

# URBAN DESIGN COMMISSION APPLICATION

# UDC

City of Madison  
Planning Division  
Madison Municipal Building, Suite 017  
215 Martin Luther King, Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## FOR OFFICE USE ONLY:

Paid \_\_\_\_\_ Receipt # \_\_\_\_\_

Date received \_\_\_\_\_

Received by \_\_\_\_\_

Aldermanic District \_\_\_\_\_

Zoning District \_\_\_\_\_

Urban Design District \_\_\_\_\_

Submission reviewed by \_\_\_\_\_

Legistar # \_\_\_\_\_

Complete all sections of this application, including the desired meeting date and the action requested.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.*

## 1. Project Information

Address: \_\_\_\_\_

Title: \_\_\_\_\_

## 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested \_\_\_\_\_

New development

Alteration to an existing or previously-approved development

Informational

Initial approval

Final approval

## 3. Project Type

Project in an Urban Design District

Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)

Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)

Planned Development (PD)

General Development Plan (GDP)

Specific Implementation Plan (SIP)

Planned Multi-Use Site or Residential Building Complex

### Signage

Comprehensive Design Review (CDR)

Signage Variance (i.e. modification of signage height, area, and setback)

Signage Exception

### Other

Please specify

## 4. Applicant, Agent, and Property Owner Information

**Applicant name** \_\_\_\_\_

Company \_\_\_\_\_

Street address \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Telephone \_\_\_\_\_

Email \_\_\_\_\_

**Project contact person** \_\_\_\_\_

Company \_\_\_\_\_

Street address \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Telephone \_\_\_\_\_

Email \_\_\_\_\_

**Property owner (if not applicant)** \_\_\_\_\_

Street address \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Telephone \_\_\_\_\_

Email \_\_\_\_\_

5. Required Submittal Materials

Application Form

Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
- For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.

Development Plans (Refer to checklist on Page 4 for plan details)

Filing fee

Electronic Submittal\*

Notification to the District Alder

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

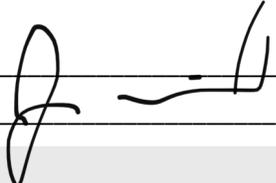
Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

*\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to [udcapplications@cityofmadison.com](mailto:udcapplications@cityofmadison.com). The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with \_\_\_\_\_ on \_\_\_\_\_.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant \_\_\_\_\_ Relationship to property \_\_\_\_\_  
 Authorizing signature of property owner  Date \_\_\_\_\_

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

Urban Design Districts: \$350 (per §35.24(6) MGO).

Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)

Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)

Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)

All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

## Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

## Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

## Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

# URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

## 1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

### Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*\*\* All plans must be legible, including the full-sized landscape and lighting plans (if required)*

## 2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

## 3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

## 4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

February 7, 2022  
**Updated May 10, 2022**

Ms. Heather Stouder  
Director, Planning Division  
City of Madison Department of Planning & Community & Economic Development  
215 Martin Luther King Jr. Blvd., Ste 017  
Madison, Wisconsin 53703



Re: Letter of Intent – UDC Informational  
430, 432, & 444 State Street  
KBA Project #1939

Ms. Heather Stouder,

The following is submitted together with the plans and applications for staff, Plan Commission, and Urban Design Commission consideration of approval.

**Organizational Structure:**

Owner:	Joe McCormick Properties 101 N. Mills Street Madison, WI 53715 (608) 819 -6500 Contact: Joe McCormick Joe@jdmccormick.com	Architect:	Knothe & Bruce Architects, LLC 7601 University Avenue, Ste 201 Middleton, WI 53562 (608) 836-3690 Contact: Kevin Burow kburow@knothebruce.com
Engineer:	Vierbicher Associates, Inc. 999 Fourier Dr. Madison, WI 53717 (608) 826-0532 Contact: Timothy Schleeper tsch@vierbicher.com	Landscape Design:	Vierbicher Associates, Inc. 999 Fourier Dr. Madison, WI 53717 (608) 826-0532 Contact: Suzanne Vincent svin@vierbicher.com

**Introduction**

The proposed new development is located at 430, 432, and 444 State Street, which is in the Capitol Neighborhood Association. This site is in the Downtown Core (DC) district and will be a mixed-use building. There are commercial buildings located on these sites and the sites will be combined into one lot via a new Certified Survey Map (CSM) as part of this project. It is also immediately adjacent to Peace Park.

**Project Description:**

The proposed project is a 5-story building, mixed-use development consisting of 23-26 dwelling units and approximately 6,000 S.F. of commercial space. The units consist of studios and one-bedroom apartments.

The proposed building has been designed to be in context with the surrounding neighborhood structures which consists of similar mix-use buildings with commercial space, such as restaurants and

retail stores, on the first few floors. The desire is to have a restaurant located on the first floor with upper seating on the second floor, overlooking State Street. There will also be commercial space located in the lower level. The massing of the building also steps back at the 5<sup>th</sup> floor level as required per the Downtown Height Map. The exterior of the building will be predominantly masonry and glazing with large amounts of glazing facing State Street and Peace Park at the first-floor level. The building has been designed to be complementary to the adjacent mixed-use buildings by having a light-colored façade and is consistent with the Downtown Urban Design Guidelines.

**City and Neighborhood Input:**

We have met with the City on several occasions for this proposed development including meetings with Staff and attending a DAT Meeting and this input has helped shape this proposed development. A neighborhood meeting was recently held, led by Tim Parks and Alder Patrick Heck; feedback from the neighborhood and the Alder has been taken into consideration.

**Demolition Standards:**

The existing buildings have had a variety of uses and have served many people over their time, but some of this space is now vacant, and we are proposing that the existing building be removed. The buildings are not Landmark structures and are not in an existing Historic District or part of a National Register. We believe the demolition standards can be met, and a Re-use and Recycling Plan will be submitted prior to the deconstruction of the existing commercial structure

**Conditional Use approvals:**

The proposed redevelopment requires a conditional use to allow for new construction of a building within the Downtown Core district that is greater than 20,000 S.F. and has more than four stories, and for a new development adjacent to a City park. The proposed building's size, scale, and use are consistent with the City's Comprehensive Plan for this property, which calls for Downtown Mixed Use. The building's height is also consistent with the Downtown Height Map with the step-back above the 4<sup>th</sup> floor and can transition up to 6 stories when set back 30'.

**Site Development Data:**

Densities:

Lot Area	6,928 S.F. / .16 acres
Dwelling Units	23-26 D.U.
Lot Area / D.U.	301-266 S.F./D.U.
Density	144-163 units/acre
Lot Coverage	6,311 S.F. / 91 %
Usable Open Space	1,636 S.F.

Building Height: 5 Stories

Commercial Area: 5,719-6,445 S.F.

Dwelling Unit Mix:

Studio	22
One Bedroom	3
Two Bedroom	1
Total	23-26 D.U.

Vehicle Parking:

Underground	0
Surface parking lot	0
Total	0 vehicle stalls

Bicycle Parking:

Secure, enclosed	26
Guest/Commercial Surface	8
Total	34 bike stalls

**Project Schedule:**

It is anticipated that the construction on this site will start in the Fall 2022 with a final completion of Fall 2023.

Thank you for your time and consideration of our proposal.

Sincerely



Kevin Burow, AIA, NCARB, LEED AP  
Managing Member

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**From:** Arianna Wolske  
**Sent:** Thursday, January 6, 2022 10:07 AM  
**To:** president@capitolneighborhoods.org; room.bookstore@gmail.com; district2@cityofmadison.com  
**Cc:** Kevin Burow; Melissa Berg; planning@cityofmadison.com; Zoning  
**Subject:** RE: #1939 - 430, 432, & 444 State Street 30 Day Notice  
**Categories:** Cc:d email-for your review

Alder Heck, Capital Neighborhood Association, and Greater State Street Business Association,

I would like to take this opportunity to formally notify you of our intent to submit a UDC & Land Use Application on February 7, 2022, for a mixed-use development of the property located at 430, 432, 444 State Street. The proposed development will include construction of a new five-story building with 22-26 dwelling units and first floor commercial space. We will also be requesting approval for the demolition of the existing building that is currently on the site.

We look forward to working with you in continuing to make this a successful development. Please do not hesitate to reach out to Kevin Burow with any questions. His email address is [kburow@knothebruce.com](mailto:kburow@knothebruce.com)

Thank you,

Arianna Wolske | Architectural Technician | Knothe & Bruce Architects, LLC | Ph: 608.836.3690 Ext. 127  
7601 University Avenue; Suite 201, Middleton, WI 53562 | [awolske@knothebruce.com](mailto:awolske@knothebruce.com) | [www.knothebruce.com](http://www.knothebruce.com)



# City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506  
 Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

**Project Address:** 430, 432, 444 State Street, Madison, WI

**Contact Name & Phone #:** Kevin Burow (608) 575-3126

## FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? <b>If non-sprinklered</b> , fire lanes extend to within 150-feet of all portions of the exterior wall? <b>If sprinklered</b> , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? <i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.



Existing Building to be Removed

Name: McCormick 434-444 State Street

Number: #1939

Address: 430-444 State Street





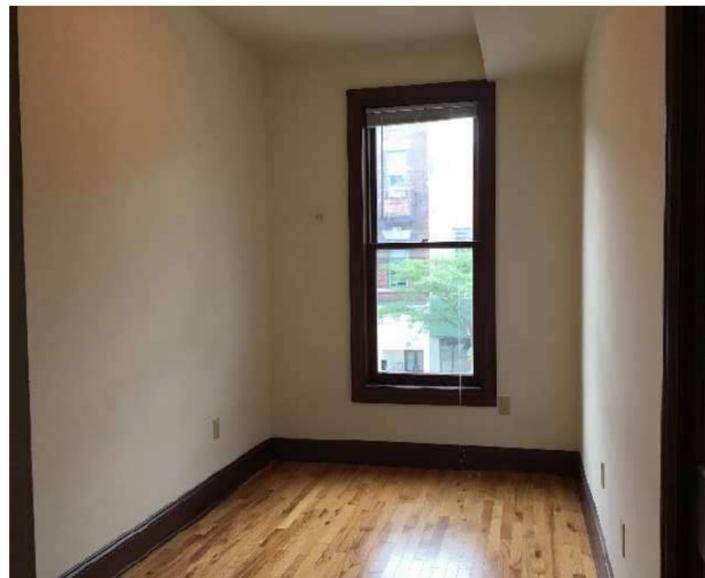
Existing Building to be Removed

Name: McCormick 434-444 State Street

Number: #1939

Address: 430-444 State Street

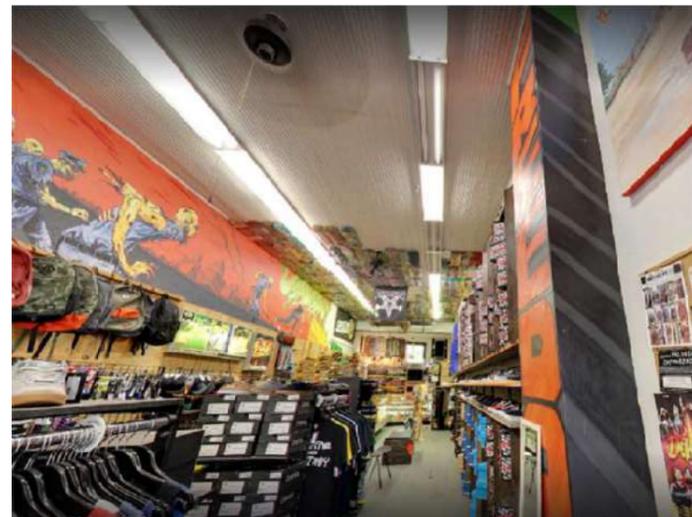
428-430 State Street Interior Photos





Existing Building to be Removed  
Name: McCormick 434-444 State Street  
Number: #1939  
Address: 430-444 State Street

