

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submission reviewed by _____

Legistar # _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: _____

Title: _____

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested _____

New development

Alteration to an existing or previously-approved development

Informational

Initial approval

Final approval

3. Project Type

Project in an Urban Design District

Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)

Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)

Planned Development (PD)

General Development Plan (GDP)

Specific Implementation Plan (SIP)

Planned Multi-Use Site or Residential Building Complex

Signage

Comprehensive Design Review (CDR)

Signage Variance (i.e. modification of signage height, area, and setback)

Signage Exception

Other

Please specify

4. Applicant, Agent, and Property Owner Information

Applicant name _____

Company _____

Street address _____

City/State/Zip _____

Telephone _____

Email _____

Project contact person _____

Company _____

Street address _____

City/State/Zip _____

Telephone _____

Email _____

Property owner (if not applicant) _____

Street address _____

City/State/Zip _____

Telephone _____

Email _____

5. Required Submittal Materials

Application Form

Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
- For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.

Development Plans (Refer to checklist on Page 4 for plan details)

Filing fee

Electronic Submittal*

Notification to the District Alder

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with _____ on _____.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant _____ Relationship to property _____

Authorizing signature of property owner Morgan Van Riper-Rose Date _____

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

Urban Design Districts: \$350 (per §35.24(6) MGO).

Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)

Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)

Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)

All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*** All plans must be legible, including the full-sized landscape and lighting plans (if required)*

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

Repvblik

Ms. Jessica Vaughn
Urban Design Commission Secretary – Planning Division
215 Martin Luther King Jr. Blvd., Suite 017
Madison, WI 53701
jvaughn@cityofmadison.com

Re: Letter of Intent
Plato's Madison – Madison Plaza Hotel Conversion

Ms. Vaughn and UDC Members,

Repvblik is pleased to present our plans for the conversion of the existing Madison Plaza Hotel at 3841 E Washington Avenue into multifamily apartments. We look forward to the Urban Design Commission's feedback.

Team:

Owner: Repvblik Madison LLC
1784 Hamilton Road
Okemos, MI 48864
Contact: Morgan Van Riper-Rose
morgan@therepvblik.com

Architect: Schwerdt Design Group
2231 S.W. Wanamaker Road, Suite 303
Topeka, Kansas 66614
Contact: Shaun Elwood
sle@sdgarch.com

MEP Engineer: PKMR Engineers
2933 SW Woodside Dr.
Topeka, KS 66614
Contact: Bryan Leinwetter
bryan.leinwetter@pkmreng.com

Project Overview:

The property at 3841 E Washington Avenue includes 3 individual parcels. For the purposes of the UDC and Land Use Submission, Repvblik Madison LLC will be focusing on the repurposing and renovation of parcel #081033209124 only and may revisit the property's two out-lots (#081033209207 & #081033209215) at a later date.

Plato's Madison is an adaptive reuse apartment project that will encompass a full renovation and repurposing of the existing hotel property into 110 studio and 45 1-bedroom apartments.

Repvblik

The existing Madison Plaza Hotel consists of 197 hotel rooms, ~10,000sf of banquet and meeting rooms, a fitness center, commercial laundry room, and a separate building housing an indoor pool in the property's courtyard.

Once renovated, Plato's Madison will have a variety of private amenities for resident use including:

- Fitness Center
- Co-working Spaces
 - o Quiet areas throughout the property with private and communal desks, seating and wi-fi for resident use
- Resident Lounges
 - o Communal areas for residents to gather and entertain
 - o Includes seating, televisions, and games
- Communal Laundry
- Landscaped Courtyard
 - o ~25,000sf of green space
 - o Grills and outdoor seating
- Resident Storage
 - o Private storage cages available for resident use

Each apartment will have a full kitchen and fully upgraded finishes including LVT flooring and a modern paint scheme. Corridors, common areas and amenity spaces will also receive new flooring, paint, and furnishings.

In addition to the interior renovations, the site and building's exterior will undergo improvements to create a more appealing, improved view from East Washington Avenue. The existing façade consists of painted EIFS with gable end asphalt shingle roofs and wood fascia panels. Any damaged materials will be patched and repaired and the entire exterior, including the pool building, will be repainted. The exterior color scheme is included in the attached documents. Additional landscaping and a new section of sidewalk will be added to the site for increased green space and walkability.

Repvblik understands that the property has been through a lot of change over the past few years, and we recognize how important it is to give the site a new identity as a residential building. Unit renovations, façade and landscaping updates, and a focus on a variety of shared amenities and services will greatly improve the look and feel of the property for both the residents and the surrounding community.

