



# City of Madison

## Proposed Preliminary Plat

Project Name  
Ripp Addition to Linden Park

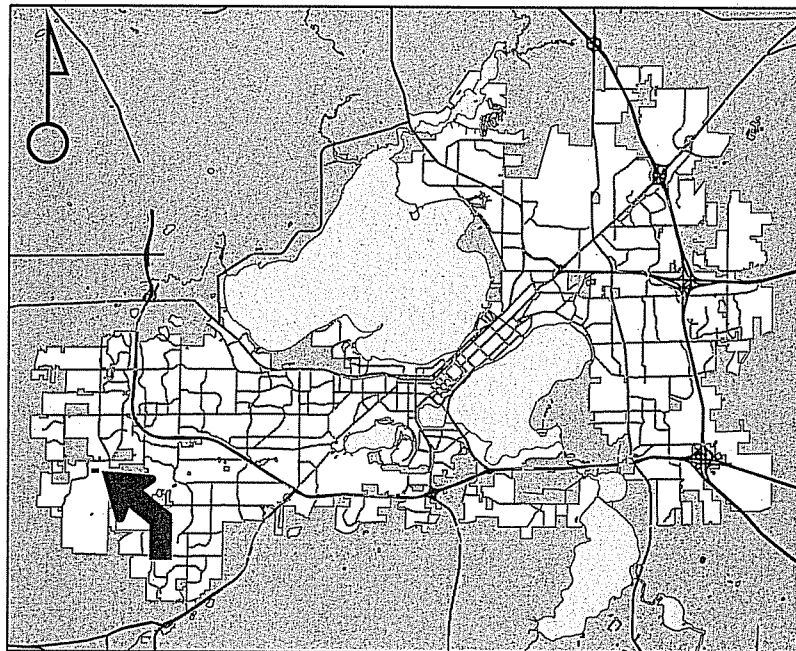
Location  
8839 Ancient Oak Lane

Applicant  
Brandon J. Ripp/  
Mark Pynnonen – Birrenkott Surveying Inc

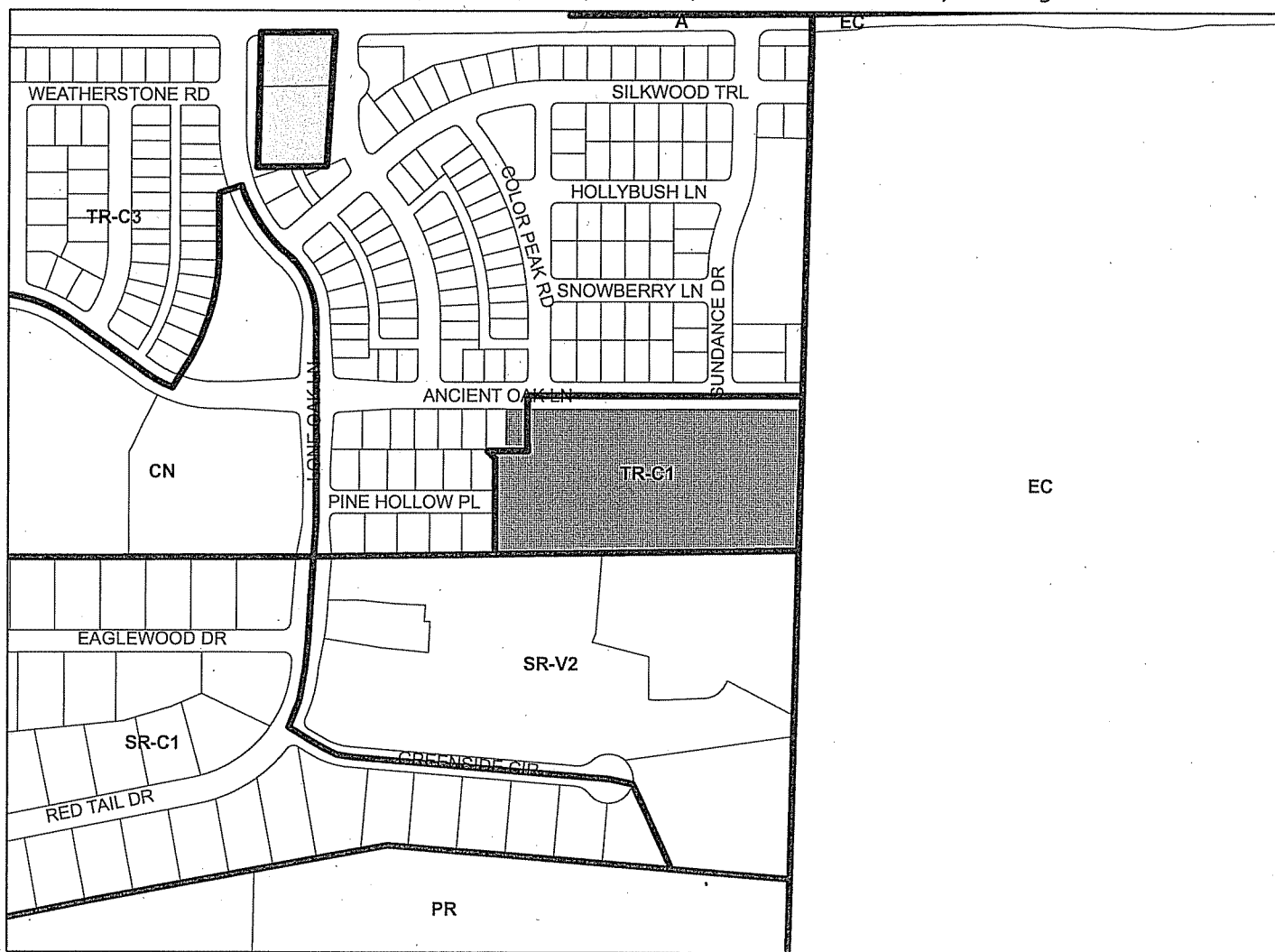
Proposed Use  
Create 29 future single-family lots  
and 1 outlot for public stormwater  
management

