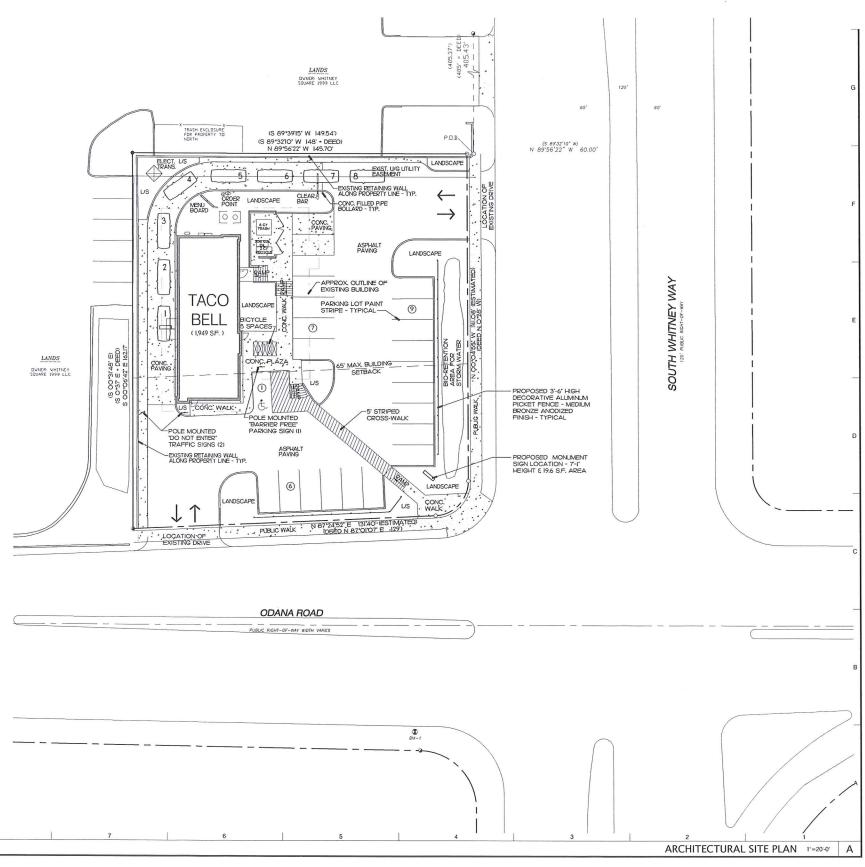


VICINITY MAP NOT TO SCALE





ARCHITECTS INC. A.I.A

2430 ROCHESTER COURT SUITE 200 TROY, MICHIGAN 4808:

PHONE FAX (248) 524-4700 (248) 524-9746

PROJECT NO. T12020

DATE ISSUE 4-2-2013 INITIAL UDC SUBMIT

4-9-2013 REVISED UDC SUBMIT 4-22-2013 REVISED PER C 6-19-2013 UDC and PC SUBMIT 7-8-2013 REV. UDC & PC SUBMIT

CONTRACT DATE: BUILDING TYPE: PLAN VERSION: SITE NUMBER:

STORE NUMBER:

TACO BELL

DEC 12

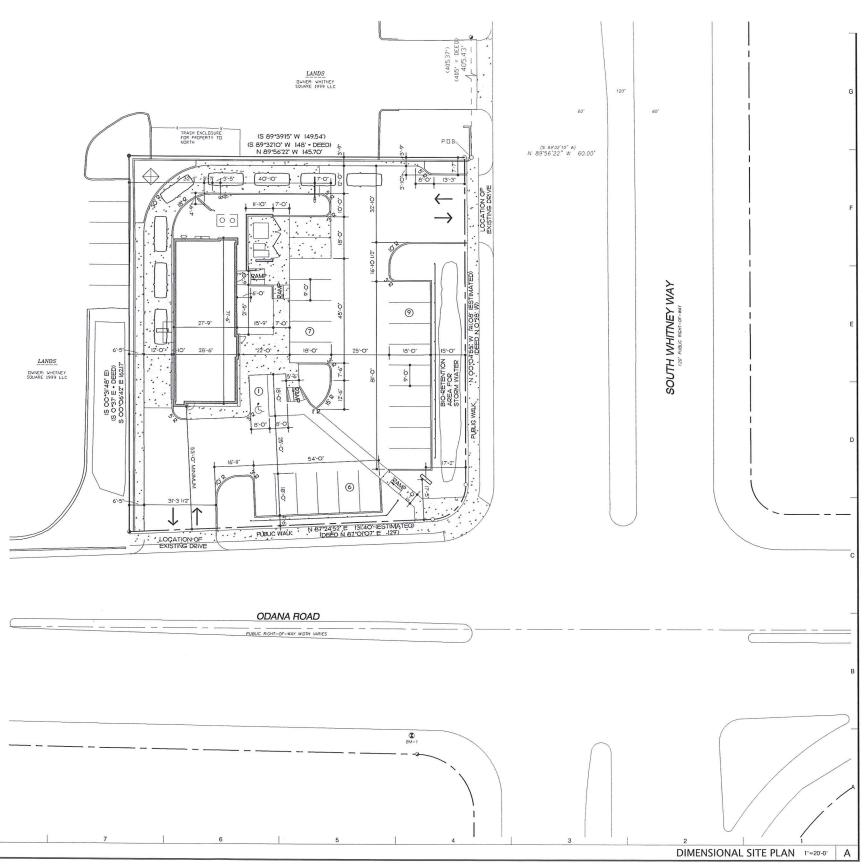
698 S. Whitney Way Madison, WI



ARCH. SITE **PLAN**



VICINITY MAP NOT TO SCALE





ARCHITECTS

2430 ROCHESTER COUR1 SUITE 200 TROY, MICHIGAN 4808: PHONE FAX (248) 524-4700 (248) 524-9746

PROJECT NO. T12020

DATE ISSUE
4-2-2013 INITIAL UDC SUBMIT

 4-9-2013
 REVISED UDC SUBMIT

 4-22-2013
 REVISED PER C

 6-19-2013
 UDC and PC SUBMIT

7-8-2013 REV. UDC & PC SUBMIT

CONTRACT DATE:
BUILDING TYPE:
PLAN VERSION:
SITE NUMBER:

TACO BELL

698 S. Whitney Way Madison, WI



DIMENSIONAL SITE PLAN

AC0.2

OT DATE:

7-



VICINITY NOT TO SCALE

TACO BELL 698 S. WHITNEY WAY MADISON, WI PREPARED BY: JOHN BUJAKE ACCUSERV LIGHTING & EQUIPMENT 877-707-7378 502-961-0357 FAX jbujake@accu-serv.com JULY 3, 2013

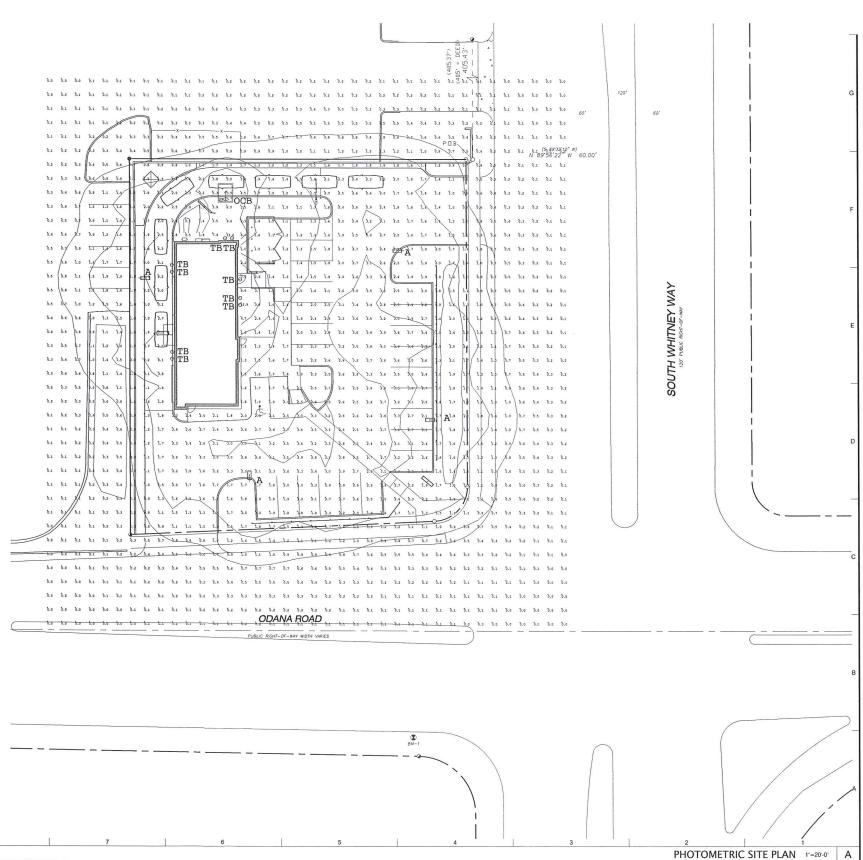
Label	Avg	Max	Min	Avg/Min	Max/Mir
EXTENDED	1.17	13.9	0.0	N.A.	N.A.
VEHICULAR SURFACE	2.44	8.2	0.8	3.05	10.25

