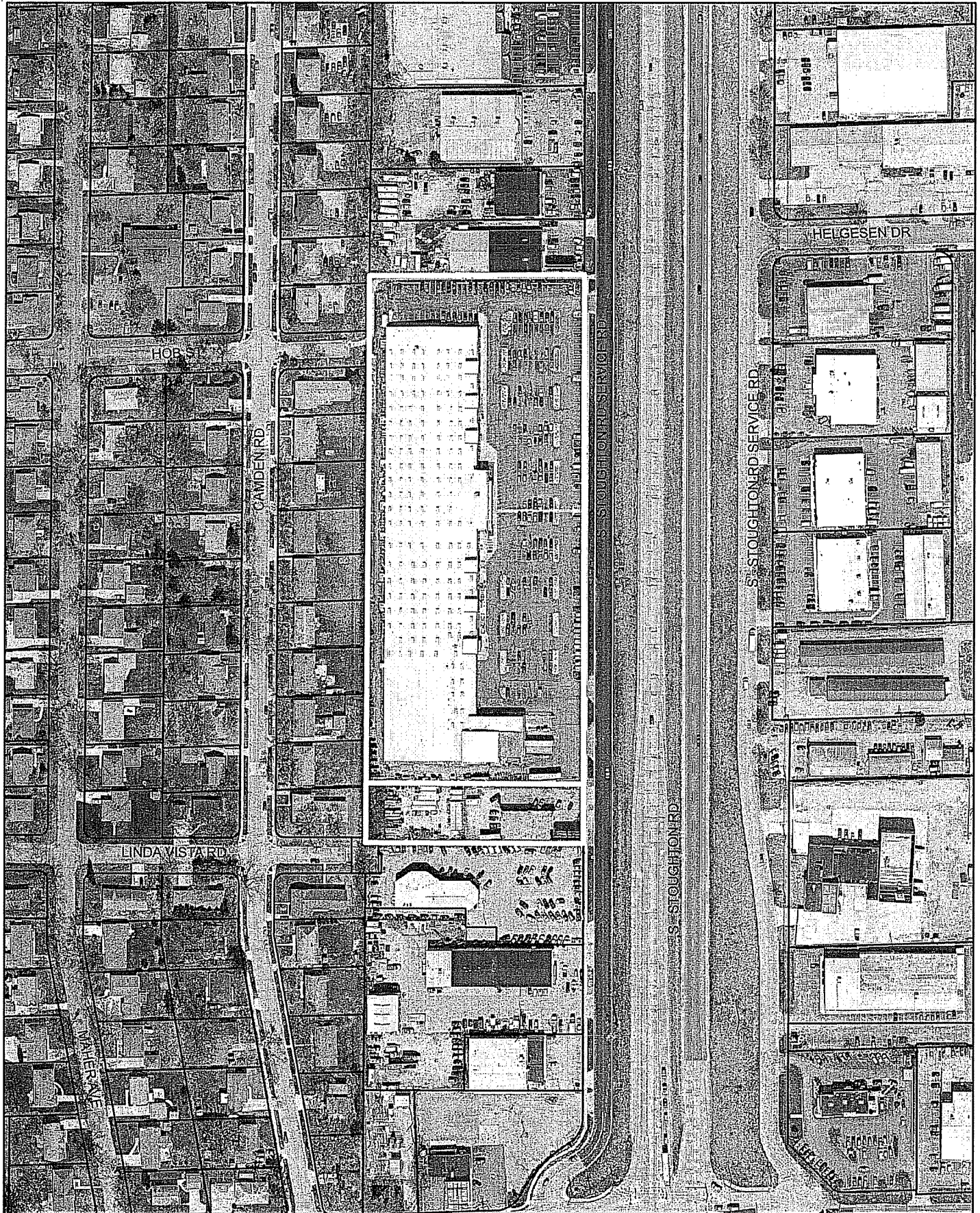


For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : PPE : Date : 15 May 2017



LAND USE APPLICATION

LND-B

City of Madison
Planning Division
126 S. Hamilton St.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



All Land Use Applications must be filed with the Zoning Office at the above address.

This completed form is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application found on the City's web site.