Public Hearing Date  
Plan Commission  
16 December 2013

Common Council  
07 January 2014

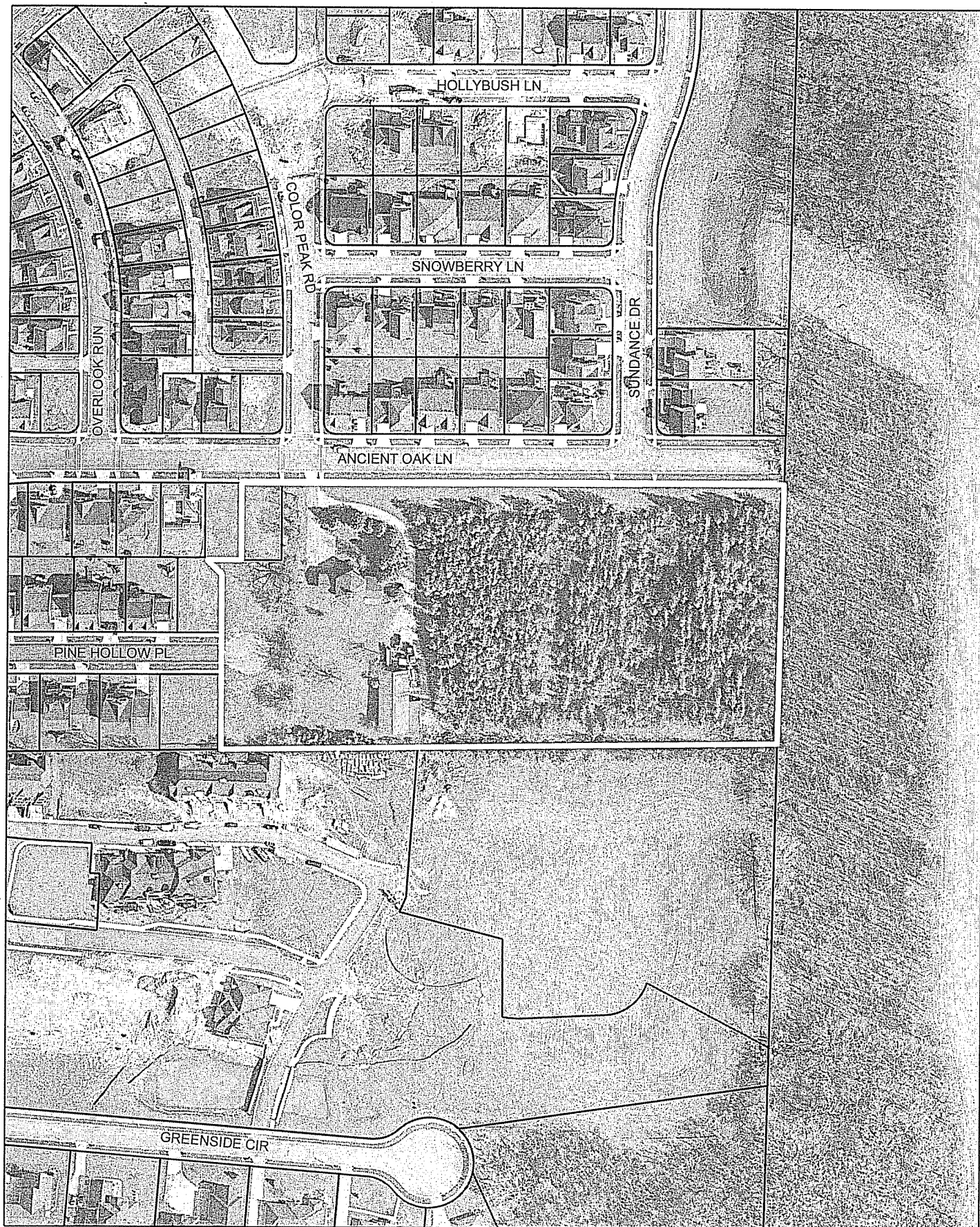


For Questions Contact: Tim Parks at: 261-9632 or [tparks@cityofmadison.com](mailto:tparks@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 13 December 2013





# SUBDIVISION APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

**\*\* Please read both pages of the application completely and fill in all required fields\*\***

This application form may also be completed online at [www.cityofmadison.com/planning/plan.html](http://www.cityofmadison.com/planning/plan.html)

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

## 1a. Application Type.

☒ Preliminary Subdivision Plat ☐ Final Subdivision Plat ☐ Land Division/Certified Survey Map (CSM)

If a Plat, Proposed Subdivision Name: Ripp Addition to Linden Park

## 1b. Review Fees. Make checks payable to "City Treasurer." Note: New fees effective May 2012 (!)

- For Preliminary and/or Final Plats, an application fee of \$250, plus \$50 per lot or outlot contained on the plat.
- For Certified Survey Maps, an application fee of \$250 plus \$200 per lot and outlot contained on the CSM.

## 2. Applicant Information.

Name of Property Owner: Brandon J. Ripp Representative, if any: Brandon Ripp

Street Address: 8839 Ancient Oak Lane City/State: Verona, WI Zip: 53593

Telephone: ( ) 513-3351 Fax: ( ) Email: brandon@cchofwaunakee.com

Firm Preparing Survey: Birrenkott Surveying, Inc. Contact: Mark Pynnonen

Street Address: 1677 N. Bristol Street City/State: Sun Prairie, WI Zip: 53590

Telephone: (608) 837-7463 Fax: (608) 837-1081 Email: mpynnonen@birrenkottsurveying.com

Check only ONE – ALL Correspondence on this application should be sent to: ☐ Property Owner, OR ☒ Survey Firm

## 3a. Project Information.

Parcel Addresses (note town if located outside City): 8839 Ancient Oak Lane

Tax Parcel Number(s): 0708-342-1036-4

Zoning District(s) of Proposed Lots: TR-C1 School District: Madison: Olson, Toki, Memorial

→ Please provide a Legal Description on your CSM or plat. Note your development schedule in your Letter of Intent.

## 3b. For Properties Located *Outside* the Madison City Limits in the City's Extraterritorial Jurisdiction:

Date of Approval by Dane County: \_\_\_\_\_ Date of Approval by Town: \_\_\_\_\_

→ For an extraterritorial request to be scheduled, approval letters from both the Town and Dane County must be submitted.