Management:

PK Companies is a strategic investor in Repvblik and also shares a common principal in Chris Potterpin. Repvblik will engage PK for the management of Plato's Madison. The company is a developer, owner, and manager of more than 5,000 units of affordable and market-rate housing throughout the Midwest, Texas and California – including Repvblik's portfolio in Alabama and

Repvblik

Michigan. PK is committed to creating partnerships that provide housing solutions to better fulfill the needs of their communities, and it strives to add value to the areas that it serves to enrich the lives of their residents. Their experienced and knowledgeable team works to meet the needs of each neighborhood in a coordinated effort with community leaders to better serve residents.

Previous City Meetings:

We have met with the City on several occasions for this proposed development including a preapplication meeting with Colin Punt and Jenny Kirchgatter on November 17, 2021. This project was then reviewed at a Development Assistance Team meeting on February 4th, 2022. District 3 Alder, Lindsay Lemmer, District 17 Alder, Gary Halverson and Mayfair Park Association representative Hilton Jones were notified of our intent to file a Land Use Application on February 25th, 2022.

It is anticipated that construction will begin in the Fall of 2022 and will span 10-12 months.

Thank you for consideration and we look forward to your feedback.

Sincerely,

Morgan Van Riper-Rose

Morgan Van Riper-Rose
Repvblik



Plato's Madison
Locator Map



Plato's Madison - Photos of Existing Site



Plato's Madison - Photos of Existing Site



A5 HY-VEE 3801 E WASHINGTON AVE
SCALE: 12" = 1'-0"



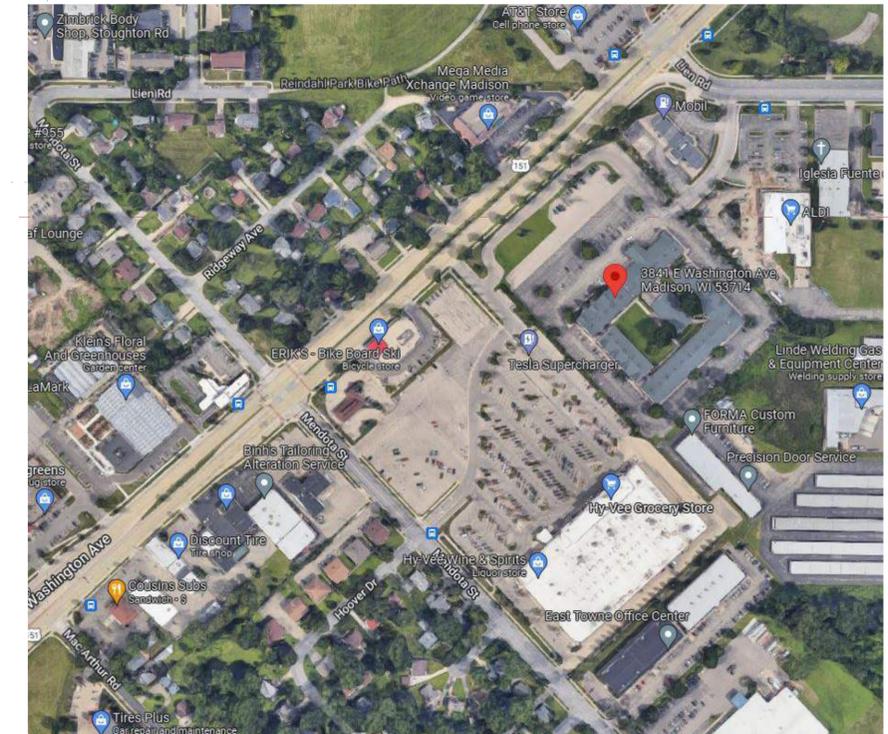
A4 ERIKS BIKES SKIS BOARDS - 3813 E WASHINGTON
SCALE: 12" = 1'-0"



A2 MOBIL - 3859 E WASHINGTON
SCALE: 12" = 1'-0"



A3 ALDI - 3925 LIEN RD
SCALE: 12" = 1'-0"



A1 MADISON SATELLITE SITE PLAN
SCALE: 12" = 1'-0"



schwerdt design group
architecture | interiors | planning
2231 sw wanamaker rd suite 303
topoka, kansas 66614-4275
phone: 785.273.7540
500 north broadway suite 200
oklahoma city, ok 73102
phone: 405.231.3105