FOR OFFICE USE ONLY:

Paid 11600- Receipt # 028530-0001
Date received 4-5-17
Received by JEM
Parcel # 0710-164-0811-6
Aldermanic district 15-A4001
Zoning district CC-T
Special requirements OK
Review required by _____
☒ UDC ☒ PC
☐ Common Council ☐ Other _____
Reviewed By _____

LNDUSE-30A-00033

1. Project Information

Address: 2318 S. Stoughton Road Madison, WI 53716

Title: Blain's Supply - Stoughton Road Property

2. This is an application for (check all that apply)

- ☐ Zoning Map Amendment (rezoning) from _____ to _____
- ☐ Major Amendment to an Approved Planned Development-General Development Plan (PD-GDP) Zoning
- ☐ Major Amendment to an Approved Planned Development-Specific Implementation Plan (PD-SIP)
- ☐ Review of Alteration to Planned Development (PD) (by Plan Commission)
- ☒ Conditional Use or Major Alteration to an Approved Conditional Use
- ☐ Demolition Permit
- ☐ Other requests

3. Applicant, Agent and Property Owner Information

Applicant name Neal VanLoo Company Blain Supply, Inc.
Street address P.O. Box 5391 City/State/Zip Janesville, WI 53547-5391
Telephone 608-754-2821 Email NVanLoo@blainsupply.com
Project contact person Ron Locast Company Potter Lawson, Inc.
Street address 749 University Row, Suite 300 City/State/Zip Madison, WI 53705
Telephone 608-274-2741 Email ronl@potterlawson.com
Property owner (if not applicant) _____
Street address _____ City/State/Zip _____
Telephone _____ Email _____

4. Project Description

Provide a brief description of the project and all proposed uses of the site:

Modify existing automotive repair building/pavement area to meet current applicable standards; building to remain for use as ancillary storage for existing Blain's Farm and Fleet. Existing gravel storage area in rear of lot to remain.

Scheduled start date 06/01/2017 Planned completion date 09/01/2017

5. Required Submittal Materials

Refer to the Land Use Application Checklist for detailed submittal requirements.

- | | | |
|--|---|--|
| ☒ Filing fee | ☒ Pre-application notification | ☒ Land Use Application Checklist (LND-C) |
| ☒ Land Use Application | ☒ Vicinity map | ☐ Supplemental Requirements |
| ☒ Letter of intent | ☒ Survey or existing conditions site plan | ☒ Electronic Submittal* |
| ☒ Legal description | ☒ Development plans | |

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to pcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

For concurrent UDC applications a separate pre-application meeting with the UDC Secretary is required prior to submittal. Following the pre-application meeting, a complete UDC Application form and all other submittal requirements must be submitted to the UDC Secretary. An electronic submittal, as noted above, is required. Electronic submittals should be compiled on a CD or flash drive, or sent via email to udcapplications@cityofmadison.com.

6. Applicant Declarations

- ☐ **Pre-application meeting with staff.** Prior to preparation of this application, the applicant is strongly encouraged to discuss the proposed development and review process with Zoning and Planning Division staff. Note staff persons and date.

Planning staff _____ Date _____

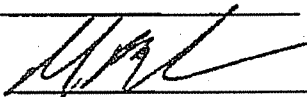
Zoning staff _____ Date _____

- ☐ **Demolition Listserv**
- ☐ **Public subsidy is being requested (indicate in letter of intent)**
- ☒ **Pre-application notification:** The zoning code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), business association(s), AND the dates you sent the notices:
Email notification sent to Alder David Ahrens on 03/30/2017

The alderperson and the Director of Planning & Community & Economic Development may reduce the 30-day requirement or waive the pre-application notification requirement altogether. Evidence of the pre-application notification is required as part of the application materials. A copy of the notification letters or any correspondence granting a waiver is required as part of the application materials.