## 4. Subdivision Contents and Description. Complete table as it pertains to your request; do not complete gray areas.

| Land Use           | Lots | Outlots | Acres |
|--------------------|------|---------|-------|
| Residential        | 29   |         | 4.27  |
| Retail/Office      |      |         |       |
| Industrial         |      |         |       |
| Other (state use): |      |         |       |

| Land Use                                                  | Lots | Outlot | Acres |
|-----------------------------------------------------------|------|--------|-------|
| Outlots Dedicated to the Public (Parks, Stormwater, etc.) |      | 1      | 0.46  |
| Outlots Maintained by a Private Group or Association      |      |        |       |
| PROJECT TOTALS                                            | 29   | 1      | 4.73  |

OVER →

5. Required Submittals. Your application is required to include the following (check all that apply):

☒ Map Copies (prepared by a Registered Land Surveyor):

- For Preliminary Plats, eighteen (18) copies of the drawing drawn to scale are required. The drawing is required to provide all information as set forth in Section 16.23 (7)(a) of the Madison General Ordinances. The drawings shall include, but are not limited to, a description of existing site conditions and natural features, delineation of all public and private utilities that serve the site (denote field located versus record drawings), the general layout of the proposed subdivision, the dimensions of lots and outlots, widths of existing site conditions, the nature of the proposed division and any other necessary data. Utility data (field located or from utility maps) may be provided on a separate map submitted with application.
- For Final Plats, sixteen (16) copies of the drawing are required to be submitted. The final plat shall be drawn to the specifications of Section 236.20 of the Wisconsin Statutes.
- For Certified Survey Maps (CSM), sixteen (16) copies of the drawing are required. The drawings shall include all of the information set forth in Sections 16.23(7)(a)&(d) of the Madison General Ordinances, including existing site conditions, the nature of the proposed division and any other necessary data. Utility data (field located or from utility maps) may be provided on a separate map submitted with application.
- All surveys submitted with this application are required to be collated, stapled and folded so as to fit within an 8 1/2" X 14" folder. An 8-1/2 X 11-inch reduction of each sheet shall also be submitted.

☒ Letter of Intent: Twelve (12) copies of a letter describing the proposed subdivision in detail including, but not limited to: the number and type/ use of lots proposed with this subdivision; existing conditions and uses of the property; development and phasing schedule for the project, and; the names of persons involved (contractor, architect, landscaper, business manager, etc.). \*The letter of intent for a subdivision can be the same document as the letter of intent required for a concurrent Land Use Application for the same property. \*\*A letter of intent is not required for Subdivision Applications for lot combinations or split duplexes.

☒ Report of Title and Supporting Documents: All plats and certified surveys submitted for approval shall include a Report of Title satisfactory to the Office of Real Estate Services as required in Section 16.23 of the Madison General Ordinances. A minimum of two (2) copies of a City of Madison standard 60-year Report of Title shall be obtained from a title insurance company. Title insurance or a title commitment policy is NOT acceptable (i.e. a Preliminary Title Report or a Record Information Certificate). The applicant shall submit a copy of all documents listed in the Report of Title for each copy of the report submitted.

☐ For any plat or CSM creating common areas to be maintained by private association: Two (2) copies of proposed development restrictions and covenants shall be submitted for City approval prior to recording of the survey instrument.

☐ For Surveys Outside the Madison City Limits: A copy of the approval letters from both the Town where the property is located and Dane County must be submitted with your request. The City of Madison may not consider a survey within its extraterritorial jurisdiction without prior approval Town and Dane County.

☐ For Surveys Conveying Land to the Public: A Phase I Environmental Site Assessment Report may be required if any interest in these lands are to be conveyed to the public. Please contact the City's Office of Real Estate Services at 266-4222 for a determination as soon as possible.

☒ Electronic Application Submittal: All applicants are required to submit a copy of this completed application form, and preliminary and/or final plats or Certified Survey Map as individual Adobe Acrobat PDF files compiled either on a non-returnable CD-ROM to be included with their application materials, or in an e-mail sent to [pcapplications@cityofmadison.com](mailto:pcapplications@cityofmadison.com). The transmittal shall include the name of the project and applicant.

6. Applicant Declarations:

The signer attests that the application has been completed accurately and all required materials have been submitted:

Applicant's Printed Name Brandon Ripp

Signature 

Date September 26, 2013

Interest In Property On This Date Owner

Effective May 21, 2012

Brandon Ripp  
8839 Ancient Oak Lane  
Verona, WI 53593  
[Brandon@cchofwaunakee.com](mailto:Brandon@cchofwaunakee.com)  
Cell: 608.445.7955  
Office: 608.850.4450

October 2, 2013

Madison Plan Commission  
215 Martin Luther King Jr. Blvd; Room LL-100

To all concerned parties,

My name is Brandon Ripp and I own the three properties on the South side of Ancient Oak Lane located of the far South East corner of the Linden Park Development on the West side of Madison. It is my intent to subdivide the largest of the three properties into single family residential home sites.