PROGRESS PRINT

NOT FOR
CONSTRUCTION

DATE: 04/21/2022

**RENOVATION
PLATO'S OF MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53704**

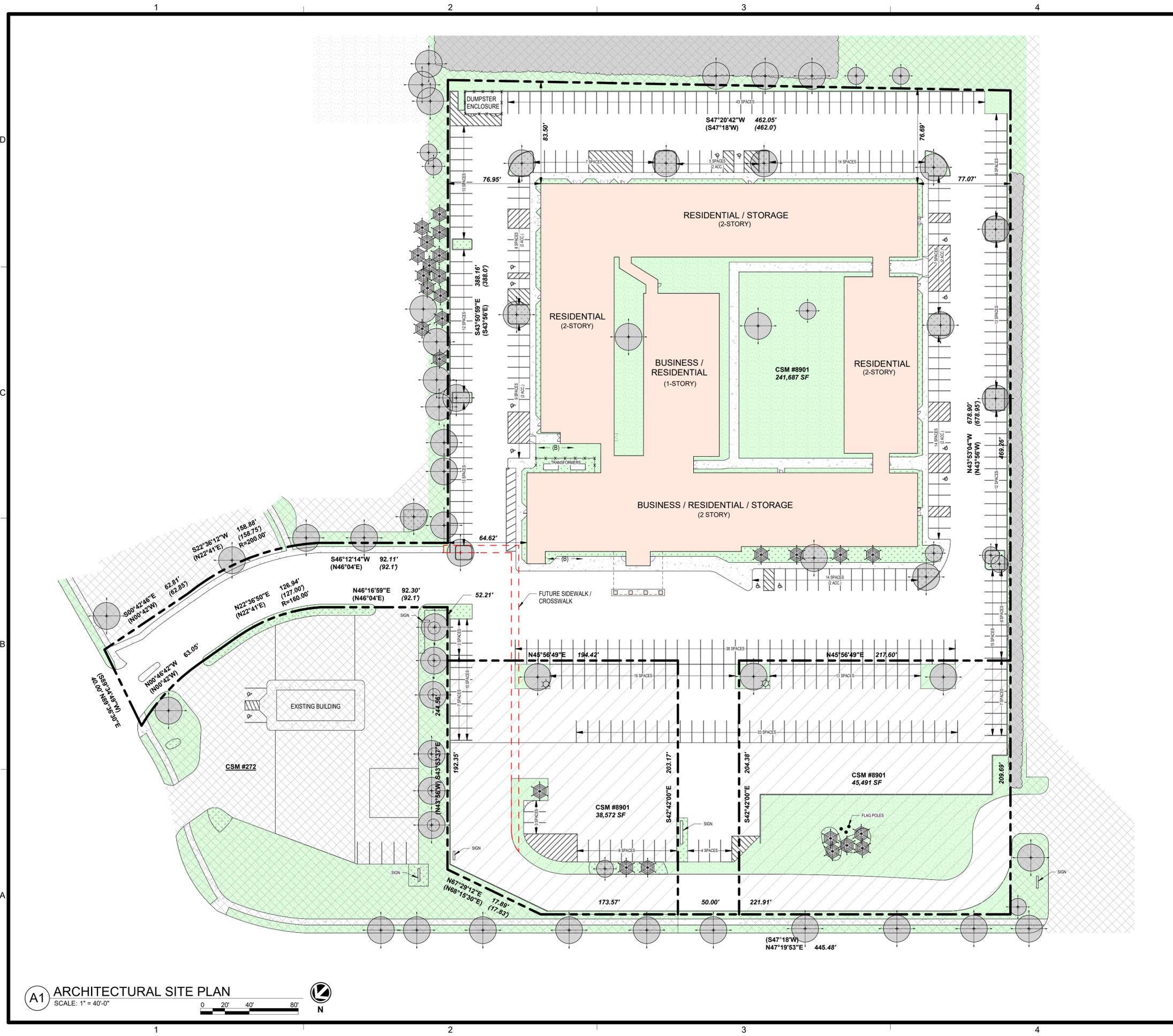
SUBMISSION DATES
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SHEET TITLE
SITE CONTEXT
INFORMATION

PROJECT NUMBER
0210377

SHEET NUMBER
G-002

FILE PATH: C:\Users\Collin\Documents\1210377 Plato's - Madison, WI - Madison Plaza Hotel Central_cek2FG35.rvt
 DATE: 4/21/2022 2:53:44 PM
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ARCHITECTURAL SITE PLAN

LANDSCAPING

- EXISTING TREE / TREE LINE

SITE / SURVEY

- EXISTING BUILDING
- LANDSCAPING
- GRASS / LAWN / SOD
- PLANTING MULCH / ROCKS
- SIDEWALK / CONCRETE
- FUTURE REAL ESTATE DEVELOPMENT
- OUT OF SCOPE
- FUTURE SIDEWALK / CROSSWALK
- GUEST BICYCLE RACK
- ACCESSIBLE PARKING SPOT
- PROPERTY LINE
- CURB / BOUNDARY
- PROPERTY LINE LOCATION & LENGTH (RECORDED)
- CHAIN LINK / WOOD FENCE
- LIGHT POLE / FLOOD LIGHT
- GROUND LIGHT
- UTILITY POLE
- GUY WIRE
- GUARD POST / BOLLARD / FLAG POLE
- FIRE HYDRANT
- STORM DRAIN BASIN
- MANHOLE