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of applicant Neal VanLoo Relationship to property Owner's Representative

Authorizing signature of property owner  Date April 4, 2017



March 30, 2017

Mr. Matt Tucker
Zoning Administrator
City of Madison Zoning
215 Martin Luther King Jr. Blvd
Madison, WI 53709

Subject: Letter of Intent – **Major Alteration to an Approved Conditional Use (2318 S. Stoughton Road)**

Dear Mr. Tucker:

On behalf of our Client, Blain Supply, Inc., thank you for your consideration of our intent to modify the existing automotive repair building and parking area located at 2318 S. Stoughton Road in the City of Madison. Please find enclosed the City of Madison Land Use Application, Application Fee, and required Application Submittal Materials.

The property includes an automotive repair building, gravel and asphalt driveways, gravel storage lot and billboard with base easement. There are two access points to the site onto the South Stoughton Road Service Road.

The proposal includes utilizing the existing building as an ancillary storage facility to meet the needs of our Client, modifying the existing asphalt parking area to meet current City of Madison standards, removing one of the access points, and removing existing gravel/pavement area to meet maximum lot coverage requirements. Curb and gutter will also be installed with curb cuts to improve drainage in the parking area, and two bike parking stalls will be installed per City of Madison standards. Please refer to the attached sheet C100 for additional site information.

Specifically, please note the following as it relates to this proposal:

- Construction Schedule 06/01/2017 – 09/01/2017
- Project Team
 - Applicant / Owner Neal VanLoo
Blain Supply, Inc.
P.O. Box 5391
Janesville, WI 53547-5391
(608) 754-2821
NVanLoo@blainsupply.com
 - Architect Ron Locast
Potter Lawson, Inc.
749 University Row, Suite 300



Madison, WI 53705
(608) 274-2741
ronl@potterlawson.com

Site / Civil

Wade P. Wyse, P.E.
Wyser Engineering
312 E. Main Street
Mt. Horeb, WI 53572
(608) 437-1980
wade.wyse@wyserengineering.com

Landscape

The Bruce Company
2830 Parmenter Street
Middleton, WI 53562

- | | | |
|-----------------------|--------------------|-----------------|
| • Hours of Operation | 8:00 am – 9:00 pm | Monday – Friday |
| | 8:00 am – 8:00 pm | Saturday |
| | 9:00 am – 6:00 pm | Sunday |
| • Area of Lot | 0.84 acres | |
| • Number of Employees | 10 (largest shift) | |

The project cost and number of construction jobs created have not been determined. There is no public subsidy requested.

Again, thank you for your consideration. If you have any questions or require additional information, please do not hesitate to contact our office.

Respectfully,

WYSER ENGINEERING, LLC

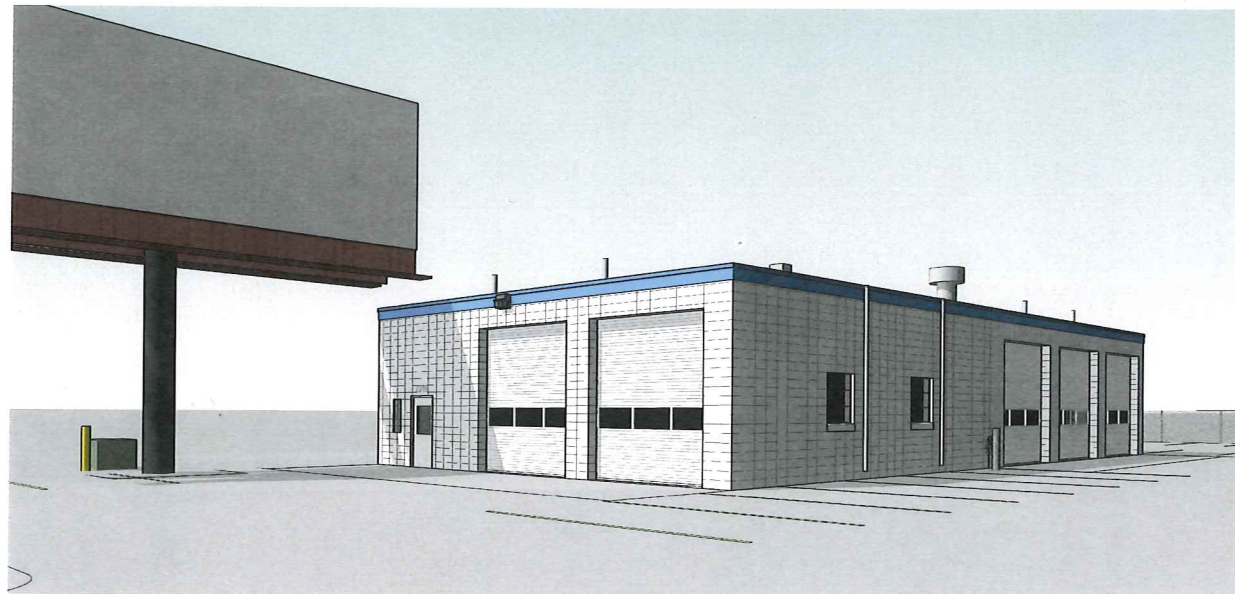
A handwritten signature in blue ink that reads "Wade P. Wyse".