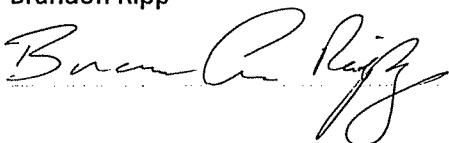
The ~6 acre property currently zoned TRC-1 will be divided into 28 single family lots zoned TRC-1. The 2 existing single family lots will remain as they are with their current TRC-3 zoning. The current property has one single family residence, one 60'x40' out building, well and septic systems. The remaining portion is naturally grown.

This will be a 2 phase project consisting of major grading to begin in the late fall of 2013 to establish desired grades and install the required bio-retention pond on the South East corner of the property. In the spring of 2014 we will install the water and sewer laterals servicing lots 15-23 and the existing 2 single family lots zoned TRC-3. Late fall of 2014 we will remove the existing single family home and out building to install necessary underground utilities, curb, gutter, roads, and sidewalk to continue Pine Hollow Place to the East, taking a 90 degree turn and connecting to the intersection of Ancient Oak Lane and Sundance Drive. We also plan to continue Color Peak Drive to the South, connecting to Pine Hollow Place. These roads will allow access to lots 2-14 and 24-29.

Participants:  
Owner – Brandon Ripp  
LLC Partner – Bryan Sipple  
Surveyor – Birrenkott Surveying, Inc.  
Engineer – Quam Engineering  
Grading – TBD  
Utilities – TBD  
Electrical Service – Alliant Energy  
Gas Service – MG&E  
Exterior Lighting – TBD  
Roads – TBD  
Curb, Gutter, Sidewalks - TBD

Sincerely,

Brandon Ripp





### PRELIMINARY PLAT OF

Lot 3, Certified Survey Map No. 12804, located in the Northwest  $\frac{1}{4}$  of the Northwest  $\frac{1}{4}$  of Section 34, T7N, R10E, City of Aberdeen, Daws County, Wisconsin