DATA

| EXISTING BUILDING | | RENOVATION | |
|---------------------------------|--|---------------------------------|------------|
| • RESIDENTIAL - 197 GUEST ROOMS | | • RESIDENTIAL - 197 GUEST ROOMS | |
| • MEETING ROOMS | | • STUDIOS | 110 |
| • FITNESS ROOM | | • 1-BEDROOMS | 45 |
| • GAME ROOM | | TOTAL: | 155 |
| • INDOOR POOL | | • CO-WORKING | |
| • KITCHEN | | • BICYCLE STORAGE | |
| • BAR | | • TENANT STORAGE | |
| | | • LOUNGES | |
| | | • FITNESS | |
| | | • RECREATION | |
| | | • BAR | |

| PARKING | |
|--|-------------------------------|
| EXISTING | 338 SPACES |
| • OVERALL: | 237 SPACES |
| • LOT 3: | |
| REQUIRED | 171 SPACES |
| • RESIDENTIAL (1 PER UNIT + 1 PER 10 UNITS): | 171 SPACES |
| • BUSINESS (1 PER 400 SF): | 39 SPACES |
| TOTAL (REQUIRED): | 210 SPACES (COMPLIANT) |

| ACCESSIBLE PARKING | |
|------------------------|---------------------------------|
| EXISTING | 11 ACCESSIBLE SPACES |
| REQUIRED (IBC 1106.1): | 8 ACCESSIBLE SPACES (COMPLIANT) |

| BICYCLE PARKING | |
|-------------------------|---|
| TENANT (1 PER UNIT): | 155 SPACES REQUIRED (MIN 140 ENCLOSED) |
| GUEST (1 PER 10 UNITS): | 16 SPACES REQUIRED (MAX 100 FEET FROM ENTRANCE) |

A1 ARCHITECTURAL SITE PLAN
 SCALE: 1" = 40'-0"



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 phone: 405.231.3105

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RENOVATION PLATO'S OF MADISON, WI
 3841 E WASHINGTON AVE, MADISON, WI 53704

SUBMISSION DATES
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SHEET TITLE
 ARCHITECTURAL SITE PLAN

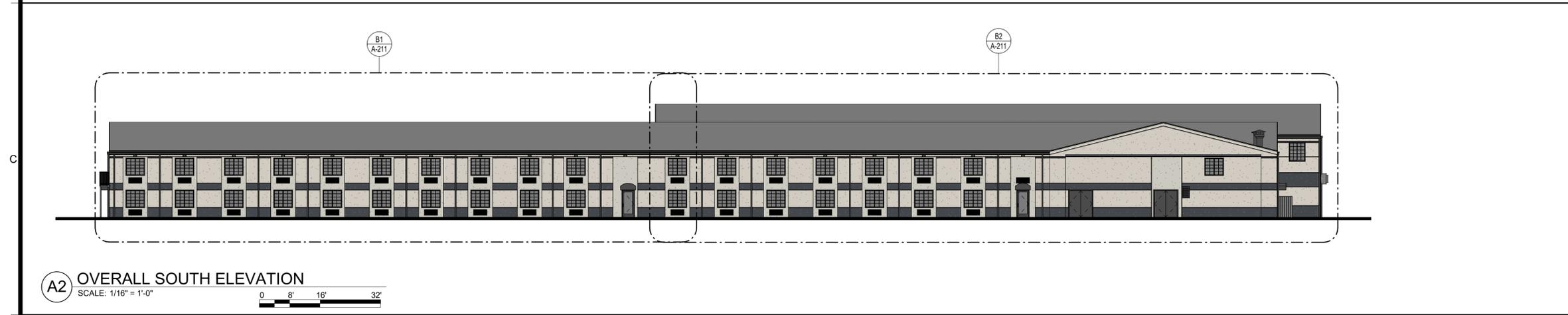
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0210377