Wade P. Wyse, P.E.
Principal – Project Manager

Enclosures: Land Development Application Form
Application Fee
Application Submittal Materials

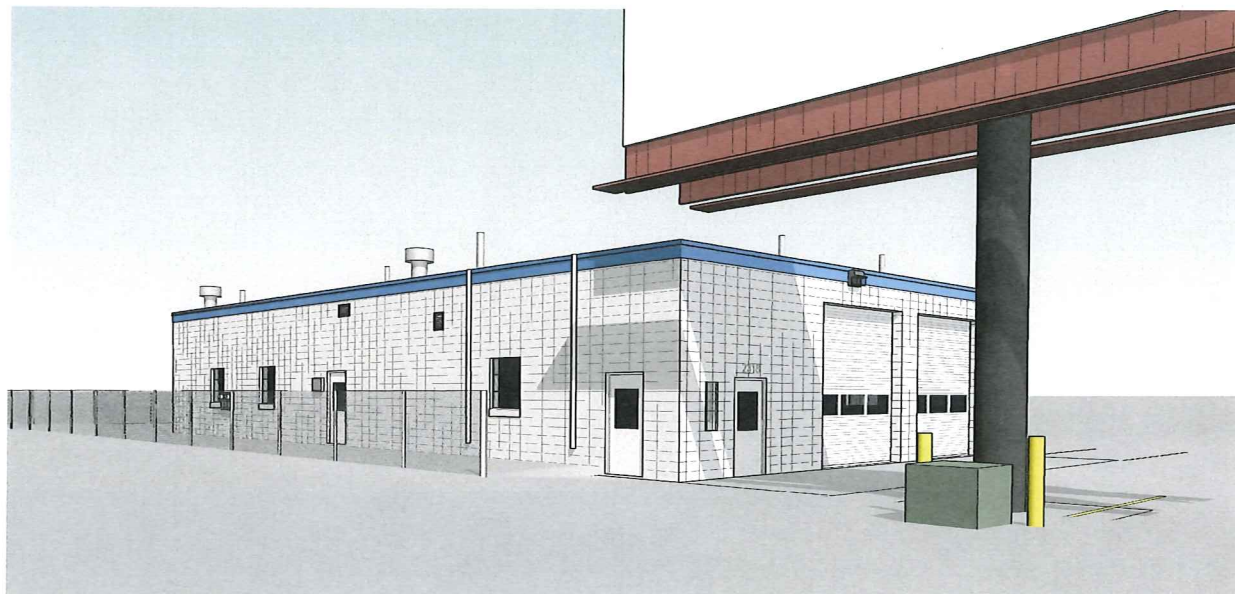
2016.44.00

City of Madison - Permit Set



Perspective View from NE

*For Reference Only



Perspective View from SE

*For Reference Only

Drawing Index	
DWG #	Drawing Title
General	
CD01	Cover Drawing
Site	
C100	Site Plan
L1	Landscape Plan
Architectural	
A201	Building Elevations
Electrical	
E100	Site Plan - Lighting
E101	Site Plan - Photometrics

Civil:

Wyser Engineering
312 East Main Street
Mount Horeb, WI 53572
608-437-1980

Landscape:

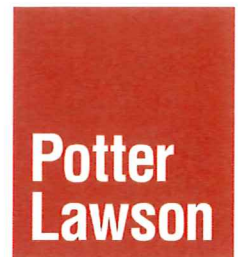
The Bruce Company
2830 Parmenter Street
Middleton, WI 53562
608-836-7041