432-436 State Street Interior Photos





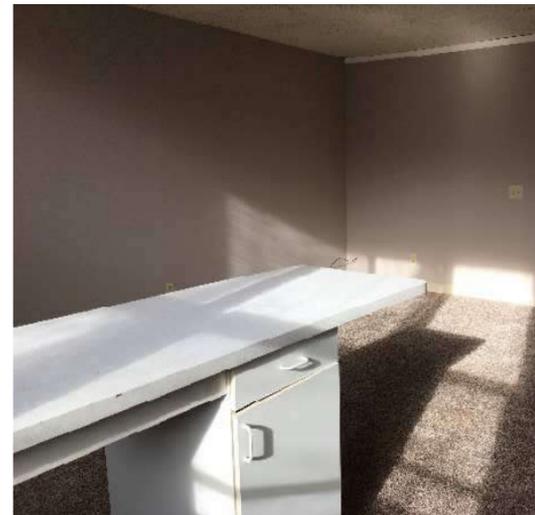
Existing Building to be Removed

Name: McCormick 434-444 State Street

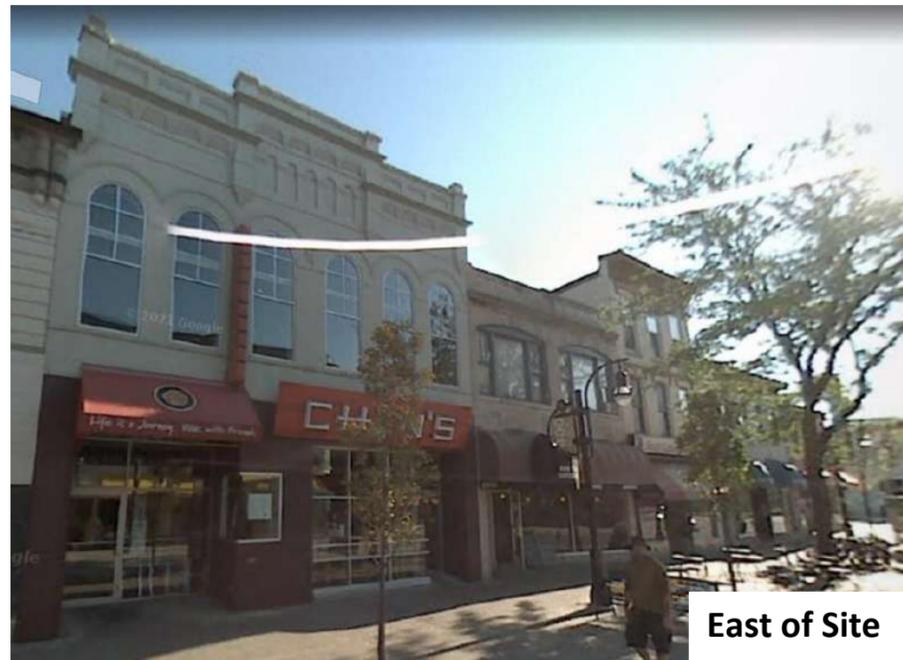
Number: #1939

Address: 430-444 State Street

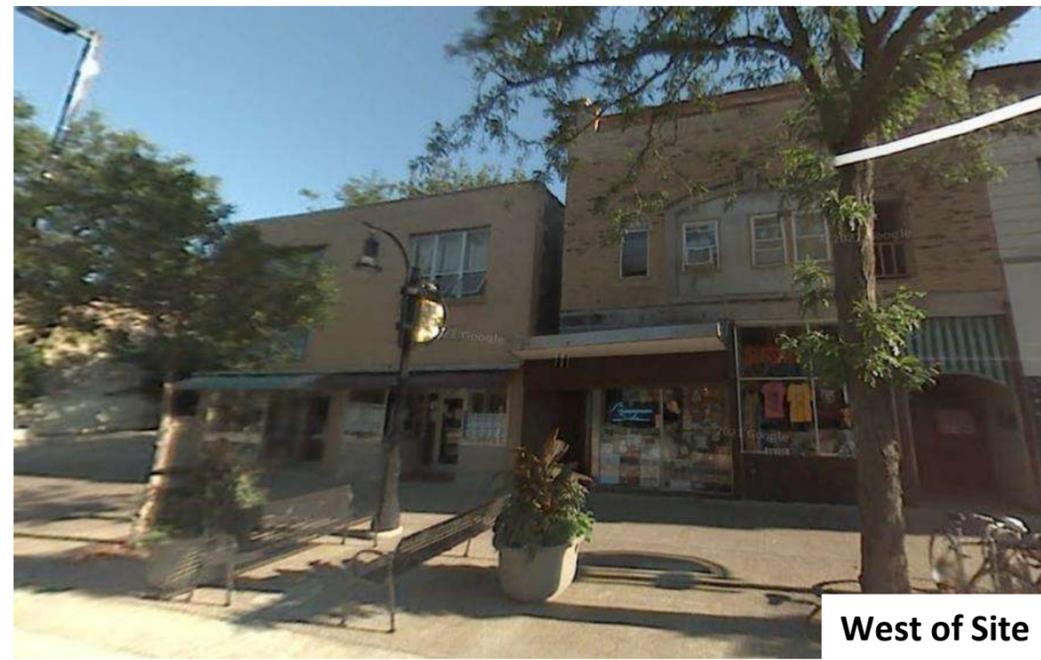
440-444 State Street Interior Photos



430, 432, 444  
STATE STREET  
MADISON, WI  
CONTEXTUAL



East of Site



West of Site



South of Site



Northeast of Site



Southeast of Site



North of Site



West of Site



West of Site

430, 432, 444  
STATE STREET  
MADISON, WI  
CONTEXTUAL

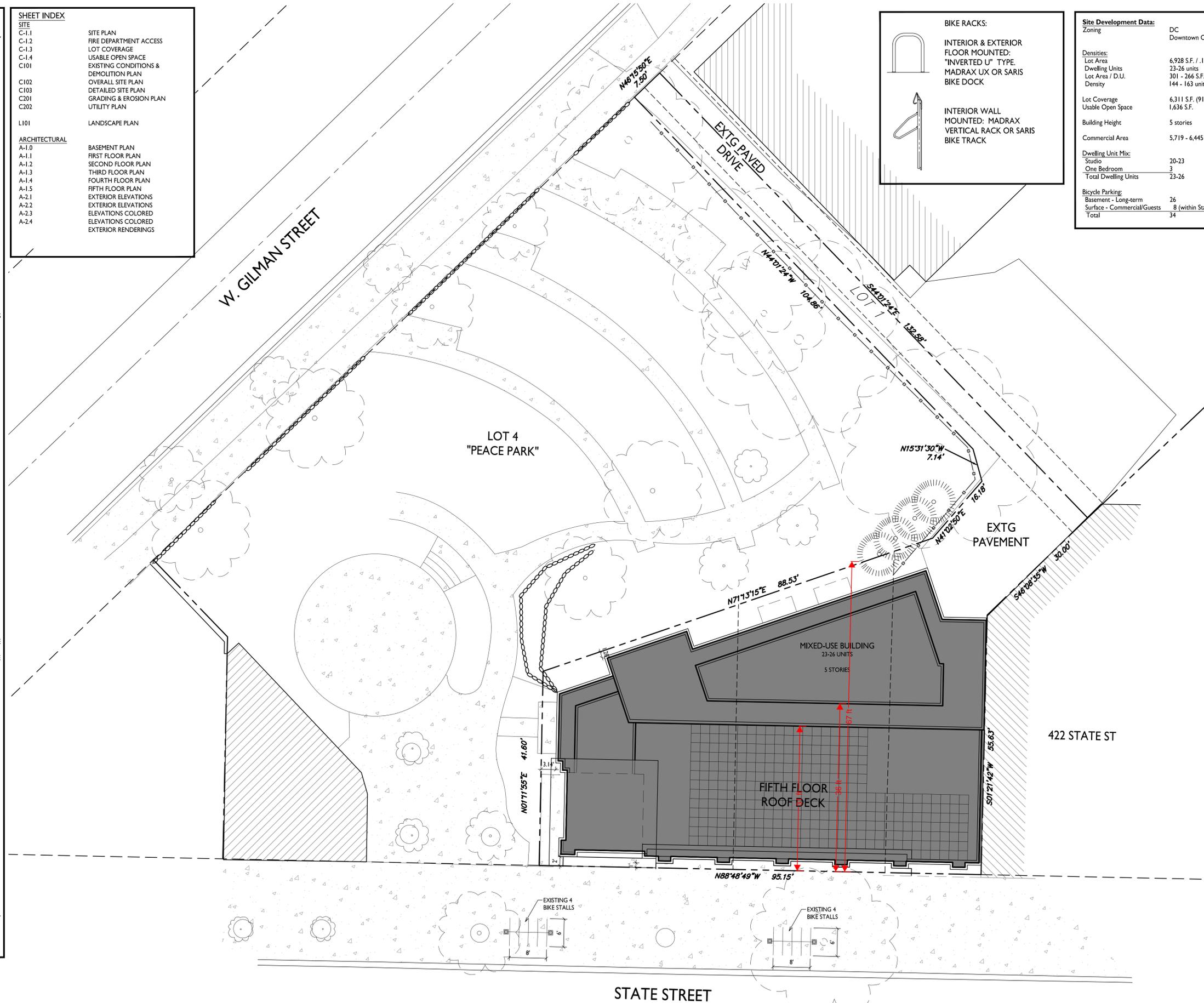


**GENERAL NOTES:**

1. THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
2. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
3. ALL DAMAGE TO THE PAVEMENT ON CITY STREETS AND ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
4. ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
5. AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](http://CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM)
6. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
7. SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
8. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
9. STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
10. AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.
11. APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER (266-4816).
12. THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NO ITEMS SHOWN ON THIS SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANT'S EXPENSE UPON NOTIFICATION BY THE CITY.

**SHEET INDEX:**

SITE	
C-1.1	SITE PLAN
C-1.2	FIRE DEPARTMENT ACCESS
C-1.3	LOT COVERAGE
C-1.4	USABLE OPEN SPACE
C101	EXISTING CONDITIONS & DEMOLITION PLAN
C102	OVERALL SITE PLAN
C103	DETAILED SITE PLAN
C201	GRADING & EROSION PLAN
C202	UTILITY PLAN
LANDSCAPE PLAN	
L101	LANDSCAPE PLAN
ARCHITECTURAL	
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-1.4	FOURTH FLOOR PLAN
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A-2.1	EXTERIOR ELEVATIONS
A-2.2	EXTERIOR ELEVATIONS
A-2.3	ELEVATIONS COLORED
A-2.4	ELEVATIONS COLORED EXTERIOR RENDERINGS



**BIKE RACKS:**

INTERIOR & EXTERIOR FLOOR MOUNTED: "INVERTED U" TYPE. MADRAX UX OR SARIS BIKE DOCK

INTERIOR WALL MOUNTED: MADRAX VERTICAL RACK OR SARIS BIKE TRACK

**Site Development Data:**

Zoning	DC Downtown Core District
Densities:	
Lot Area	6,928 S.F. / .16 ACRES
Dwelling Units	23-26 units
Lot Area / D.U.	301 - 266 S.F./D.U.
Density	144 - 163 units / Acre
Lot Coverage	6,311 S.F. (91%)
Usable Open Space	1,636 S.F.
Building Height	5 stories
Commercial Area	5,719 - 6,445 S.F.
Dwelling Unit Mix:	
Studio	20-23
One Bedroom	3
Total Dwelling Units	23-26
Bicycle Parking:	
Basement - Long-term	26
Surface - Commercial/Guests	8 (within State St. R.O.W.)
Total	34



ISSUED  
Issued for UDC Informational - Jan. 24, 2022  
Land Use & UDC Submittal - February 07, 2022  
Updated Land Use & UDC Submittal - May 10, 2022

PROJECT TITLE  
**430, 432, 444**  
State Street

Madison, Wisconsin  
SHEET TITLE  
**Site Plan**

SHEET NUMBER

**C-1.1**  
PROJECT NO. **1939**  
© Knothe & Bruce Architects, LLC

**1 SITE PLAN**  
C-1.1 1" = 10'-0"

GRAPHIC SCALE  
0 10 20 30  
1 INCH = 10 FT. (24X36 SHEET)



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ARCHITECTS

Phone: 7601 University Ave., Ste 201  
608.836.3690 Middleton, WI 53562

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Land Use & UDC Submittal - February 07, 2022  
Updated Land Use & UDC Submittal - May 10, 2022