Book 17 = 42

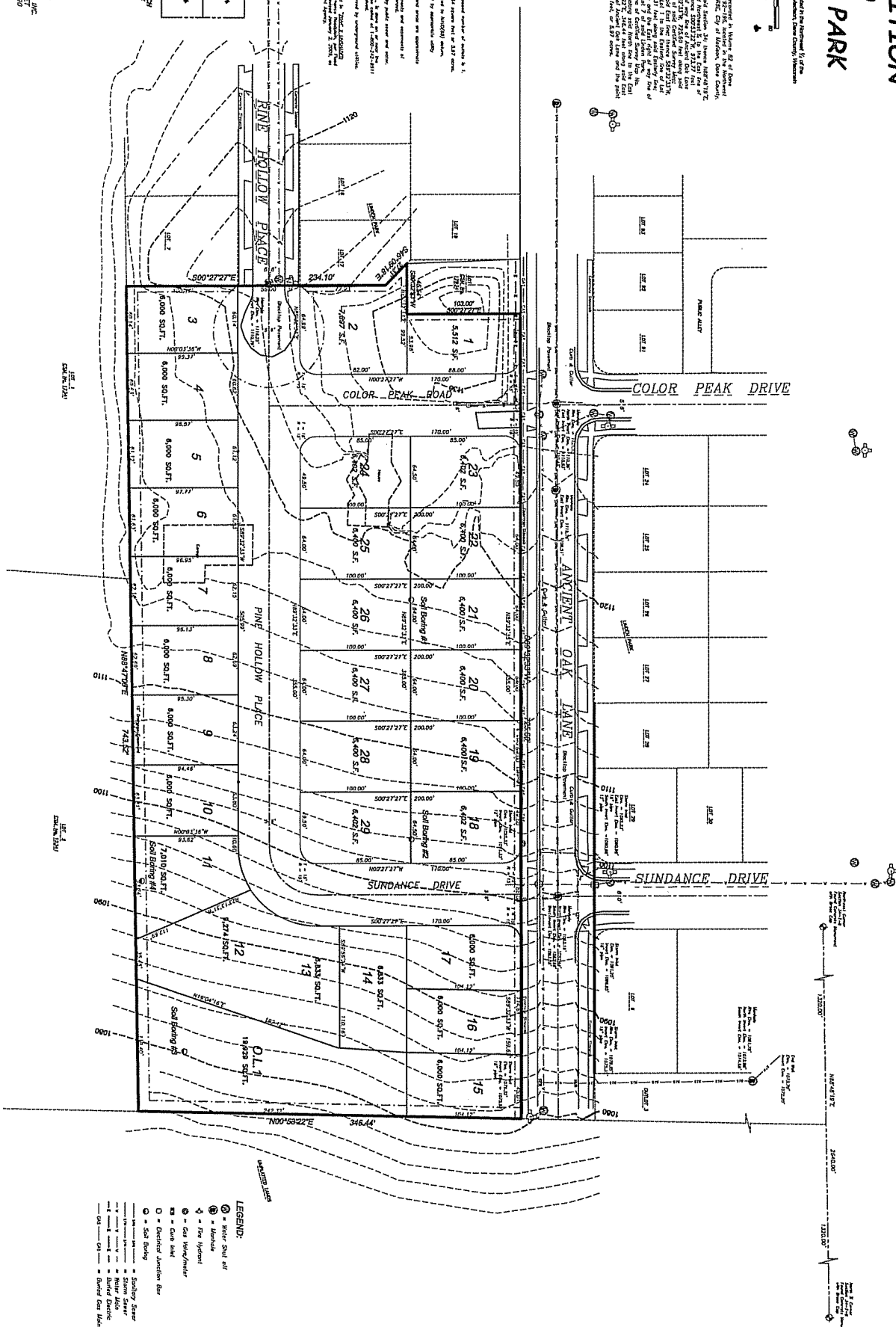
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