LIGHT LEVELS ARE MAINTAINED FOOT-CANDLES, INITIAL LEVELS ARE SLIGHTLY HIGHER

Luminaire	Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Lum. Watts	Description
•	1	OCB	SINGLE	12500	0.700	185	TACO BELL - ORDER POINT CANOPY
0	9	TB	SINGLE	1230	0.900	36	ACCU 05247-051-052 @ 9.17' A.F.G.
-	4	A	SINGLE	N.A.	0.900	271	STR-LWY-4M-HT-12-D-UL-BZ-700-43K / PT-1H-BZ / 95200-425PT23

LIGHTING RESTRICTIONS: TOTAL WATEACE FOR SITE FINITIES NOT TO EXCEED 0.106/S.F. OF VEHICULAR SURFACE APERICE LIGHT LEVEL NOT TO EXCEED 2.5 FOOT-CANALES OF REPAIR MILITHAN LIGHT LEVEL TO BE 0.4 FOOT-CANALES OF GREATER APERICE/MINIMAN RATIO NOT TO EXCEED 5.0

VEHICULAR SURFACE: 13,145 S.7 104 43K LED w/ FIAST LENSES
FOLIA NOT SURFACE TO FOR AN OWNERAL PRIMARE HORITHS RELIGHT OF 27'-6" A.F.G.



2430 ROCHESTER COURT

SUITE 200 TROY, MICHIGAN 48083

PHONE FAX (248) 524-4700 (248) 524-9746

PROJECT NO. T12020

DATE ISSUE 4-2-2013 INITIAL UDC SUBMIT

4-9-2013 REVISED UDC SUBMIT 4-22-2013 REVISED PER C 6-19-2013 UDC and PC SUBMIT 7-8-2013 REV. UDC & PC SUBMIT

CONTRACT DATE:

BUILDING TYPE: PLAN VERSION: SITE NUMBER: STORE NUMBER:

TACO BELL

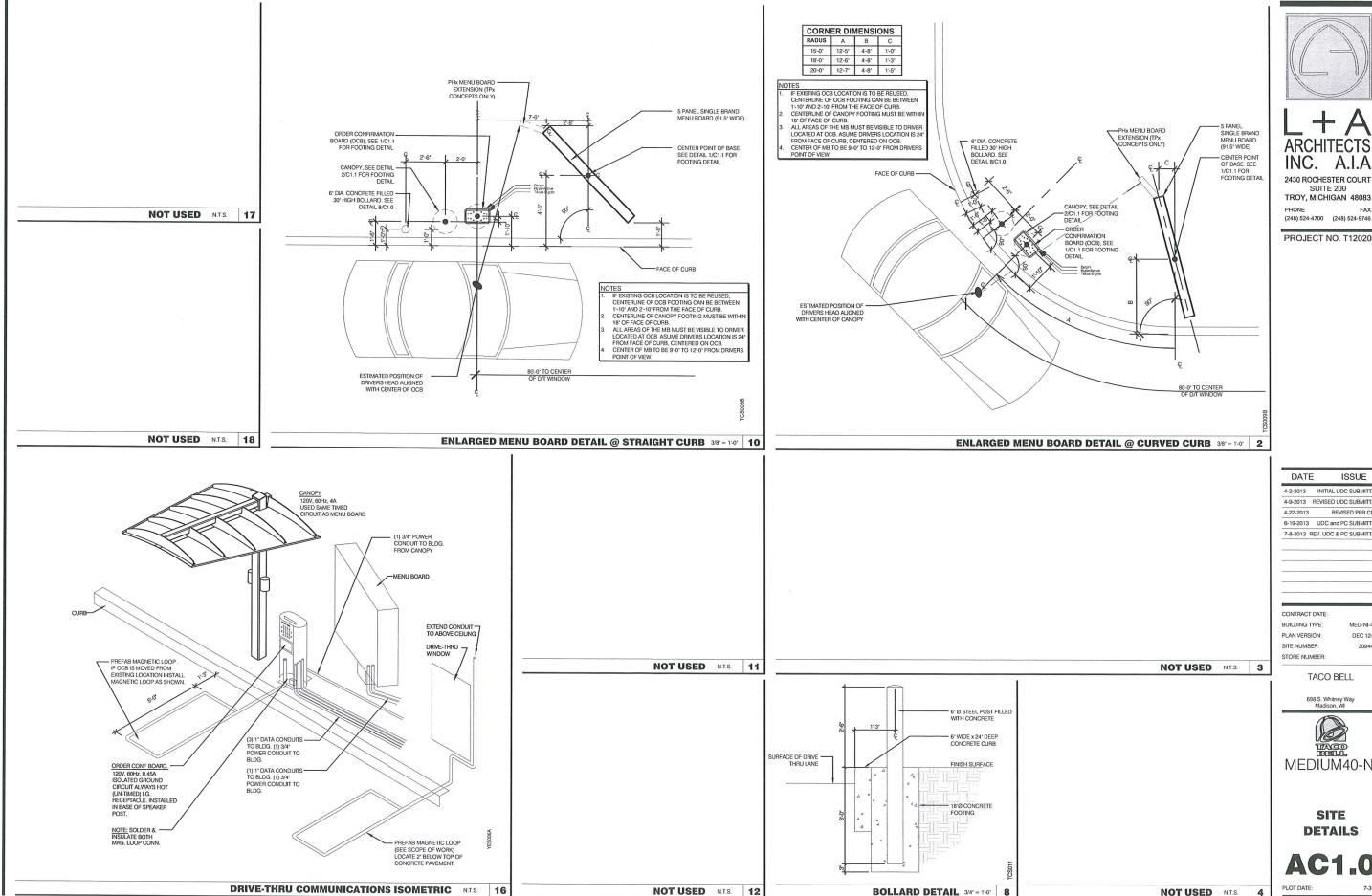
MED-NI-

DEC 12

698 S. Whitney Way Madison, WI



PHOTOMETRIC SITE **PLAN**



NOT USED N.T.S. 12

BOLLARD DETAIL 3/4' = 1'-0' 8



2430 ROCHESTER COURT SUITE 200 TROY, MICHIGAN 48083

PROJECT NO. T12020

DATE	ISSUE
4-2-2013	INITIAL UDC SUBMITTA
4-9-2013	REVISED UDC SUBMITTA
4-22-2013	REVISED PER CIT
6-19-2013	UDC and PC SUBMITTA
7-8-2013 F	REV. UDC & PC SUBMITTA