PROJECT TITLE  
**430, 432, 444**  
State Street

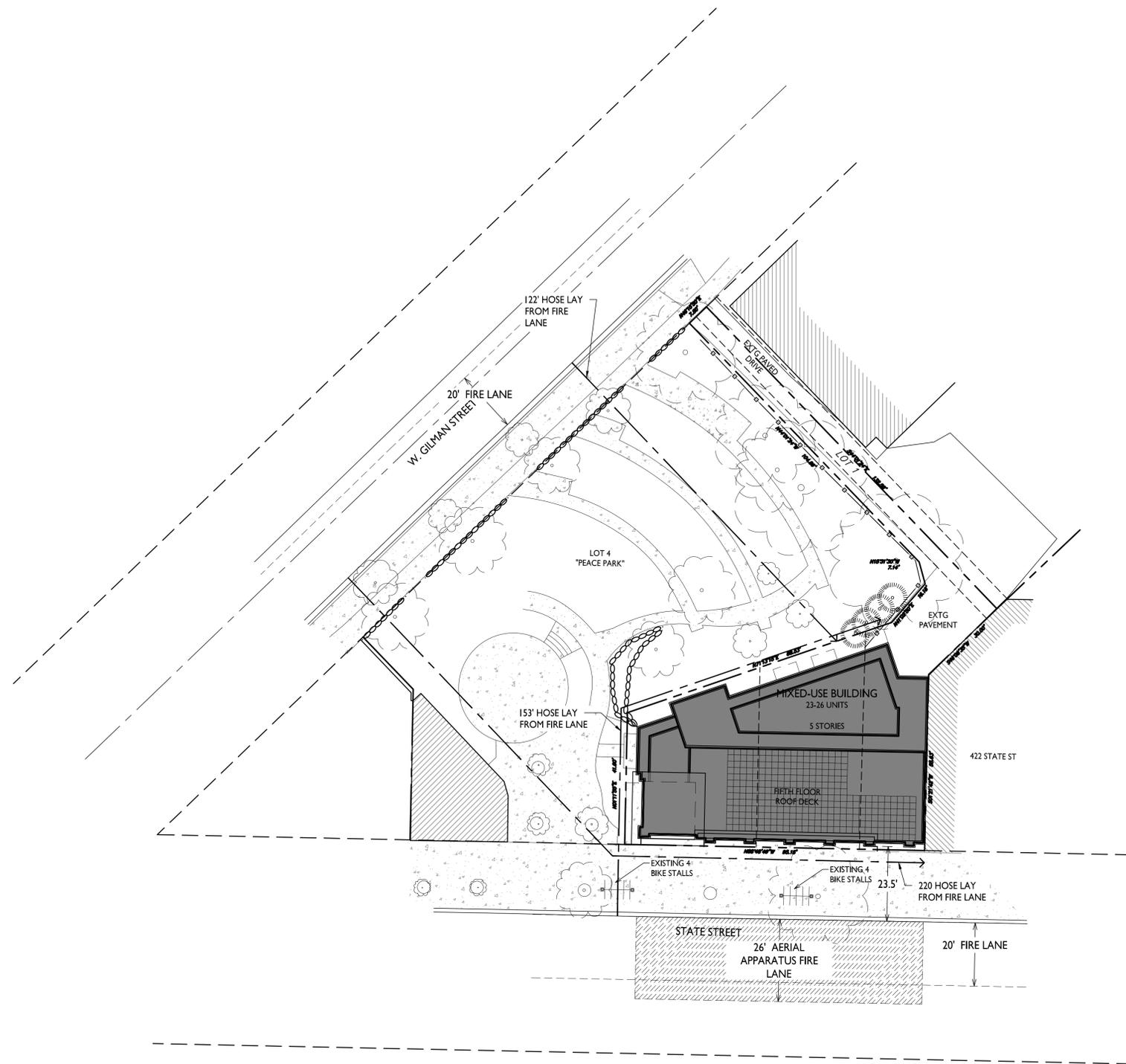
Madison, Wisconsin  
SHEET TITLE  
**Fire Department**  
Access Plan

SHEET NUMBER

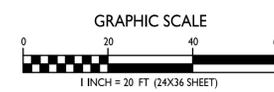
**C-1.2**

PROJECT NO. **1939**

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**FIRE DEPARTMENT ACCESS PLAN**  
1" = 20'-0"



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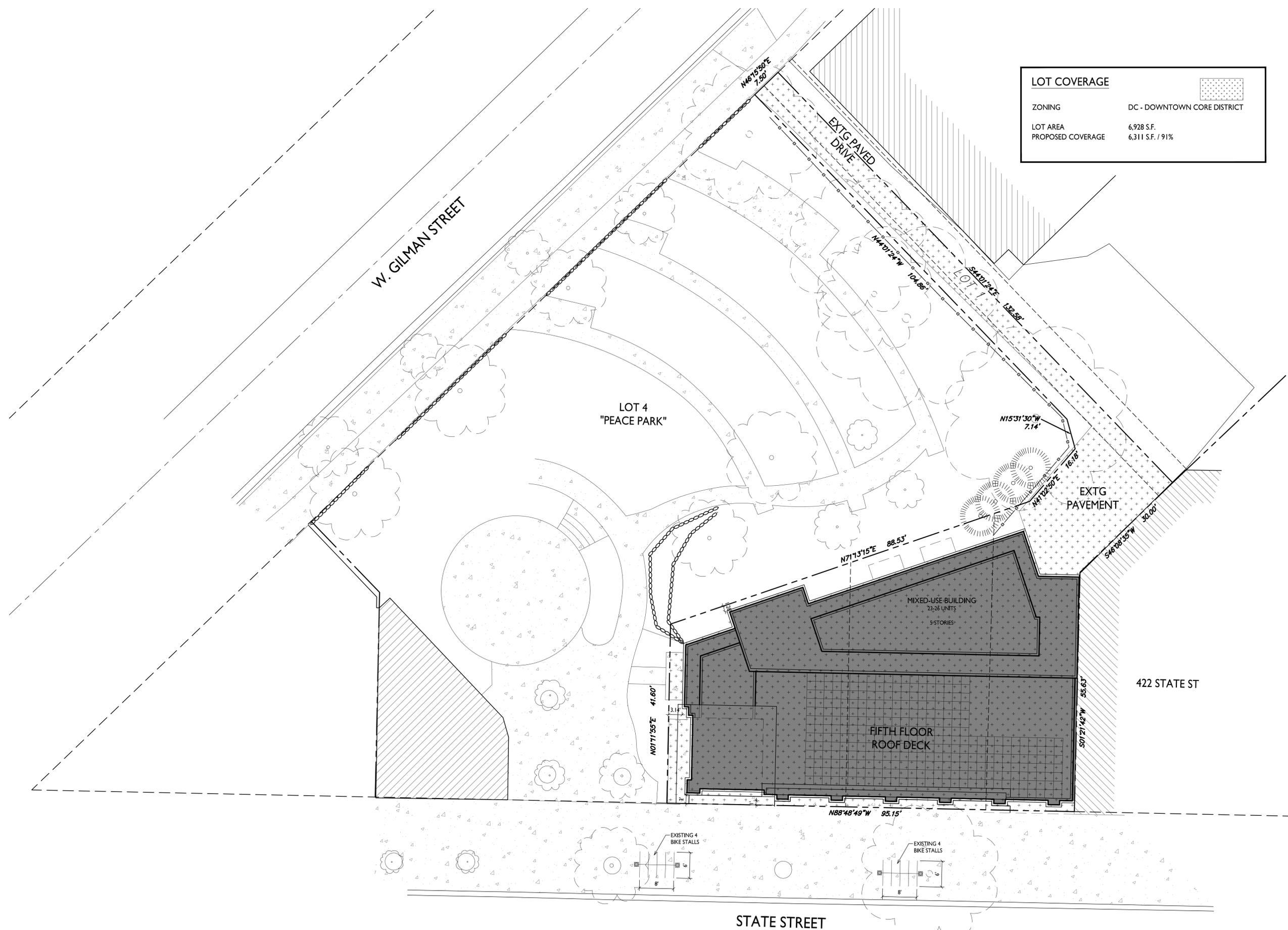
PROJECT TITLE  
**430, 432, 444**  
 State Street

Madison, Wisconsin  
 SHEET TITLE  
**Lot Coverage**

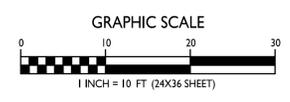
SHEET NUMBER

**C-1.3**  
 PROJECT NO. **1939**  
 © Knothe & Bruce Architects, LLC

<b>LOT COVERAGE</b>		
ZONING	DC - DOWNTOWN CORE DISTRICT	
LOT AREA	6,928 S.F.	
PROPOSED COVERAGE	6,311 S.F. / 91%	



**1** SITE PLAN  
 C-1.3 1" = 10'-0"





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Updated Land Use & UDC Submittal - May 10, 2022