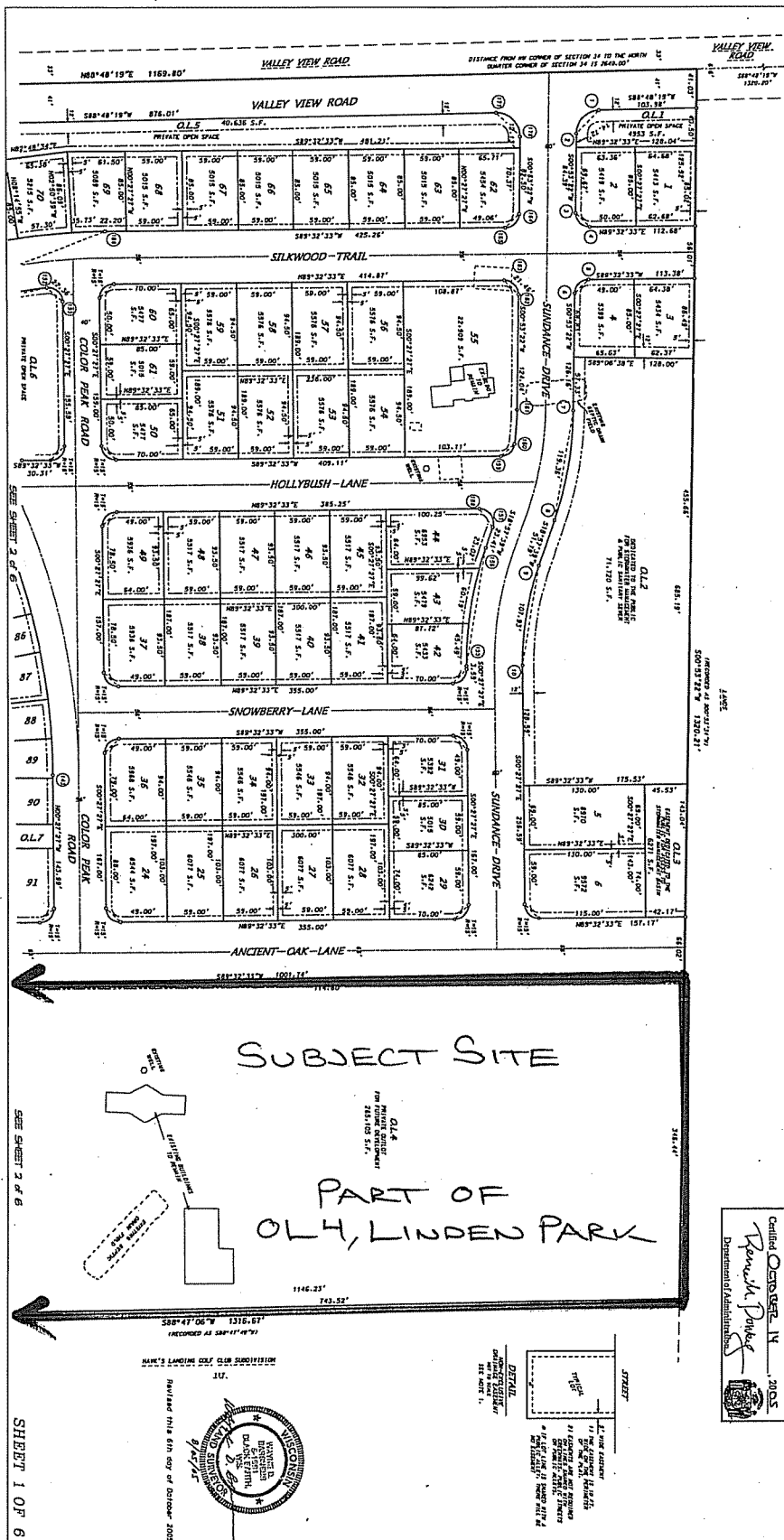
BIRENKOTT SURVEYING