Architect:

Potter Lawson
749 University Row, Suite 300
Madison, WI 53705
608-274-2741

Site Lighting:

KJWW
1800 Deming Way, Suite 200
Middleton, WI 53562
608-223-9600



Success by Design

Notes:



Blain's Supply -
Stoughton Road Property

2318 S. Stoughton Road
Madison, Wisconsin 53716

2016.44.00

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Cover Drawing

CD01

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4/5/2017 9:29:27 AM



Plant Material List				
Broadleaf Deciduous				
Quantity	Code Name	Common Name	Scientific Name	Planting Size
1	USM	Unity Sugar Maple	Acer Saccharum 'jefcan'	2" B&B
2	CCP	Chanticleer Gallery Pear	Pyrus Calleryana 'chanticleer'	2" B&B
Conifer Evergreen				
Quantity	Code Name	Common Name	Scientific Name	Planting Size
3	SGJ	Sea Green Juniper	Juniperus Chinen 'sea green'	#5 CONT.
9	DAR	Danica Arborvitae	Thuja Occidentalis 'danica'	#2 CONT.
Perennial				
Quantity	Code Name	Common Name	Scientific Name	Planting Size
3	KFG	Karl Foerster's Feather Reed Grass	Calamagrostis Acutiflora 'karl Foerster'	#2 CONT.
2	PMG	Purple Maiden Grass	Miscanthus Sinensis Var Purpurescens	#1 CONT.
Shrub				
Quantity	Code Name	Common Name	Scientific Name	Planting Size
3	GBC	Glossy Black Chokeberry	Aronia Melanocarpa Var Elata	#5 CONT.
2	DBH	Dwf Bush-Honeysuckle	Diervilla Lonicera	#5 CONT.



GENERAL NOTES

- A) Areas labeled "Brown Colored Wood Mulch" to receive a mixture of recycled wood mulch, colored brown, spread to a 3" depth over pre-emergent herbicide.
- B) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive wood mulch rings (and wood mulch beds) consisting of a mixture of recycled wood mulch, colored brown, spread to a minimum 3" depth (3" wide beds for shrub groupings).
- C) "Vinyl Edging" to be Valley View Black Diamond Vinyl Edging or equivalent.
- D) Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over fabric weed barrier.
- E) "Seed" areas shall be finish-graded and seeded at a rate of 4 lbs. per 1,000 sq. ft.
- F) Seed shall consist of the following mixture:
 10% Palmer IV Perennial Ryegrass
 20% Dragon Kentucky Bluegrass
 20% Diva Kentucky Bluegrass
 20% Fony II Creeping Red Fescue
 15% Vail II Perennial Ryegrass
 15% Ginney Kentucky Bluegrass
- G) Areas labeled "Seed/Mat" shall be seeded with the above-noted premium lawn seed mixture and overlaid Class 1 100% Bio-degradable erosion control netting that is then pegged into the soil with Bio-degradable staples.
- H) Areas labeled "Sod" shall receive only No. 1 grade nursery-grown bluegrass sod.
- I) Plant beds adjacent to building foundation to be mulched with 1-1/2" diameter washed stone mulch spread to a 3" depth over fabric weed barrier.
- J) Existing street trees shall be protected. Contractor shall install tree protection fencing in the area between the curb and sidewalk and extend it at least 5 feet from both sides of the tree along the length of the terrace. No excavation is permitted within 5 feet of the outside edge of the tree trunk. If excavation within 5 feet of any tree is necessary, contractor shall contact City Forestry (608)266-4816 prior to excavation to assess the impact to the tree and root system. Tree pruning shall be coordinated with City Forestry. Tree protection specifications can be found in section 107.13 of City of Madison Standard specifications for Public Works Construction: <http://www.cityofmadison.com/business/pw/documents/StdSpecs/2013/Part1.pdf>.
- K) Contractor shall contact City Forestry (608)266-4816 at least one week prior to installing street trees to schedule inspecting the nursery stock and reviewing landscaping specifications with the landscaper.