PROJECT TITLE  
**430, 432, 444**  
State Street

Madison, Wisconsin  
SHEET TITLE  
**Usable Open Space**

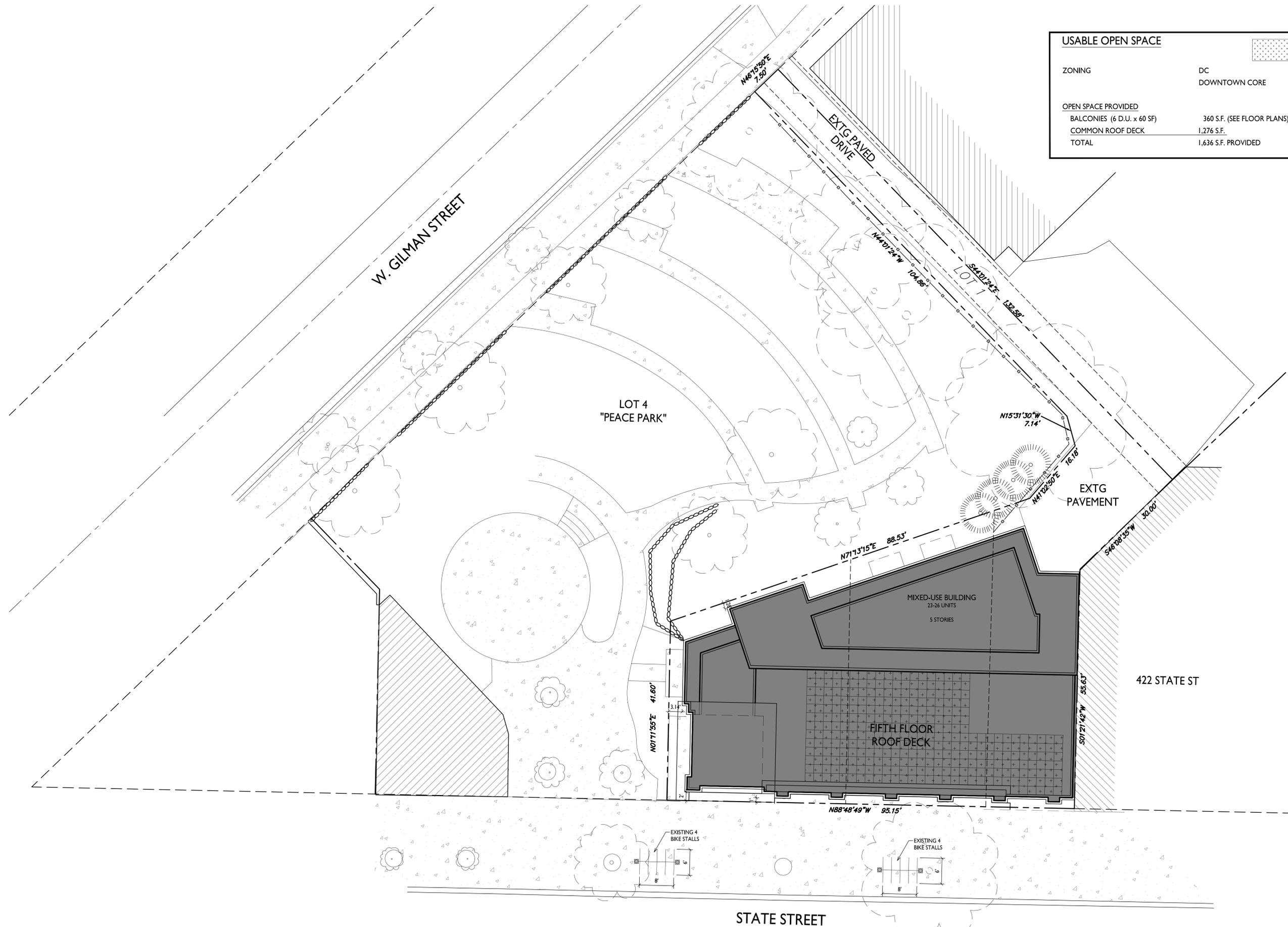
SHEET NUMBER

**C-1.4**

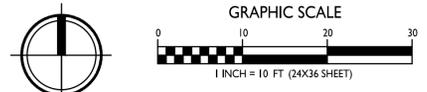
PROJECT NO. **1939**

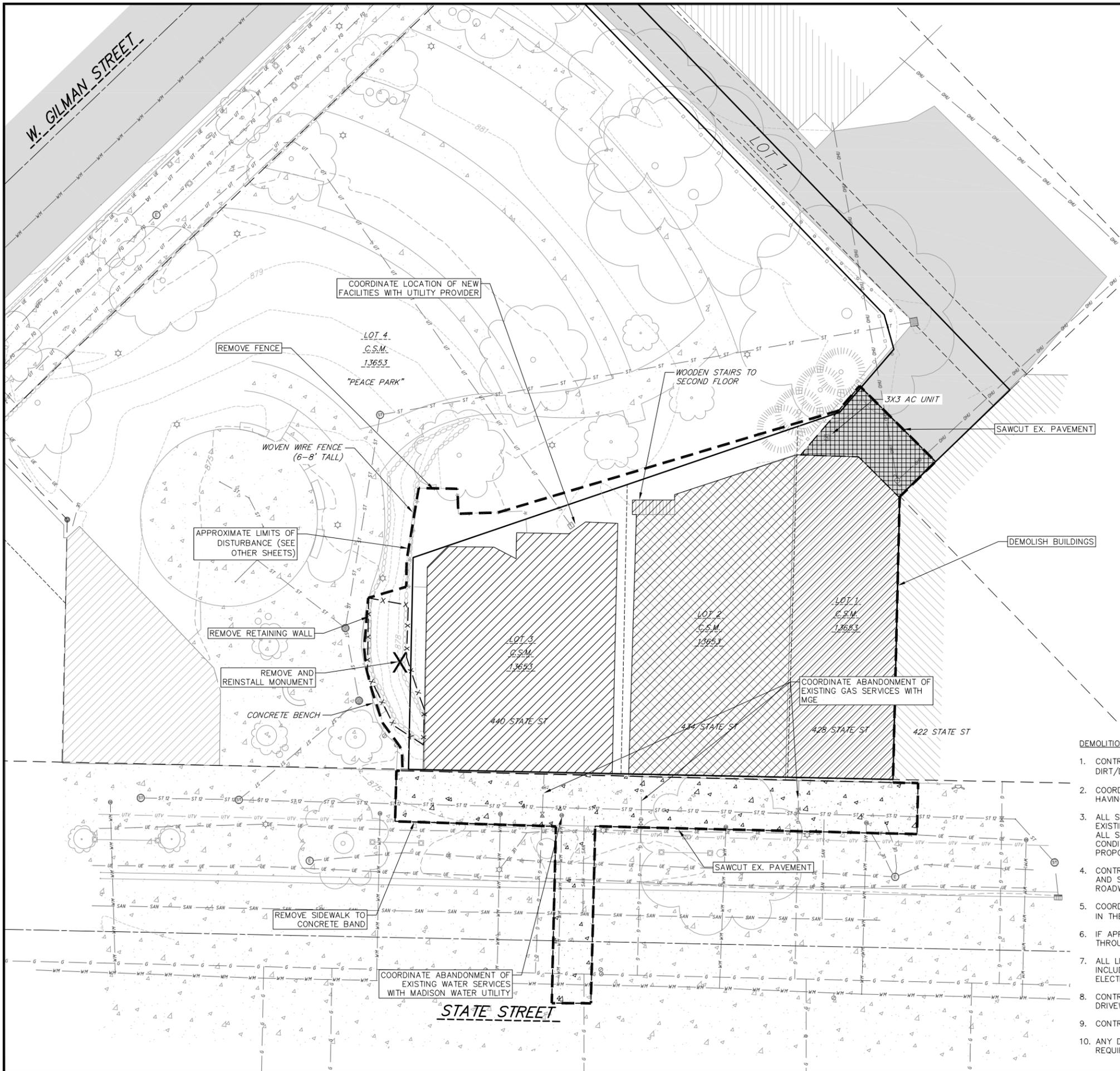
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USABLE OPEN SPACE	
ZONING	DC DOWNTOWN CORE
OPEN SPACE PROVIDED	
BALCONIES (6 D.U. x 60 SF)	360 S.F. (SEE FLOOR PLANS)
COMMON ROOF DECK	1,276 S.F.
TOTAL	1,636 S.F. PROVIDED



**USABLE OPEN SPACE**  
C-1.4 1" = 10'-0"





**TOPOGRAPHIC SYMBOL LEGEND**

- ⊠ EXISTING POST
- ⊙ EXISTING PARKING METER
- ▣ EXISTING FIELD INLET RECTANGULAR
- ⊙ EXISTING FIELD INLET
- ⊙ EXISTING STORM MANHOLE
- ⊙ EXISTING FIRE DEPARTMENT CONNECTION
- ⊙ EXISTING WATER MAIN VALVE
- ⊙ EXISTING GAS VALVE
- ⊙ EXISTING ELECTRIC MANHOLE
- ⊙ EXISTING LIGHT POLE
- ⊙ EXISTING TELEPHONE PEDESTAL
- ⊙ EXISTING CONIFEROUS TREE
- ⊙ EXISTING DECIDUOUS TREE
- ⊙ EXISTING UTILITY POLE
- ⊙ EXISTING CURB STOP

**SURVEY LEGEND**

- ⊙ FOUND 1" Ø IRON PIPE
- ▲ FOUND P.K. NAIL
- FOUND 3/4" Ø IRON ROD

**TOPOGRAPHIC LINEWORK LEGEND**

- UTV — UTV — EXISTING UNDERGROUND CABLE TV
- OHU — OHU — EXISTING OVERHEAD GENERAL UTILITIES
- FO — FO — EXISTING FIBER OPTIC LINE
- UT — UT — EXISTING UNDERGROUND TELEPHONE
- ⊖ — ⊖ — EXISTING RETAINING WALL
- \* — \* — EXISTING GENERAL FENCE
- □ — □ — EXISTING WOOD FENCE
- G — G — EXISTING GAS LINE
- UE — UE — EXISTING UNDERGROUND ELECTRIC LINE
- SAN — SAN — EXISTING SANITARY SEWER LINE (SIZE NOTED)
- ST — ST — EXISTING STORM SEWER LINE (SIZE NOTED)
- WM — WM — EXISTING WATER MAIN (SIZE NOTED)
- 820 — — EXISTING MAJOR CONTOUR
- 818 — — EXISTING MINOR CONTOUR

**SITE PLAN LEGEND**

- — — — — PROPERTY BOUNDARY
- - - - - DISTURBED LIMITS

**DEMOLITION PLAN LEGEND**

- - - - - SAWCUT
- ▣ ASPHALT REMOVAL
- ▣ CONCRETE REMOVAL
- ▣ BUILDING REMOVAL

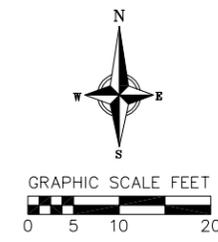
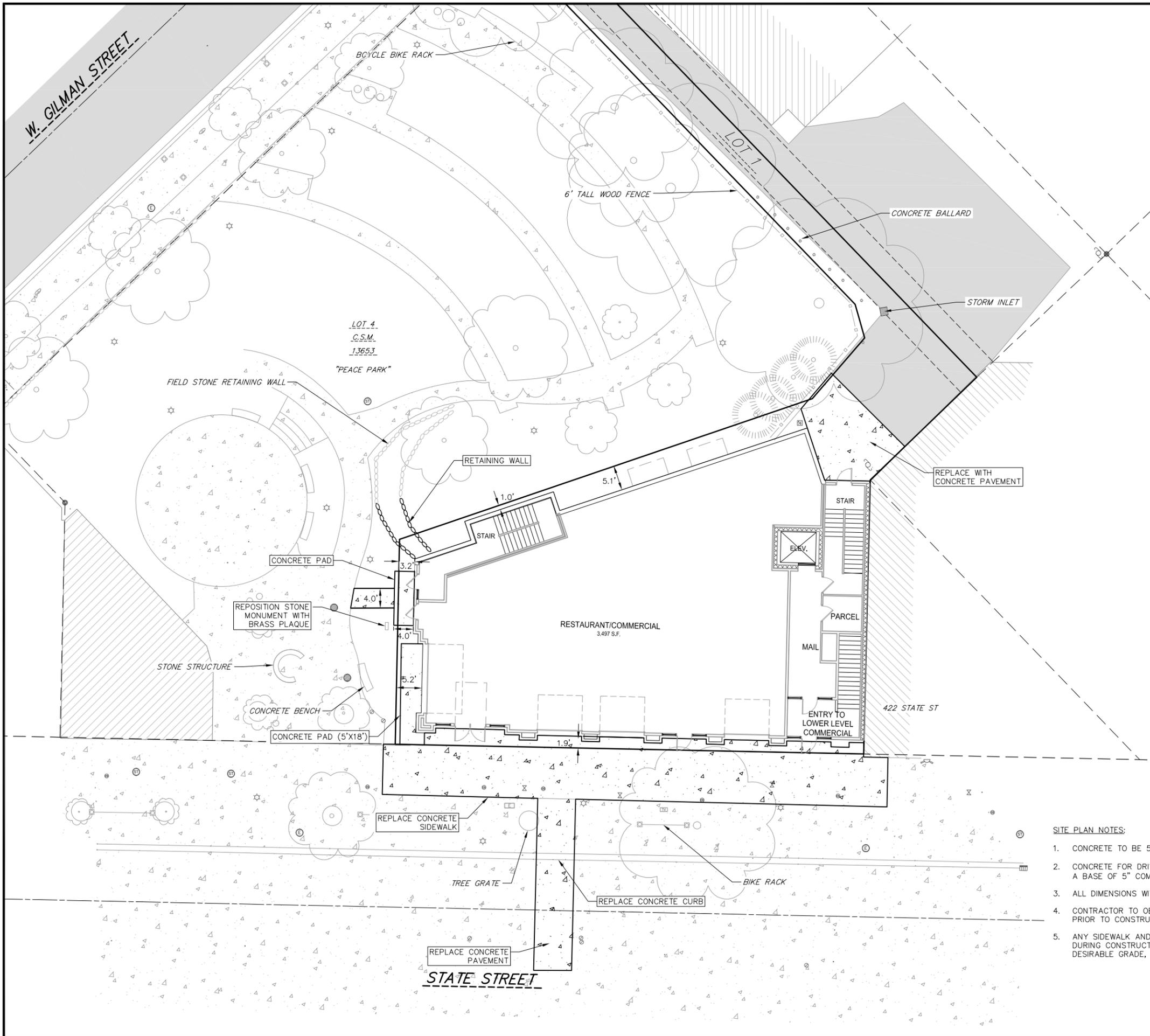
**DEMOLITION NOTES:**

1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
2. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
6. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
7. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
8. CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.
9. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
10. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
3/24	PARKS REVIEW		
5/9/22	PLAN UPDATE		

DATE: 02/07/2022  
DRAFTER: DPER  
CHECKED: TSCH  
PROJECT NO.: 210421





- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING POST
  - ⊠ EXISTING PARKING METER
  - ▣ EXISTING FIELD INLET RECTANGULAR
  - ⊙ EXISTING FIELD INLET
  - ⊕ EXISTING STORM MANHOLE
  - ⚡ EXISTING FIRE DEPARTMENT CONNECTION
  - ⊖ EXISTING WATER MAIN VALVE
  - ⊗ EXISTING GAS VALVE
  - ⊚ EXISTING ELECTRIC MANHOLE
  - ☆ EXISTING LIGHT POLE
  - ⊞ EXISTING TELEPHONE PEDESTAL
  - ⊕ EXISTING CONIFEROUS TREE
  - ⊙ EXISTING DECIDUOUS TREE
  - ⊖ EXISTING UTILITY POLE
  - ⊙ EXISTING CURB STOP

- SURVEY LEGEND**
- ⊕ FOUND 1" ⌀ IRON PIPE
  - ▲ FOUND P.K. NAIL
  - FOUND 3/4" ⌀ IRON ROD

- TOPOGRAPHIC LINEWORK LEGEND**
- ⋯ EXISTING RETAINING WALL
  - - - EXISTING WOOD FENCE

- SITE PLAN LEGEND**
- ▭ PROPERTY BOUNDARY
  - ▣ PROPOSED CONCRETE
  - ⋯ PROPOSED RETAINING WALL

**SITE PLAN NOTES:**

1. CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
3. ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
4. CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
5. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

**DETAILED SITE PLAN**  
430, 432, 444 State Street  
CITY OF MADISON  
DANE COUNTY, WI

NO.	DATE	REVISIONS	REMARKS
4	5/9/22	PLAN UPDATE	

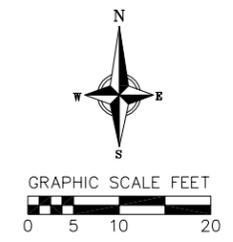
DATE	02/07/2022
DRAFTER	DPER
CHECKED	TSCH
PROJECT NO.	210421

W. GILMAN STREET

LOT 1

LOT 4  
C.S.M.  
13653

"PEACE PARK"