**BARREKOTT SURVEYING INC.**  
1677 N. BRISTOL STREET  
SUN PRAIRIE, WIS. 53590  
608-837-7463

PREPARED FOR:  
BRANDON RPP LLC  
8019 ANCIENT OAK LAKE  
VERONA, N.J. 07093  
850-44450

DATED: MAY 28, 2013





VALLEY VIEW ROAD

REAR DRIVE

LONG OAK LAKE

W.C. 1st

W.C. 2nd

W.C. 1st

W.C. 2nd

LOCATION MAP

SEP. 19, 1944



**TYPICAL PUBLIC  
UTILITY EASEMENT DETAIL**

Public utility account is  
assessable as herein set for  
PRIVATE PUBLIC UTILITIES

- ☐ Found City of Madison County's document without cost.
  - ☐ Found 1-1/4" diameter solid round iron shaft.
  - ☐ Found 1" iron shaft.
  - ☐ Found 3/4" diameter solid round iron shaft.
  - ☐ Found 1/2" diameter iron shaft weighing 4.25 lbs/ft.
  - ☐ All other 1/2" and smaller screws are made of 3/4" 1/2" shafts
  - ☐ Found iron plate street weighing 11.50 lbs/ft.
  - ☐ Access Easement [See note 4.1]
- Existing Building

*Lots 1 & 2, Certified Survey Map No. 4630, and a parcel of land all located in the NE1/4 and NW1/4 of the NE1/4 of Section 33 and in the NW1/4 of the NW1/4 of Section 34, T7N, R8E, City of Madison, Dane County, Wisconsin.*

LINDEN PARK DO# 4139204

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[illegible]

There are no objections to this plan with respect to  
§. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wts.  
Stat. as provided by §. 236.12, Wts. Stat.

Certified OCTOBER 14, 2005

*Renee M. Power*

Department of Administration



1. The City of Madison, Wisconsin, is hereby certifying that the plat of the subdivision of the land shown on the attached plat is correct and that the same is in accordance with the laws of the State of Wisconsin.