SHEET NUMBER
A-001

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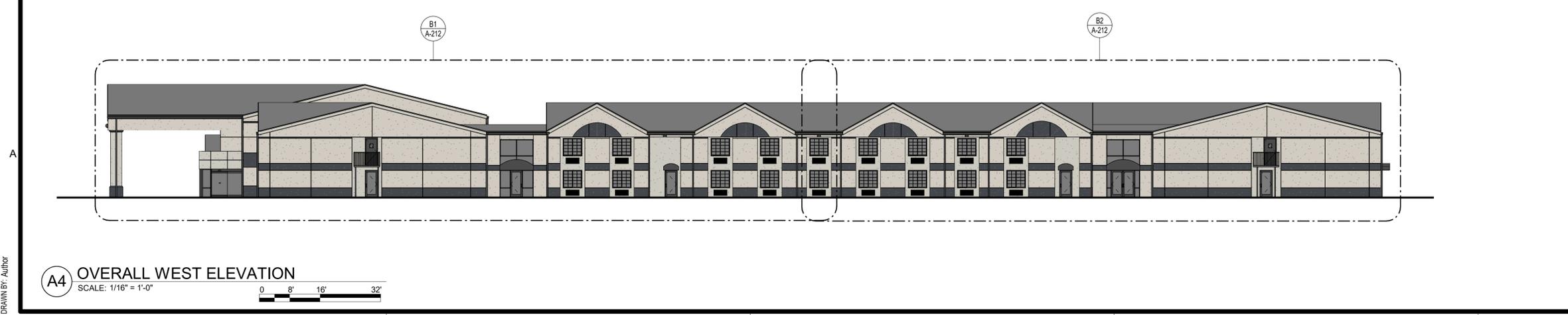
A1 OVERALL NORTH ELEVATION
SCALE: 1/16" = 1'-0"



A2 OVERALL SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



A3 OVERALL EAST ELEVATION
SCALE: 1/16" = 1'-0"



A4 OVERALL WEST ELEVATION
SCALE: 1/16" = 1'-0"

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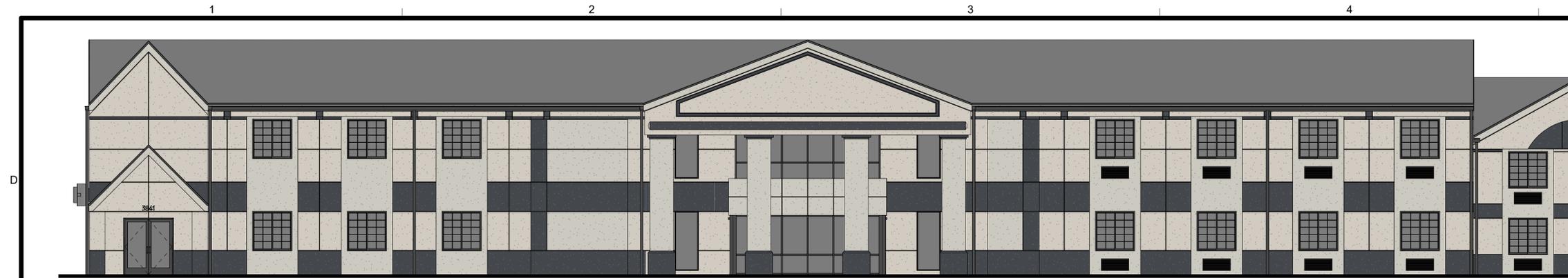
**RENOVATION
PLATO'S OF MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53704**

SUBMISSION DATES
PROGRESS PRINT ONLY

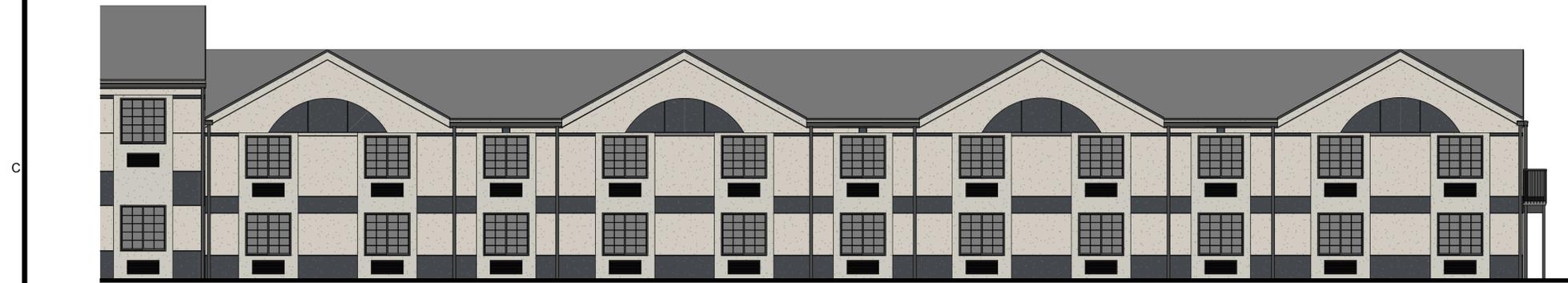
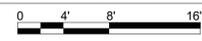
SHEET TITLE
OVERALL EXTERIOR
ELEVATIONS

PROJECT NUMBER
0210377

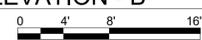
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A-201