MADISON LANDSCAPE WORKSHEET

Zoning district is C3L
 Total square footage of developed area 7,798 SF

NUMBER OF LANDSCAPE POINT REQUIRED
 26 Landscape Units x 5 landscape points for first 5 acres 130 points
 0 Landscape Units x 1 landscape point for additional 0 acres 0 points
TOTAL LANDSCAPE POINTS REQUIRED..... 130 points

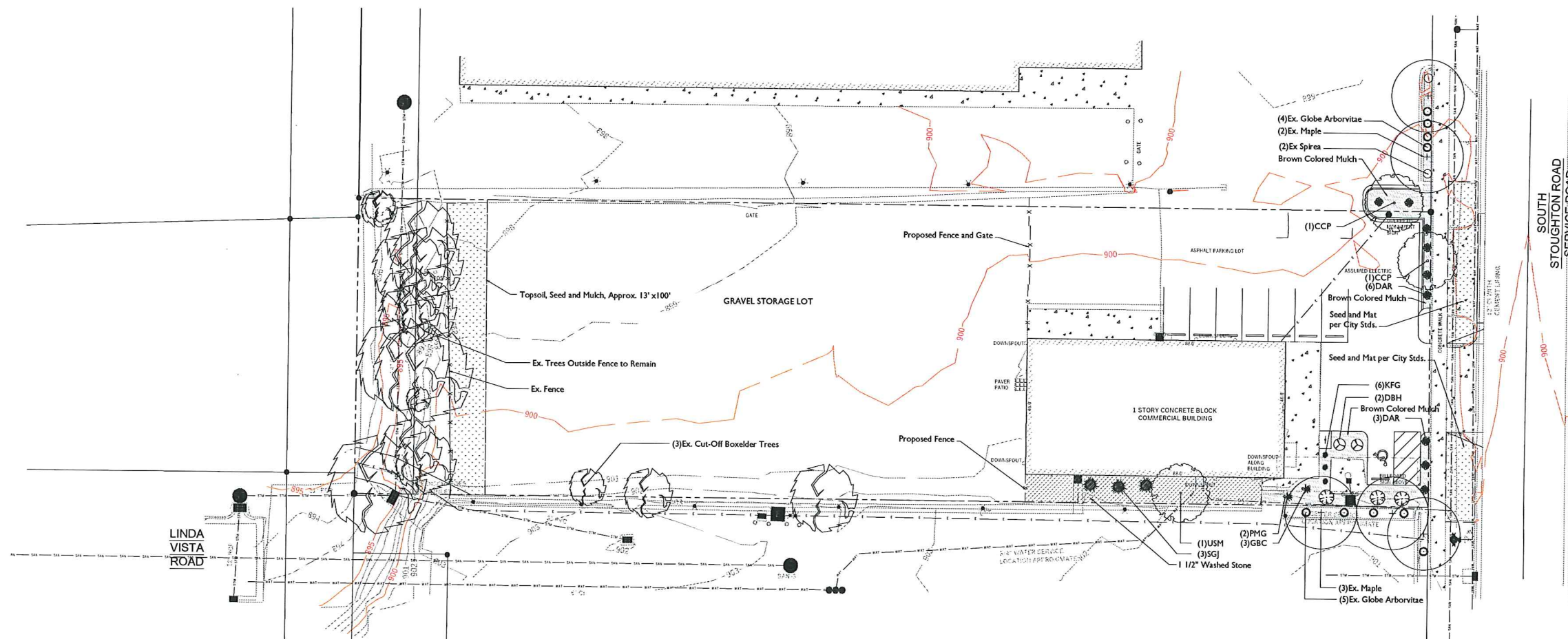
PLANT TYPE or ELEMENT	Point Value	NEW		EXISTING		TOTAL POINTS PROVIDED
		Qty.	Points Achieved	Qty.	Points Achieved	
Overstory Deciduous Tree: 2-1/2" (dbh)	35	3	105			
Tall Evergreen Tree: 5-6 feet tall	35					
Ornamental Tree: 1-1/2" Caliper (dbh)	15					
Upright Evergreen Shrub: 3-4 feet tall	10					
Shrub, deciduous: 3 gallon / 12"-24"	3	5	15			
Shrub, evergreen: 3 gallon / 12"-24"	4	12	48			
Ornamental grass/perennial: 1 gallon / 8"-18"	2	5	10			
Ornamental / Decorative fencing or wall	4 per 10 l.f.					
Existing significant specimen tree	14 per Cal. In.					
Landscape furniture for public seating and /or transit connections	5 per 'seat'					
Sub Totals		178	+			= 178