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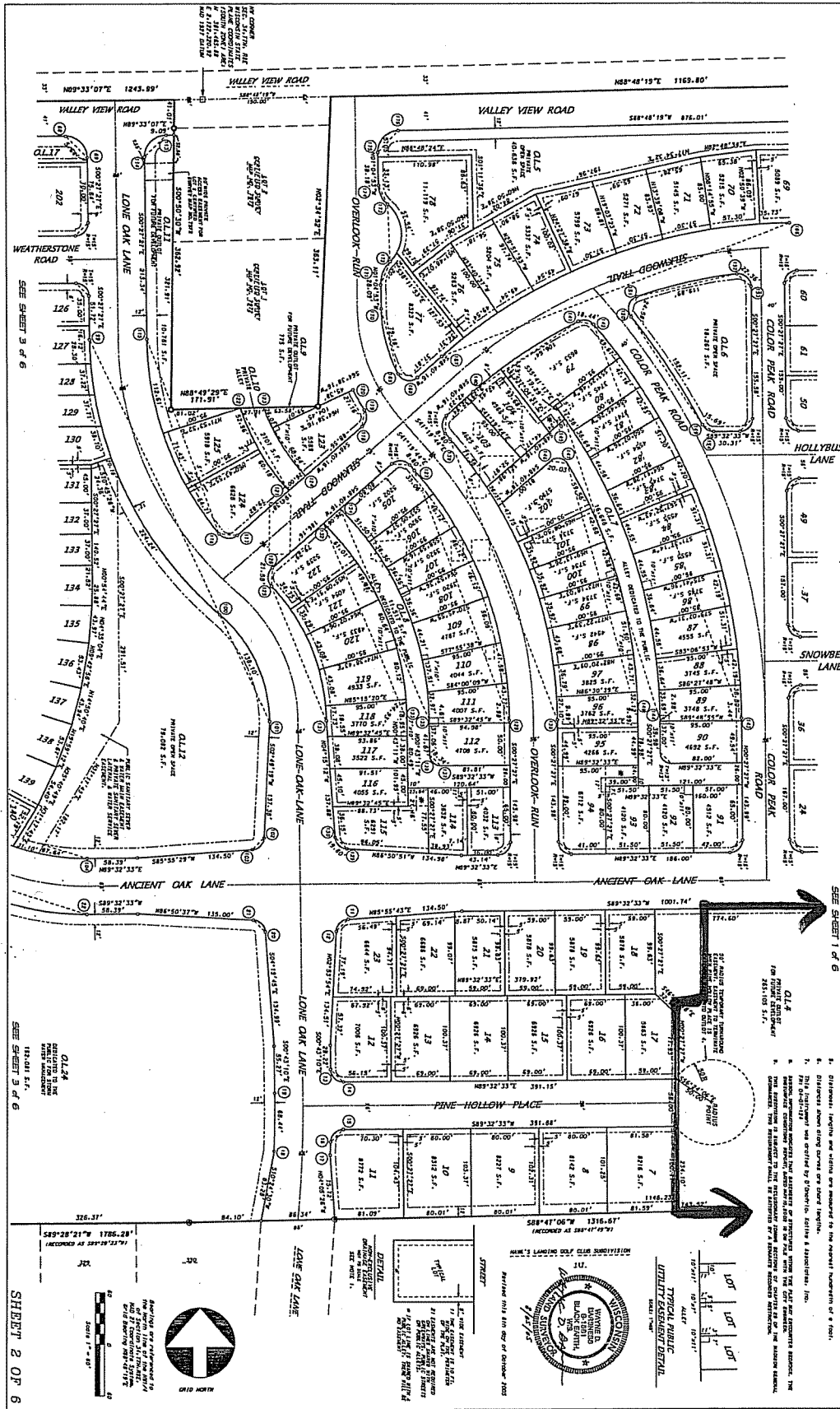
8. The City of Madison, Wisconsin, is hereby certifying that the plat of the subdivision of the land shown on the attached plat is correct and that the same is in accordance with the laws of the State of Wisconsin.

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10. The City of Madison, Wisconsin, is hereby certifying that the plat of the subdivision of the land shown on the attached plat is correct and that the same is in accordance with the laws of the State of Wisconsin.

REVENUE & ADMINISTRATION  
 The undersigned is hereby authorized to execute this plat of the subdivision of the land shown on the attached plat, and to certify that the same is in accordance with the laws of the State of Wisconsin.  
 Certified October 14, 2005  
 David P. Papp  
 Director of Administration

**LINDEN PARK**  
 Lots 1 & 2, Certified Survey Map No. 4630, and a parcel of land all located in the NE 1/4 and NW 1/4 of Section 33 and in the NW 1/4 of Section 34, T17N, R8E, City of Madison, Dane County, Wisconsin.



SEE SHEET 1 OF 2

SEE SHEET 2 OF 2