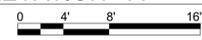
A1 ENLARGED NORTH ELEVATION - A
SCALE: 1/8" = 1'-0"



A2 ENLARGED NORTH ELEVATION - B
SCALE: 1/8" = 1'-0"



B1 ENLARGED SOUTH ELEVATION - A
SCALE: 1/8" = 1'-0"



B2 ENLARGED SOUTH ELEVATION - B
SCALE: 1/8" = 1'-0"



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**RENOVATION
PLATO'S OF MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53704**

SUBMISSION DATES
PROGRESS PRINT ONLY

SHEET TITLE
ENLARGED EXTERIOR ELEVATIONS

PROJECT NUMBER
0210377

SHEET NUMBER
A-211

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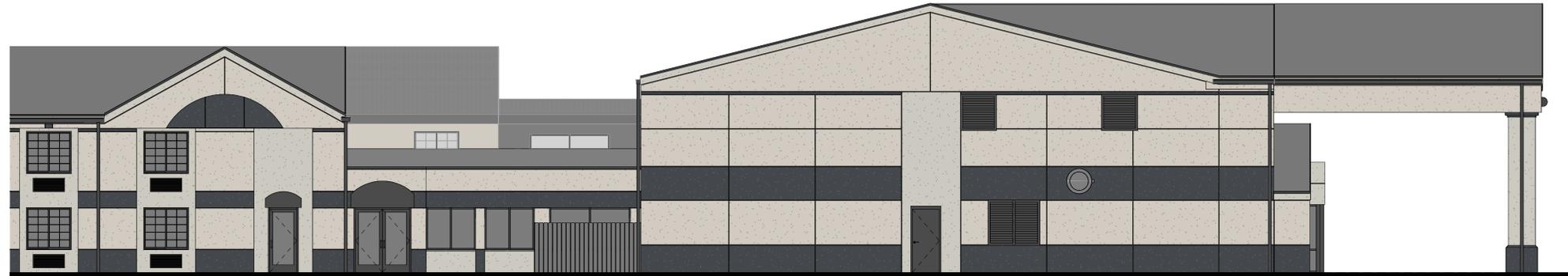
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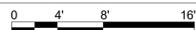
A1 ENLARGED EAST ELEVATION - A
SCALE: 1/8" = 1'-0"



C



A2 ENLARGED EAST ELEVATION - B
SCALE: 1/8" = 1'-0"



B



B1 ENLARGED WEST ELEVATION - A
SCALE: 1/8" = 1'-0"



A



B2 ENLARGED WEST ELEVATION - B
SCALE: 1/8" = 1'-0"



1

2

3

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5



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SUBMISSION DATES
PROGRESS PRINT ONLY