Street Frontage Landscape Required

Street Frontage = 100 LF
 Canopy Trees Required: 1 per 30 LF Frontage = 3
 Shrubs Required: 5 per 30 LF Frontage = 15

Street Frontage Landscape Supplied

Proposed Canopy Trees..... 3
 Proposed Shrubs = 17



**Potter
Lawson**

Success by Design



2830 Parmenter Street
 Middleton, WI 53562
 608.836.7041
brucecompany.com

Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

Blain's Supply -
 Stoughton Road Property

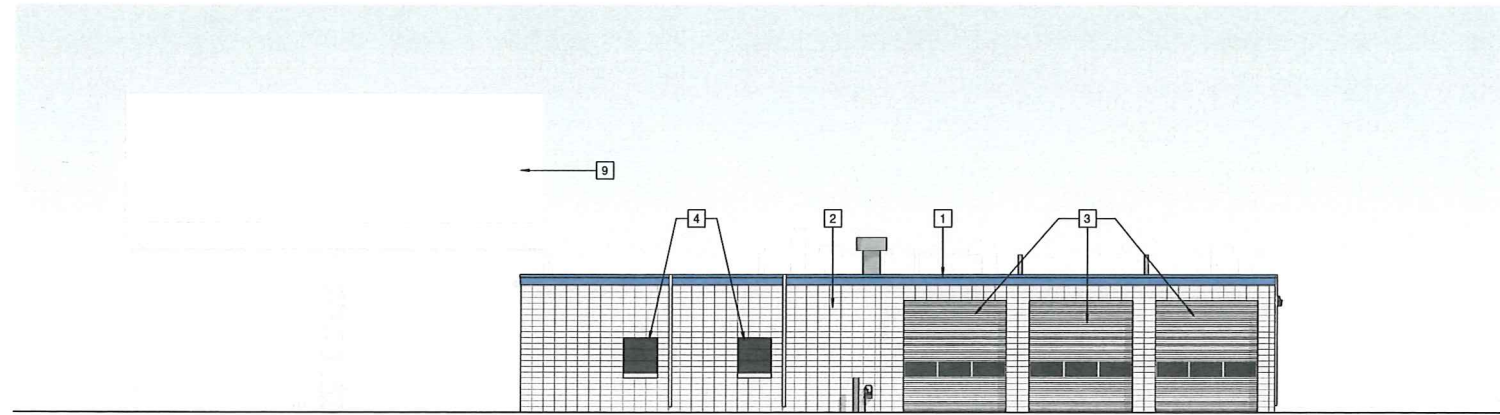
2318 S. Stoughton Road
 Madison, Wisconsin 53716

2016.44.00

Date: 02/27/2017 Issuance/Revisions: PERMIT SET
 04/06/2017 CITY OF MADISON

Landscape Plan

L1



A technical drawing of a building facade, likely a garage or workshop, with various components labeled with numbers 1 through 10. The drawing includes a side elevation and a front elevation. The side elevation shows a wall with a window (6), a door (7), and a small structure (8). The front elevation shows two large garage doors (3) and a small structure (10). The drawing is oriented with the building's front to the right and its side to the left. The labels are as follows:

- 1: Points to the roofline of the building.
- 2: Points to the upper part of the side wall.
- 3: Points to the two large garage doors.
- 4: Points to the lower part of the side wall.
- 5: Points to the ground level.
- 6: Points to a window on the side wall.
- 7: Points to a door on the side wall.
- 8: Points to a small structure on the side wall.
- 9: Points to a small structure on the side wall.
- 10: Points to a small structure on the roofline.