TOPOGRAPHIC SYMBOL LEGEND

- ⊠ EXISTING POST
- ⊕ EXISTING PARKING METER
- ▣ EXISTING FIELD INLET RECTANGULAR
- ⊕ EXISTING FIELD INLET
- ⊕ EXISTING STORM MANHOLE
- ⊕ EXISTING FIRE DEPARTMENT CONNECTION
- ⊕ EXISTING WATER MAIN VALVE
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- ⊕ EXISTING DECIDUOUS TREE
- ⊕ EXISTING UTILITY POLE
- ⊕ EXISTING CURB STOP

SURVEY LEGEND

- ⊕ FOUND 1" Ø IRON PIPE
- ▲ FOUND P.K. NAIL
- FOUND 3/4" Ø IRON ROD

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING WOOD FENCE
- ST— EXISTING STORM SEWER LINE (SIZE NOTED)
- 820- EXISTING MAJOR CONTOUR
- 818- EXISTING MINOR CONTOUR
- ⊕ EXISTING RETAINING WALL

SITE PLAN LEGEND

- ▭ PROPERTY BOUNDARY
- ▭ PROPOSED CONCRETE
- ⊕ PROPOSED RETAINING WALL

GRADING LEGEND

- ⊕ 1048.61 EXISTING SPOT ELEVATIONS
- 1048.61 PROPOSED SPOT ELEVATIONS
- 2.92% PROPOSED SLOPE ARROWS

GRADING NOTES:

1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
2. ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
3. CROSS SLOPE OF SIDEWALKS SHALL BE 2.0% UNLESS OTHERWISE NOTED.
4. LONGITUDINAL GRADE OF SIDEWALK RAMP SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
5. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
6. ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMP SHALL BE 8.33% MAX SLOPE.
7. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
8. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
9. CONTRACTOR TO WATERPROOF BUILDING ALONG BACK AND SIDE ELEVATIONS TO ALLOW PROPOSED ELEVATIONS SHOWN, COORDINATE WITH ARCHITECTURAL DRAWINGS

GRADING AND EROSION CONTROL PLAN

430, 432, 444 State Street  
CITY OF MADISON  
DANE COUNTY, WI

NO.	DATE	REVISIONS	REMARKS
1	3/24	PARKS REVIEW	
2	5/9/22	PLAN UPDATE	

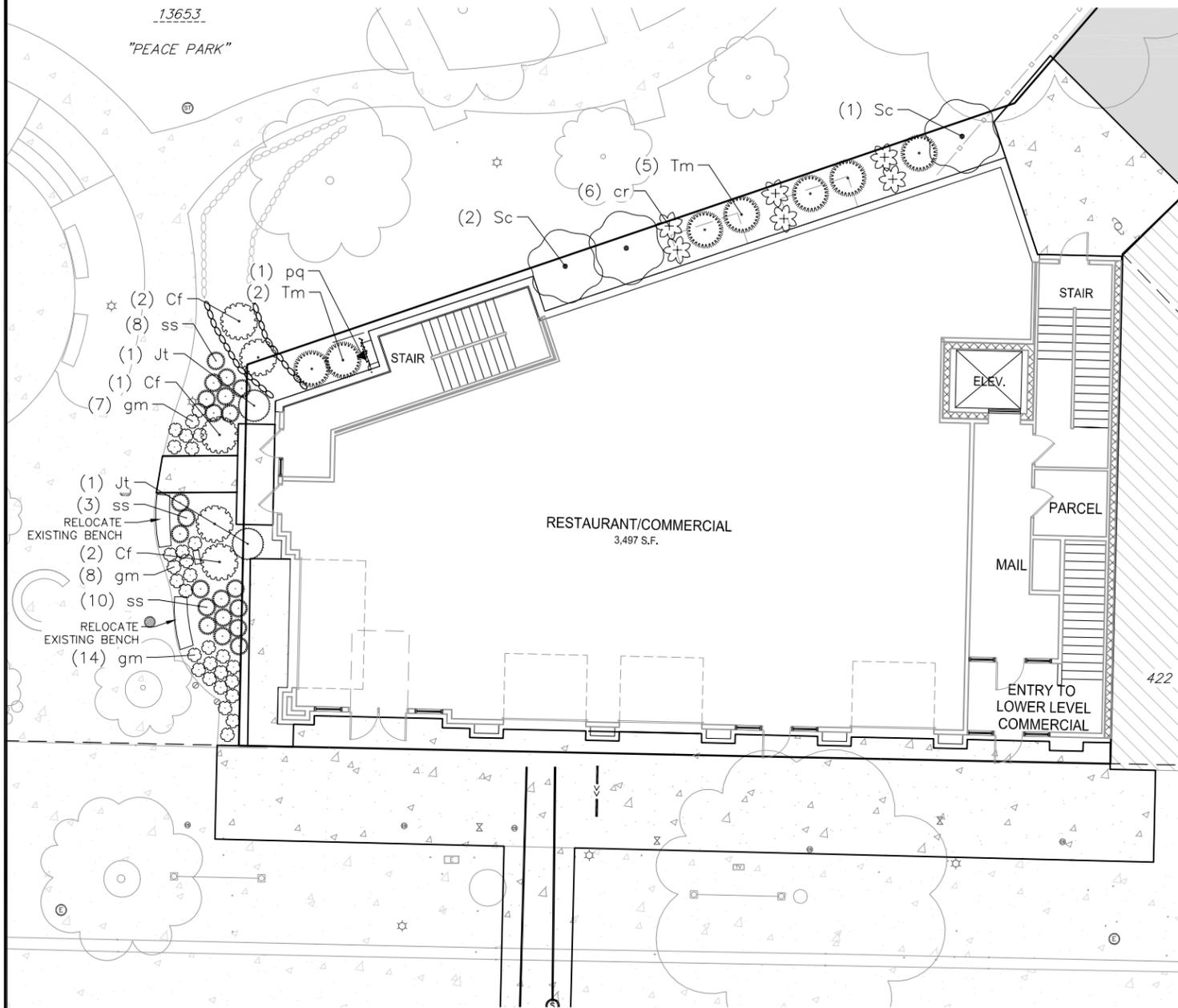
  

DATE	02/07/2022
DRAFTER	DPER
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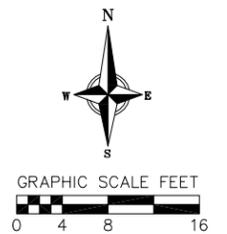
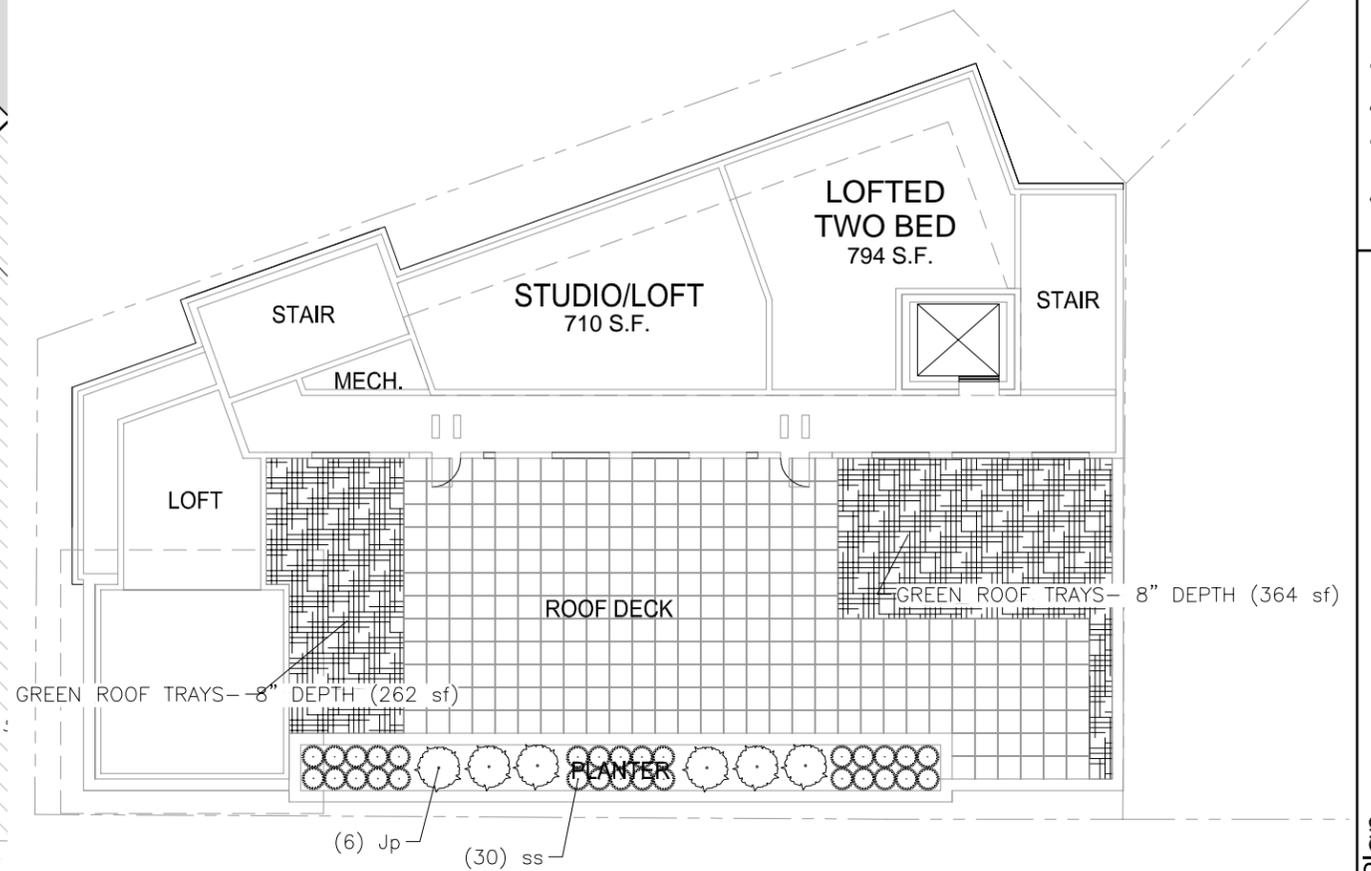
C201



LANDSCAPE PLAN: AT GRADE



LANDSCAPE PLAN: ROOF DECK



PLANT SCHEDULE

DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Cf	Cornus stolonifera 'Farrow' TM / Arctic Fire Red Twig Dogwood	Cont.	3 Gal.	5
Sc	Sambucus canadensis / American Elderberry	Cont.	5 Gal.	3
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Jt	Juniperus chinensis 'Trautman' / Trautman Juniper	Cont.	5' ht.	2
Jp	Juniperus procumbens 'Nano' / Dwarf Japanese Garden Juniper	Cont.	3 Gal.	6
Tm	Taxus x media 'Everlow' / Everlow Anglo-Japanese Yew	Cont.	5 Gal.	7
PERENNIALS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
cr	Cimicifuga racemosa / Black Cohosh	Cont.	1 Gal.	6
gm	Geranium macrorrhizum 'Bevan's Variety' / Bevan's Variety Bigroot Geranium	Cont.	1 Gal.	29
pq	Parthenocissus quinquefolia engelmannii / Engelmann Virginia Creeper	Cont.	2 Gal.	1
ss	Schizachyrium scoparium 'Blue Heaven' / Blue Heaven Little Bluestem	Cont.	1 Gal.	51

PLANT MATERIAL NOTES:

- ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
- ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
- CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
- ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.

LANDSCAPE MATERIAL NOTES:

- CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEEDED/SODDED.

- LANDSCAPE BEDS TO BE MULCHED WITH UNDYED SHREDDED HARDWOOD BARK MULCH TO 3" DEPTH MIN. AND EDGED WITH COMMERCIAL GRADE ALUMINUM LANDSCAPE EDGING, PERMALOC CLEANLINE 3/4"X4" OR EQUAL, COLOR BLACK ANODIZED.

SOD PLANTING NOTES:

- ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, TO BE REPAIRED WITH TURFGRASS SOD. SELECT SOD GROWN IN MINERAL SOILS WITH ESTABLISHED ROOT SYSTEM. SOD GROWN IN PEAT WILL BE REJECTED. STAGGER SEAMS AND ROLL TO ENSURE SOIL CONTACT. MAINTAIN ADEQUATE SOIL MOISTURE UNTIL FINAL ACCEPTANCE.