SHEET TITLE
ENLARGED EXTERIOR
ELEVATIONS

PROJECT NUMBER
0210377

SHEET NUMBER
A-212

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RENOVATION
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SUBMISSION DATES
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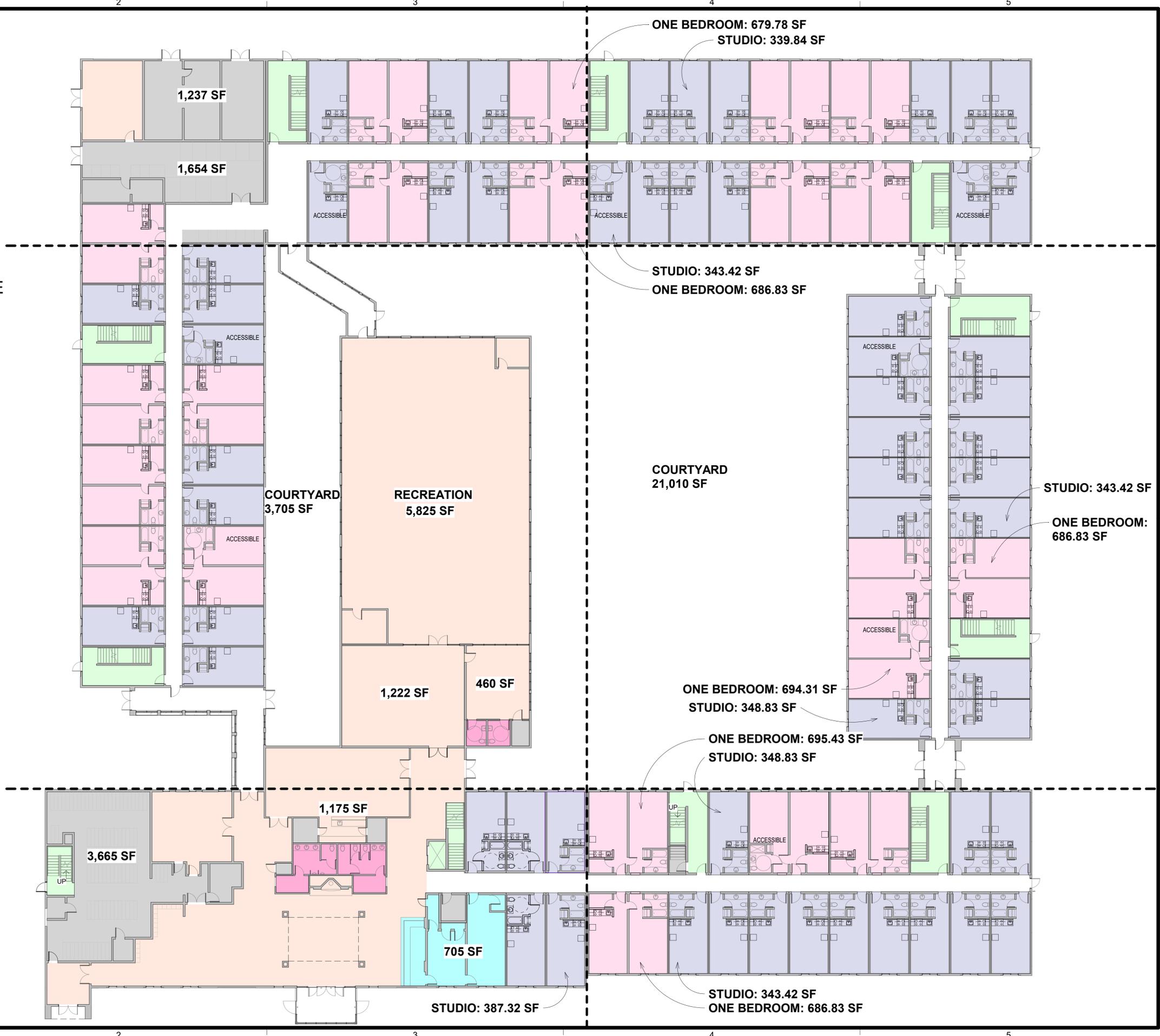
SHEET TITLE
 FIRST FLOOR UNIT MIX
 PLAN

PROJECT NUMBER
0210377

SHEET NUMBER
AP-101

- 58 - STUDIO
- 21 - ONE BEDROOM
-
- 79 - TOTAL UNITS
- STAIRWELL / ELEVATOR
- AMENITY / PUBLIC SPACE
- OFFICE SPACE
- PUBLIC RESTROOMS
- MECHANICAL / STORAGE

- FIRST FLOOR
 58 - STUDIOS
 21 - ONE BEDROOMS
- SECOND FLOOR
 50 - STUDIOS
 24 - ONE BEDROOMS
 2- SUITES
- 155 - TOTAL UNITS



A1 FIRST FLOOR UNIT MIX
 SCALE: 1/16" = 1'-0"

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- 52 - STUDIO
- 24 - ONE BEDROOM
-
- 76 - TOTAL UNITS
- STAIRWELL / ELEVATOR
- AMENITY / PUBLIC SPACE
- OFFICE SPACE
- PUBLIC RESTROOMS
- MECHANICAL / STORAGE

FIRST FLOOR
 58 - STUDIOS
 21 - ONE BEDROOMS

SECOND FLOOR
 50 - STUDIOS
 24 - ONE BEDROOMS
 2- SUITES

155 - TOTAL UNITS



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SUBMISSION DATES
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SHEET TITLE
 SECOND FLOOR UNIT MIX
 PLAN

PROJECT NUMBER
0210377

SHEET NUMBER
AP-102

FILEPATH: C:\Users\Collin\Documents\10377 Plato's - Madison, WI - Madison Plaza Hotel Central_cek2FG35.rvt
 DATE: 4/21/2022 2:54:49 PM
 DRAWN BY: Author

A1 SECOND FLOOR UNIT MIX
 SCALE: 1/16" = 1'-0"



A1 PERSPECTIVE - SOUTHWEST
SCALE: NOT TO SCALE



A2 PERSPECTIVE - SOUTHEAST
SCALE: NOT TO SCALE



schwerdt design group
architecture | interiors | planning
2231 sw wanamaker rd suite 303
topoka, kansas 66614-4275
phone: 785.273.7540
500 north broadway suite 200
oklahoma city, ok 73102
phone: 405.231.3105

PROGRESS PRINT

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CONSTRUCTION

DATE: 04/21/2022

**RENOVATION
PLATO'S OF MADISON, WI**
3841 E WASHINGTON AVE, MADISON, WI 53704

SUBMISSION DATES
PROGRESS PRINT ONLY

SHEET TITLE
3D EXTERIOR
PERSPECTIVES

PROJECT NUMBER
0210377

SHEET NUMBER
AP-121

FILE PATH: C:\Users\Collin\Documents\210377 Plato's - Madison, WI - Madison Plaza Hotel Central_cek2FG35.rvt
DATE: 4/22/2022 11:09:05 AM
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A1 PERSPECTIVE - WEST
SCALE: NOT TO SCALE