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1. REFER TO SHEET E101 FOR PHOTOMETRIC DISPERSION PATTERN INDICATING INTENSITY OF LIGHT.
2. REFER TO SHEET E101 FOR LUMINAIRE SCHEDULE.
3. REFER TO SUPPLEMENTAL SPECIFICATION SHEETS FOR DETAILED INFORMATION ABOUT SCHEDULED LUMINAIRES.

Potter Lawson

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Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

Blain's Supply -
Stoughton Road Property

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Madison, Wisconsin 53716

2016.44.00

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SITE PLAN - LIGHTING

E100



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W W** **ENGINEERING
CONSULTANTS**
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BUT SMARTER.[®]

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2/22/2017 3:44:51 PM

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LUMINAIRE CLASSIFICATION:
BACKLIGHT/UPLIGHT, GLAR

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MIDDLETON, WISCONSIN 53562
608.223.6600 FAX: 608.836.0415
www.kjww.com KJWW@15.1071.00

STRUCTURAL | MECHANICAL | ELECTRICAL | TECHNOLOGY

1 STORY CONCRETE BLOCK COMMERCIAL BUILDING

1 STORY CONCRETE BLOCK COMMERCIAL BUILDING

OUTLOT "A"

OUTLOT "B"

OUTLOT "C"

LANDS

GLENDALE

GLENDALE

SOUTH STOUGHTON ROAD

U.S.H.

1

SITE PLAN - PHOTOMETRICS

SCALE: 1/8"=1'-0"

Blain's Supply -
Stoughton Road Property

2318 S. Stoughton Road
Madison, Wisconsin 53716

2016.44.00

[illegible]

SITE PLAN - PHOTOMETRICS

E101

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802 WEST BROADWAY, SUITE 312
 WASHOU, WASHINGTON 98131-1639
 800.223.5600 FAX 206.233.6600
 WWW.KJ-EC.COM
 PROJECT # 17000453-1639

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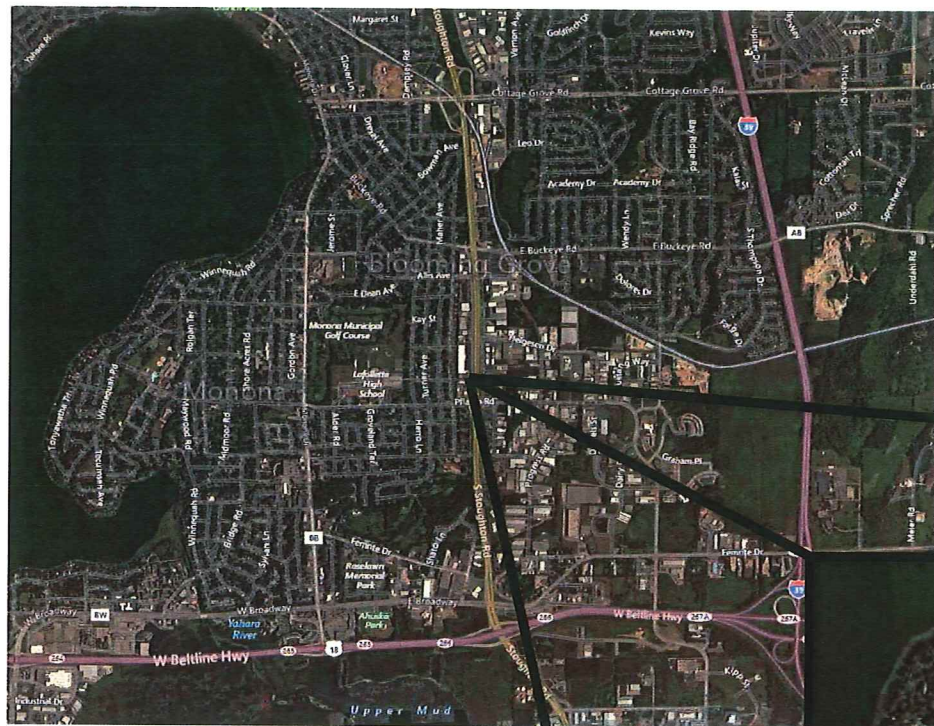
PREFERENCE SCALE IN INCHES

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Blain's Supply -
Stoughton Road Property

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Madison, Wisconsin 53716

2016.44.00



PROJECT
AREA