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09 May 2022 - 11:46a M:\JD McCormick LLC\210421\_434-444 State Street\CA\DD\210421\_Landscaping.dwg by:svn

REVISIONS	NO.	DATE	REMARKS
	1	5/9/22	PLAN UPDATE



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ARCHITECTS

Phone: 7601 University Ave., Ste 201  
608.836.3690 Middleton, WI 53562

ISSUED  
Issued To DAT - Sept. 13, 2019  
Issued for UDC Information - Jan. 24, 2022  
Land Use & UDC Submittal - February 07, 2022

PROJECT TITLE  
**430, 432, 444**  
State Street

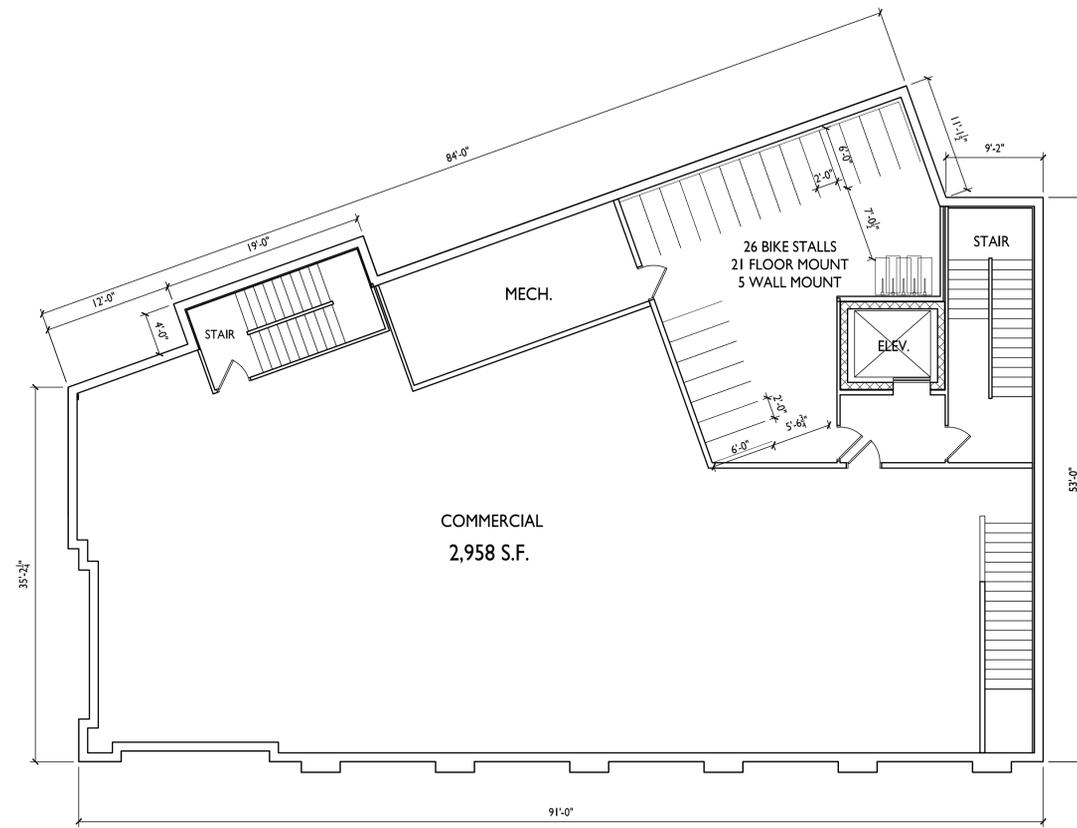
Madison, Wisconsin  
SHEET TITLE  
**Basement Floor**  
Plan

SHEET NUMBER

**A-1.0**

PROJECT NO. **1939**

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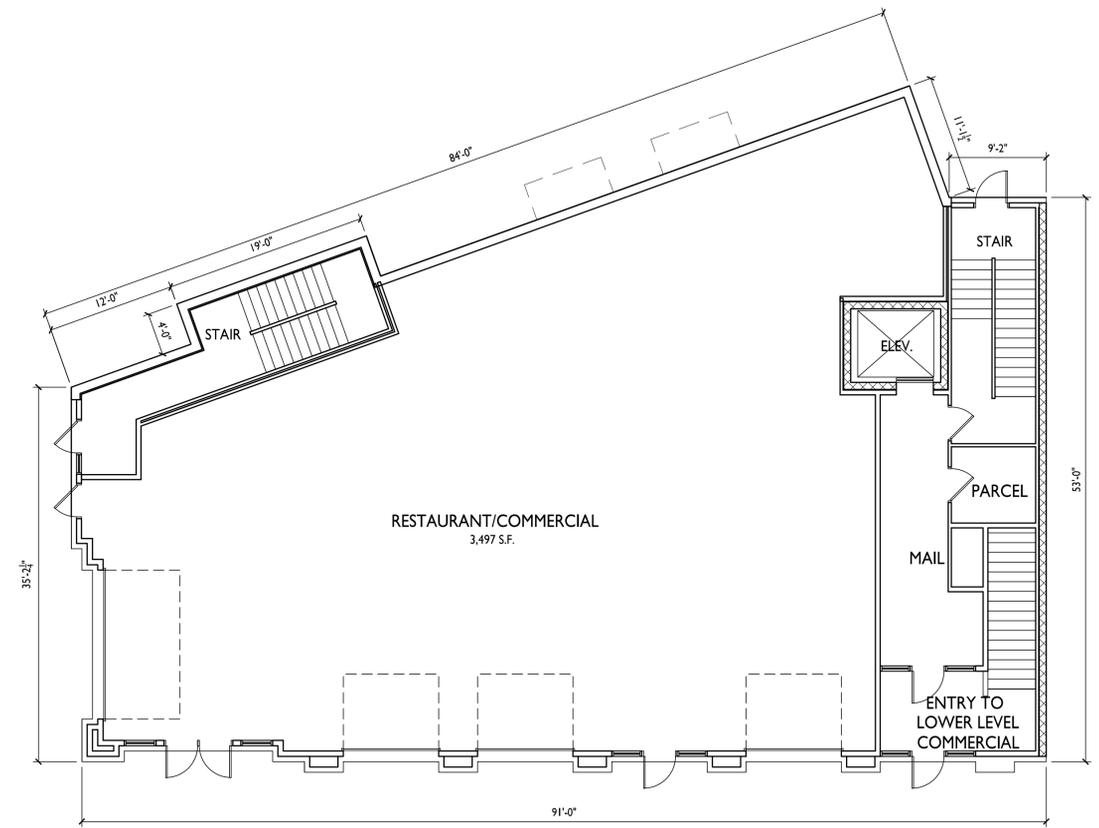


**BASEMENT FLOOR PLAN**  
A-1.0 1/8" = 1'-0"



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**430, 432, 444**  
State Street

**FIRST FLOOR PLAN**  
A-1.1 1/8" = 1'-0"

Madison, Wisconsin  
SHEET TITLE  
**First Floor Plan**

SHEET NUMBER

**A-1.1**

PROJECT NO. **1939**

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430, 432, 444  
State Street

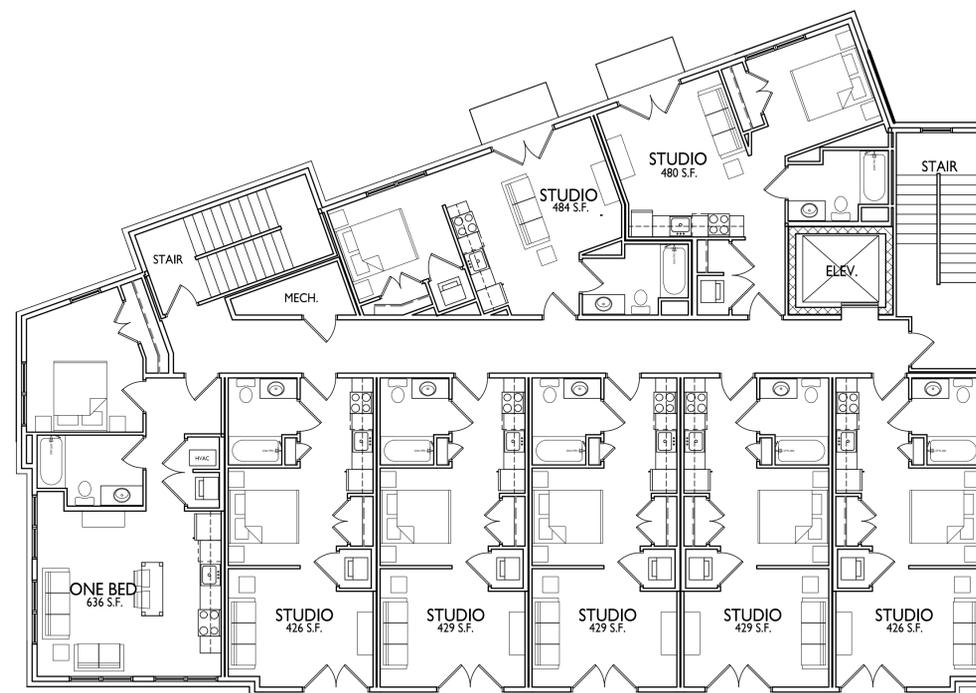
Madison, Wisconsin  
SHEET TITLE  
Second Floor Plan

SHEET NUMBER

A-1.2

PROJECT NO. 1939

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1 SECOND FLOOR PLAN  
A-1.2 1/8" = 1'-0"



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ISSUED  
Issued To DAT - Sept. 13, 2019  
Issued for UDC Information - Jan. 24, 2022  
Land Use & UDC Submittal - February 07, 2022

PROJECT TITLE  
430, 432, 444  
State Street

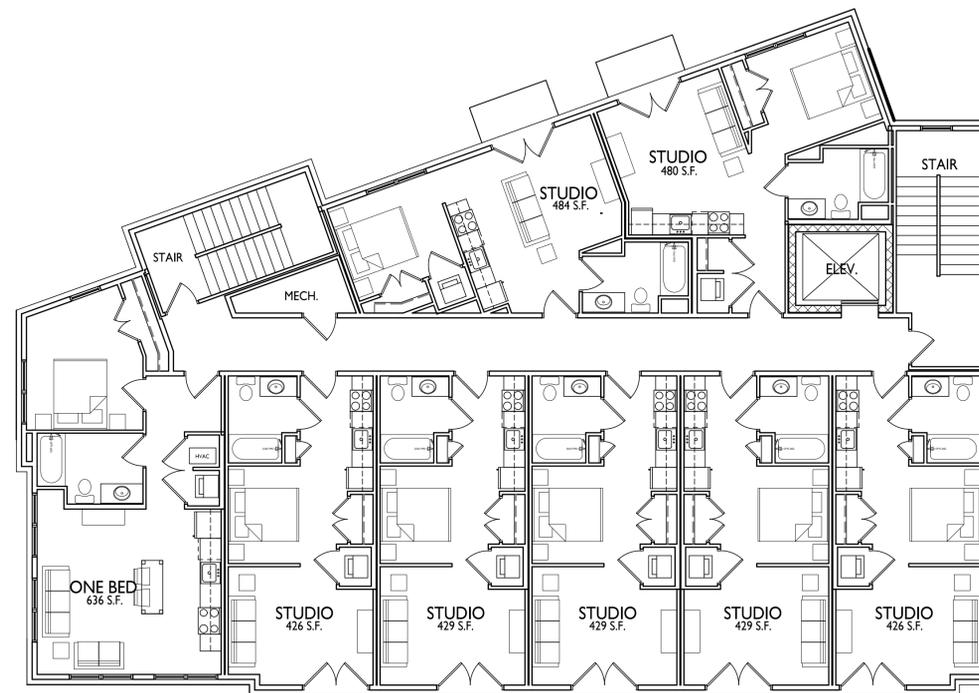
Madison, Wisconsin  
SHEET TITLE  
Third Floor Plan

SHEET NUMBER

A-1.3

PROJECT NO. 1939

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1 THIRD FLOOR PLAN  
A-1.3 1/8" = 1'-0"



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ISSUED  
Issued To DAT - Sept. 13, 2019  
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PROJECT TITLE  
430, 432, 444  
State Street