A2 PERSPECTIVE - EAST
SCALE: NOT TO SCALE



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 2231 sw wanamaker rd suite 303
 topeka, kansas 66614-4275
 phone: 765.273.7540
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 oklahoma city, ok 73102
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DATE: 04/21/2022

**RENOVATION
PLATO'S OF MADISON, WI**
 3841 E WASHINGTON AVE, MADISON, WI 53704

SUBMISSION DATES
PROGRESS PRINT ONLY

SHEET TITLE
3D EXTERIOR
PERSPECTIVES

PROJECT NUMBER
0210377

SHEET NUMBER
AP-122

FILE PATH: C:\Users\Collin\Documents\210377 Plato's - Madison, WI - Madison Plaza Hotel Central_cek2FG35.rvt
 DATE: 4/22/2022 11:11:38 AM
 DRAWN BY: Author



A1 RENDERING - FROM ACCESS DRIVE
SCALE: NOT TO SCALE



A2 RENDERING - FRONT ENTRY
SCALE: NOT TO SCALE



A3 RENDERING - WEST SIDE
SCALE: NOT TO SCALE



A4 RENDERING - EAST SIDE
SCALE: NOT TO SCALE



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CONSTRUCTION

DATE: 04/21/2022

**RENOVATION
PLATO'S OF MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53704**

SUBMISSION DATES
PROGRESS PRINT ONLY

SHEET TITLE
EXTERIOR RENDERINGS

PROJECT NUMBER
0210377

SHEET NUMBER
AP-131

FILE PATH: C:\Users\Collin\Documents\210377 Plato's - Madison, WI - Madison Plaza Hotel Central_cek2RG35.rvt
DATE: 4/22/2022 11:11:38 AM
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Plato's

MADISON, WI – PLAZA HOTEL

EXTERIOR IMPROVEMENTS

APRIL 26, 2022



Plato's

EXTERIOR WEST CORNER



Plato's

NEW EXTERIOR FINISHES

FASCIA PAINT



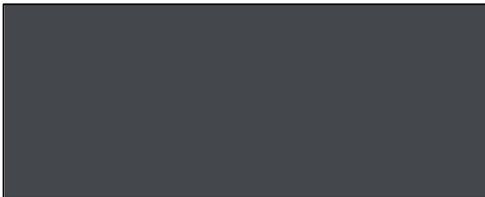
SHERWIN WILLIAMS
SW7015
REPOSE GRAY

WALL PAINT



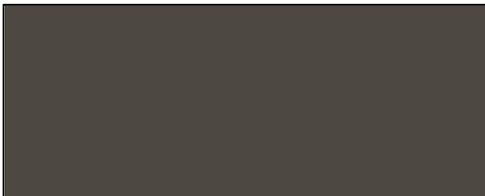
SHERWIN WILLIAMS
SW7029
AGREEABLE GRAY

WALL PAINT



SHERWIN WILLIAMS
SW7076
CYBERSPACE

RAIL/TRIM/STRUCTURE PAINT



SHERWIN WILLIAMS
SW7020
BLACK FOX

EXTERIOR FRONT ENTRY



From: [Morgan Van Riper-Rose](#)
To: [H.J.; Halverson, Gary; Lemmer, Lindsay](#)
Cc: cpotterpin@pkhousing.com; [Colin Hooper](#); [Dan O'Callaghan](#); [Craig Driver](#)
Subject: Plato's Madison
Date: Friday, April 22, 2022 5:14:00 PM
Attachments: [image001.png](#)
[image002.png](#)

Gary, Lindsay and Hilton,

I hope you're all doing well! We have officially closed on the property and are excited to share some updates with you all. We are submitting preliminary plans with the Urban Design Committee for an informational meeting and we hope to submit the full land use application sometime in May.

I'm sharing some early renderings with you in addition to the floorplans and unit mix. We'd like to set up a time to review, answer any questions, and get feedback from you all. [Plato's Madison.pdf](#)

We are really looking forward to being a part of your community. While the nature of converting an existing building creates some limitations in terms of what we can and cannot construct – the existing structure and site do allow us to offer a fully renovated product, a variety of amenities, and ample green space to future residents at an accessible rental rate. As we move through this process, we want to make sure our goals of creating a safe, affordable, and stable community are clear.

Looking forward to discussing further.

Thank you!
Morgan

Morgan Van Riper-Rose
Investor Relations

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