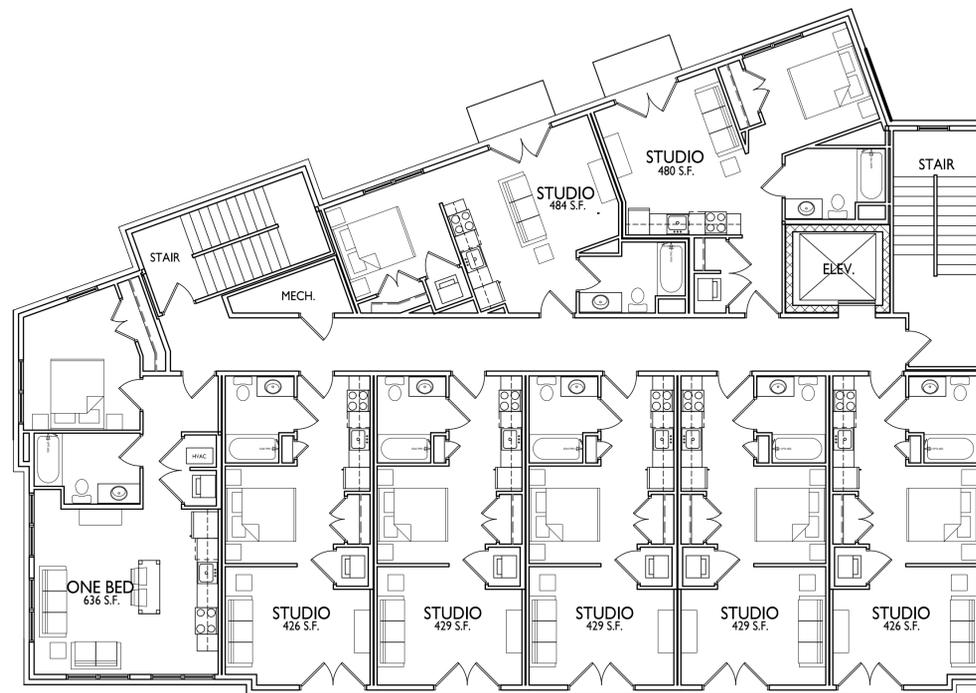
Madison, Wisconsin  
SHEET TITLE  
Fourth Floor Plan

SHEET NUMBER

A-1.4

PROJECT NO. 1939

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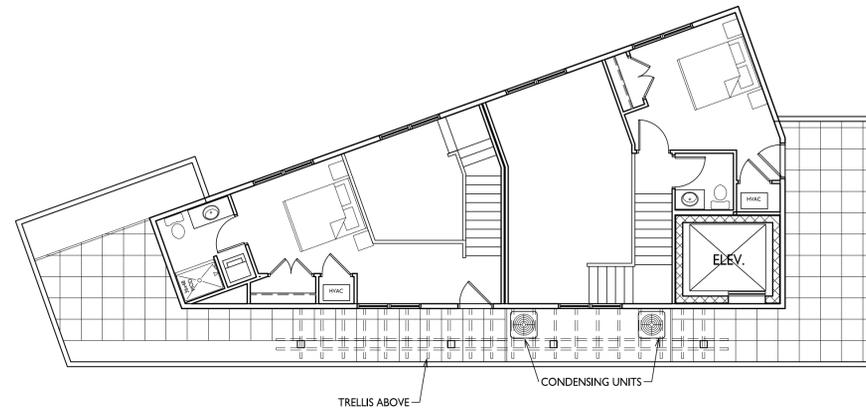


1 FOURTH FOURTH PLAN  
A-1.4 1/8" = 1'-0"

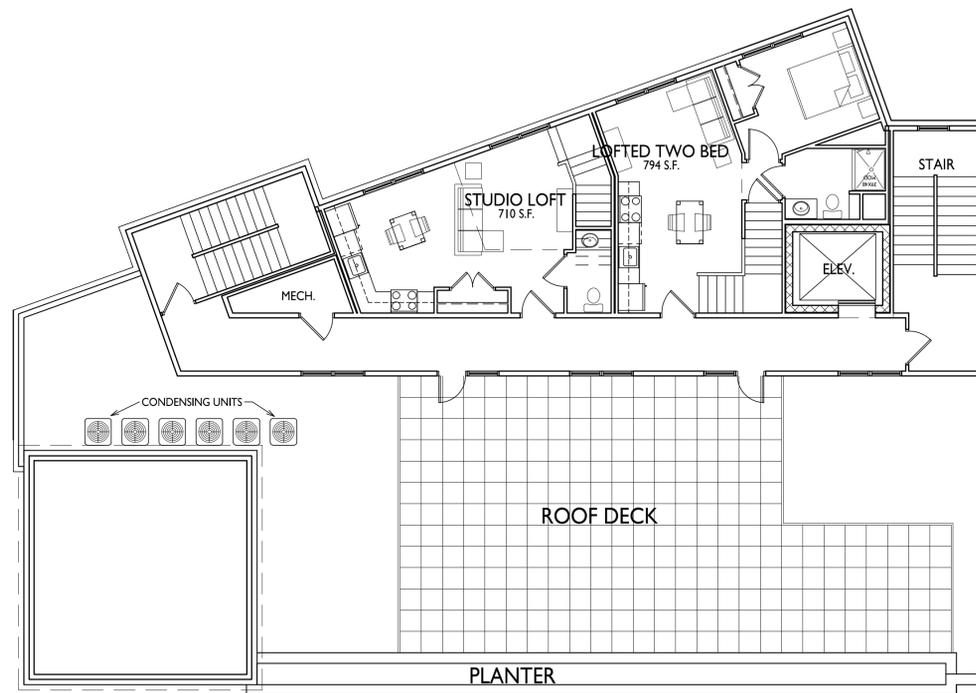


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**2** LOFT LEVEL FLOOR PLAN  
A-1.5 1/8" = 1'-0"



**1** FIFTH FLOOR PLAN  
A-1.5 1/8" = 1'-0"



ISSUED  
Issued To DAT - Sept. 13, 2019  
Issued for UDC Information - Jan. 24, 2022  
Land Use & UDC Submittal - February 07, 2022  
Updated Land Use & UDC Submittal - May 10, 2022

PROJECT TITLE  
**430, 432, 444**  
State Street

Madison, Wisconsin  
SHEET TITLE  
**Fifth Floor Plan**

SHEET NUMBER

**A-1.5**

PROJECT NO. **1939**

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Land Use & UDC Submittal - February 07, 2022  
Updated Land Use & UDC Submittal - May 10, 2022

PROJECT TITLE  
**430, 432, 444**  
State Street

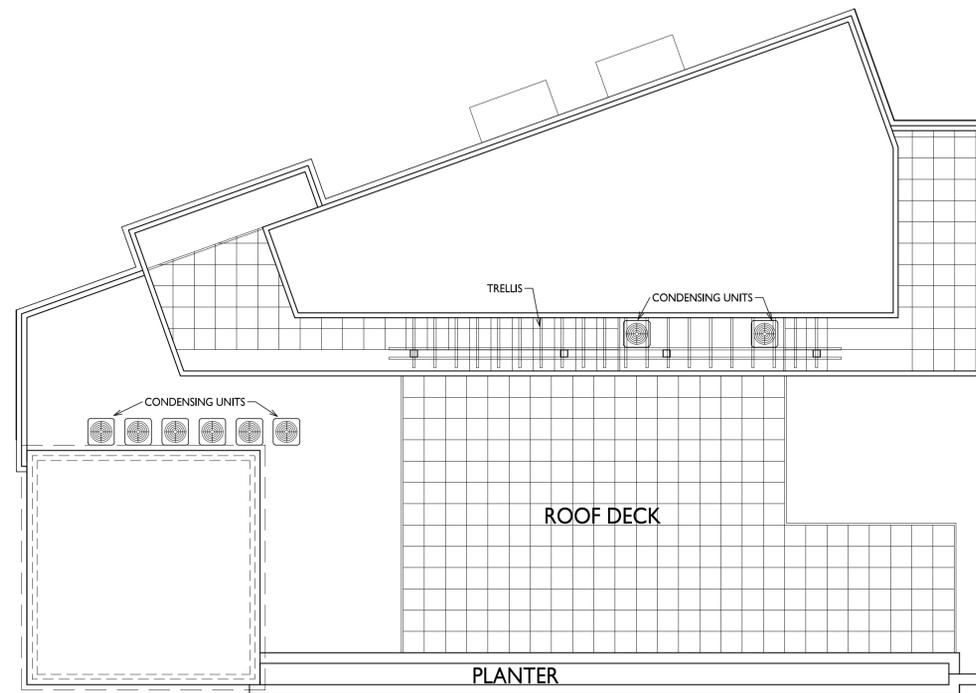
Madison, Wisconsin  
SHEET TITLE  
**Roof Plan**

SHEET NUMBER

**A-1.6**

PROJECT NO. **1939**

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**1** ROOF PLAN  
A-1.6 1/8" = 1'-0"





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TRUE NORTH



KEY PLAN

ISSUED  
Issued - August 16, 2021  
Updated LU & UDC Submittal - May 10, 2022

PROJECT TITLE  
**434-444 State Street**

SHEET TITLE  
**EXTERIOR ELEVATIONS**

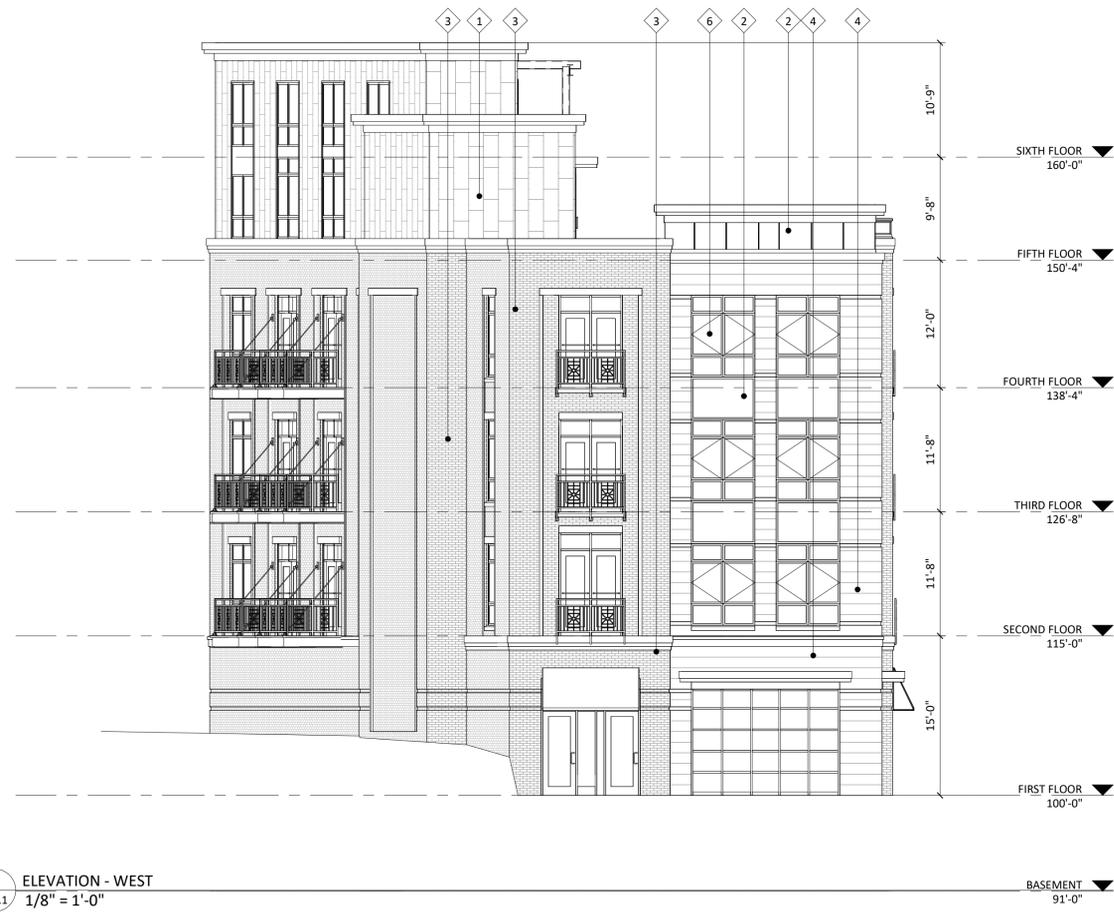
SHEET NUMBER

**A-2.1**

PROJECT NUMBER 1939

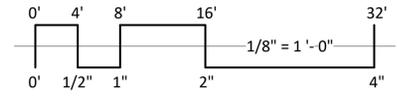
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NOT FOR CONSTRUCTION



2 ELEVATION - WEST  
A-2.1 1/8" = 1'-0"

1 ELEVATION - SOUTH  
A-2.1 1/8" = 1'-0"



EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
(#1) - FLAT LOCK METAL SIDING	DMI	WEATHERED ZINC
COMPOSITE TRIM	DMI	COLOR TO MATCH ADJ.
(#2) - COMPOSITE PANEL	JAMES HARDIE	IRON GRAY
(#2.1) - COMPOSITE PANEL	JAMES HARDIE	MATCH WINDOW COLOR
(#3) - BRICK VENEER	INTERSTATE BRICK	ARCTIC WHITE
(#4) - MASONRY VENEER	ROCKCAST	LIGHT GRAY
(#5) - CAST STONE BANDS & SILLS	ROCKCAST	CRYSTAL WHITE
(#6) - COMPOSITE WINDOWS	ANDERSEN 100	BLACK
(#7) - ALUM. STOREFRONT	N/A	BLACK
(#8) - INSULATED METAL DOORS/FRAMES	N/A	BLACK
CANOPY & BAY SOFFITS	TBD	COLOR TO MATCH ADJ. TRIM/SIDING
(#9) - TENSION ROD DECK ASSEMBLY	N/A	BLACK
(#10) - RAILINGS & HANDRAILS	SUPERIOR	BLACK
TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED



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KEY PLAN

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Issued - August 16, 2021  
Updated LU & UDC Submittal - May 10, 2022

PROJECT TITLE  
**434-444 State Street**

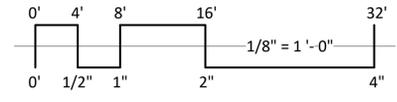
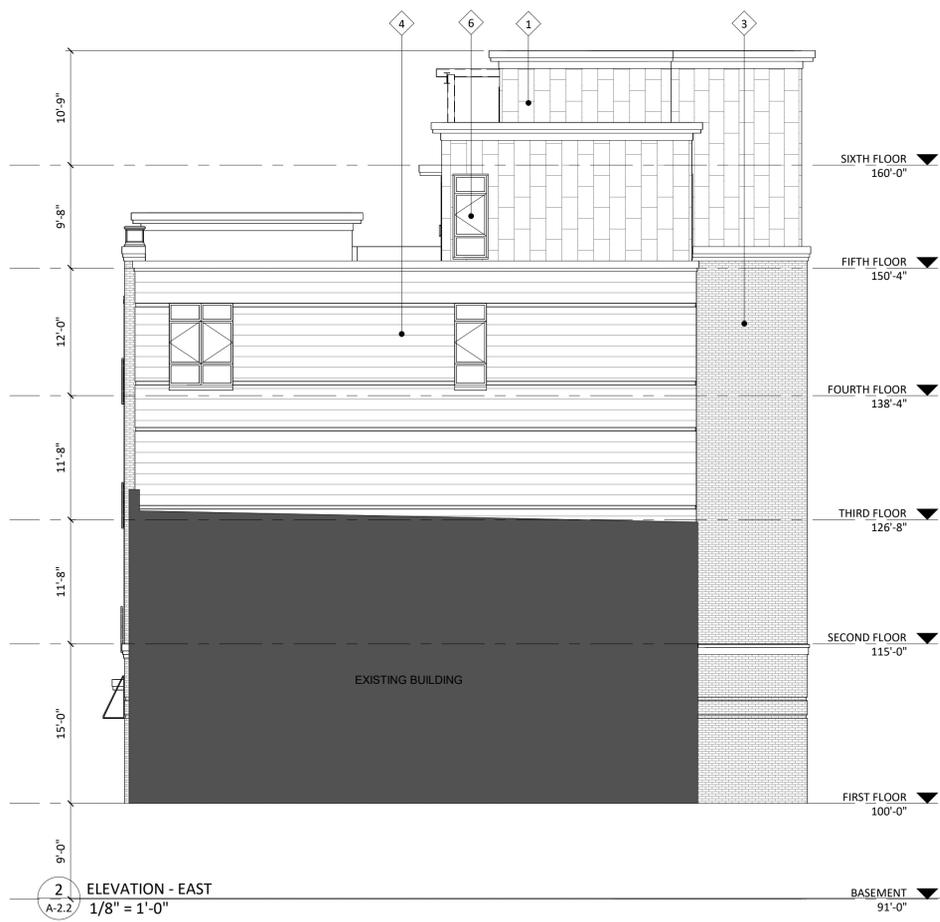
SHEET TITLE  
**EXTERIOR ELEVATIONS**

SHEET NUMBER

**A-2.2**  
PROJECT NUMBER 1939

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NOT FOR CONSTRUCTION



EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
(#1) - FLAT LOCK METAL SIDING	DMI	WEATHERED ZINC
COMPOSITE TRIM	DMI	COLOR TO MATCH ADJ.
(#2) - COMPOSITE PANEL	JAMES HARDIE	IRON GRAY
(#2.1) - COMPOSITE PANEL	JAMES HARDIE	MATCH WINDOW COLOR
(#3) - BRICK VENEER	INTERSTATE BRICK	ARCTIC WHITE
(#4) - MASONRY VENEER	ROCKCAST	LIGHT GRAY
(#5) - CAST STONE BANDS & SILLS	ROCKCAST	CRYSTAL WHITE
(#6) - COMPOSITE WINDOWS	ANDERSEN 100	BLACK
(#7) - ALUM. STOREFRONT	N/A	BLACK
(#8) - INSULATED METAL DOORS/FRAMES	N/A	BLACK
CANOPY & BAY SOFFITS	TBD	COLOR TO MATCH ADJ. TRIM/SIDING
(#9) - TENSION ROD DECK ASSEMBLY	N/A	BLACK
(#10) - RAILINGS & HANDRAILS	SUPERIOR	BLACK
TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED



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TRUE NORTH



KEY PLAN

ISSUED  
Issued - August 16, 2021  
Updated LU & UDC Submittal - May 10, 2022

PROJECT TITLE  
434-444 State Street

SHEET TITLE  
COLOR EXTERIOR ELEVATIONS

SHEET NUMBER

A-2.3  
PROJECT NUMBER 1939

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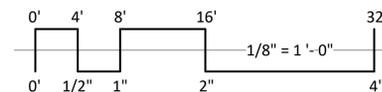
NOT FOR CONSTRUCTION



1 COLORED ELEVATION - WEST  
A-2.3 1/8" = 1'-0"



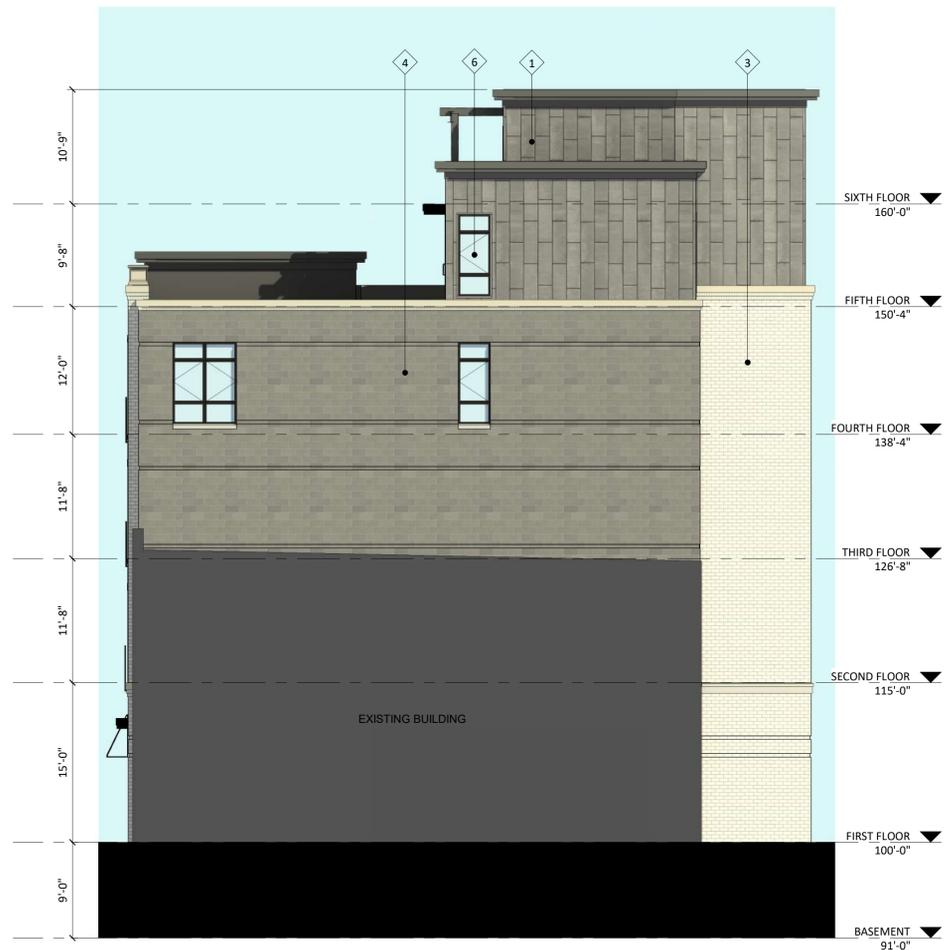
2 COLORED ELEVATION - SOUTH  
A-2.3 1/8" = 1'-0"



EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
(#1) - FLAT LOCK METAL SIDING	DMI	WEATHERED ZINC
COMPOSITE TRIM	DMI	COLOR TO MATCH ADJ.
(#2) - COMPOSITE PANEL	JAMES HARDIE	IRON GRAY
(#2.1) - COMPOSITE PANEL	JAMES HARDIE	MATCH WINDOW COLOR
(#3) - BRICK VENEER	INTERSTATE BRICK	ARCTIC WHITE
(#4) - MASONRY VENEER	ROCKCAST	LIGHT GRAY
(#5) - CAST STONE BANDS & SILLS	ROCKCAST	CRYSTAL WHITE
(#6) - COMPOSITE WINDOWS	ANDERSEN 100	BLACK
(#7) - ALUM. STOREFRONT	N/A	BLACK
(#8) - INSULATED METAL DOORS/FRAMES	N/A	BLACK
CANOPY & BAY SOFFITS	TBD	COLOR TO MATCH ADJ. TRIM/SIDING
(#9) - TENSION ROD DECK ASSEMBLY	N/A	BLACK
(#10) - RAILINGS & HANDRAILS	SUPERIOR	BLACK
TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED



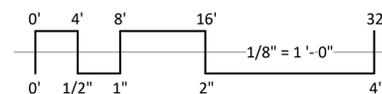
NOT FOR CONSTRUCTION



**1** COLORED ELEVATION - EAST  
A-2.4 1/8" = 1'-0"



**2** COLORED ELEVATION - NORTH  
A-2.4 1/8" = 1'-0"



EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
(#1) - FLAT LOCK METAL SIDING	DMI	WEATHERED ZINC
COMPOSITE TRIM	DMI	COLOR TO MATCH ADJ.
(#2) - COMPOSITE PANEL	JAMES HARDIE	IRON GRAY
(#2.1) - COMPOSITE PANEL	JAMES HARDIE	MATCH WINDOW COLOR
(#3) - BRICK VENEER	INTERSTATE BRICK	ARCTIC WHITE
(#4) - MASONRY VENEER	ROCKCAST	LIGHT GRAY
(#5) - CAST STONE BANDS & SILLS	ROCKCAST	CRYSTAL WHITE
(#6) - COMPOSITE WINDOWS	ANDERSEN 100	BLACK
(#7) - ALUM. STOREFRONT	N/A	BLACK
(#8) - INSULATED METAL DOORS/FRAMES	N/A	BLACK
CANOPY & BAY SOFFITS	TBD	COLOR TO MATCH ADJ. TRIM/SIDING
(#9) - TENSION ROD DECK ASSEMBLY	N/A	BLACK
(#10) - RAILINGS & HANDRAILS	SUPERIOR	BLACK
TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED









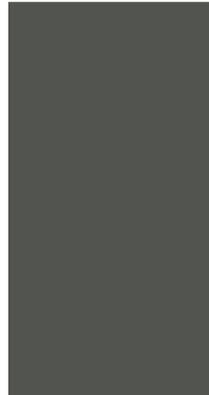








Flat Lock Metal  
DMI  
Weathered Zinc



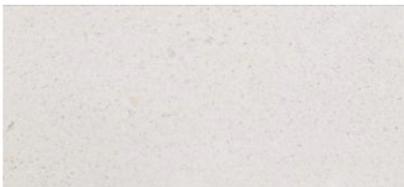
Composite Panel  
James Hardie  
Iron Gray



Brick Veneer  
Interstate Brick  
Arctic White



Masonry Base Veneer  
RockCast  
Light Gray



Cast Stone Elements  
RockCast  
Crystal White



Window Trim - Black



EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
(#1) - FLAT LOCK METAL SIDING	DMI	WEATHERED ZINC
COMPOSITE TRIM	DMI	COLOR TO MATCH ADJ.
(#2) - COMPOSITE PANEL	JAMES HARDIE	IRON GRAY
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(#6) - COMPOSITE WINDOWS	ANDERSEN 100	BLACK
(#7) - ALUM. STOREFRONT	N/A	BLACK
(#8) - INSULATED METAL DOORS/FRAMES	N/A	BLACK
CANOPY & BAY SOFFITS	TBD	COLOR TO MATCH ADJ. TRIM/SIDING
(#9) - TENSION ROD DECK ASSEMBLY	N/A	BLACK
(#10) - RAILINGS & HANDRAILS	SUPERIOR	BLACK
TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED

434-444 State Street  
MADISON, WI  
5/10/2022  
KBA #1939