CONTRACT DATE: BUILDING TYPE: MED-NI-40 PLAN VERSION: DEC 12-A SITE NUMBER: 309441

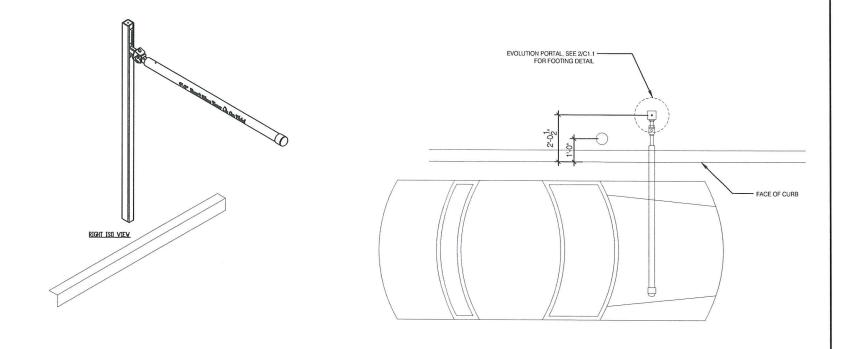
TACO BELL

698 S. Whitney Way Madison, WI



SITE **DETAILS**

NOT USED N.T.S. 4



NOTE USED

16

NOT USED

20

NOTE: BOLT PATTERN PROVIDED AS EXAMPLE - OBTAIN ANCHOR BOLT TEMPLATE FROM SUPPLIER CONDUIT SCHEDULE **POWER** DEVICE DATA DIRECTIONAL (1) 3' (3) 1' MENU BOARD (1) 3' MENU/PREVIEW BOARD -_CONDUIT. SEE SCHEDULE ANCHOR BOLTS: (4) 2 DIA. @ DIRECTIONAL SIGNS (4) 3 DIA. @ MENU BOARD FULL THREAD _ (3) #3 TIES @ 2' O.C. __ (4) #5 BARS VERT. W/ (4) #3 TIES @ 12* O.C. NOTE: ALL CONDUIT TO BE MIN. 12' BELOW GRADE OT LOCAL FROST DEPTH AND PROJECT 3' ABOVE FOUNDATION DIRECTIONAL SIGN BARS 8" DIA ORDER CONF. BOARD BARS MENU/PREVIEW BOARD BARS DIRECTIONAL SIGN FOUNDATION -ORDER CONF. BOARD FOUNDATION -

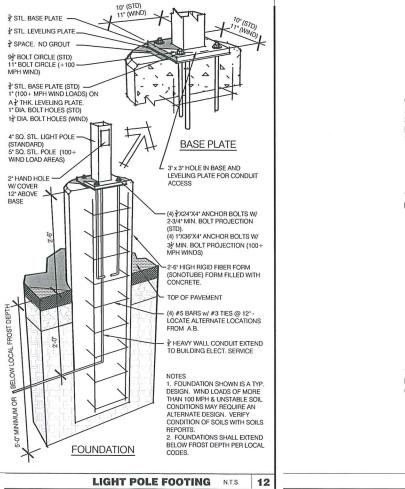


ARCHITECTS INC. A.I.A

2430 ROCHESTER COURT SUITE 200 TROY, MICHIGAN 48083

PHONE FAX (248) 524-4700 (248) 524-9746

PROJECT NO. T12020



PORTAL PLACEMENT DETAIL 1/2' = 1'-0' 3

COORDINATE ANCHOR BOLT SPACING AND LENGTH WITH VENDOR PLAN	
T.O. FOOTING TO BE	
É É N N N POWER S	O CONDUIT TO
11.0° 11.6°	

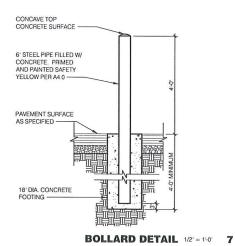
18" DIA

MENU BOARD FOOTING 1:16 SCALE 1

EVOLUTION FOOTINGS 1:16 SCALE 2

MENU/PREVIEW BOARD FOUNDATION

DATE	=	ISSUE
4-2-2013	INITIAL U	DC SUBMITT
4-9-2013	REVISED U	DC SUBMITT
4-22-2013	RE	VISED PER C
6-19-2013	UDC and	PC SUBMITT
7-8-2013	REV. UDC &	PC SUBMITT
0017010		
CONTRACT		MEDAII
BUILDING T		MED-NI-
SITE NUMB		DEC 12 3094
STORE NUI		3094
	FACO B	y Way
MEI		2 140-N
ı	SIT DETA	



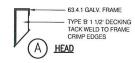
1" X 18 GA. METAL DECK FRAME 4 SIDES EA. GATE 2 PAIR McKINNEY T4B3781 HINGES EA GATE WELDED TO GATE & POST GROUT SOLID W/ CONCRETE METAL SCREED STUCCO ON METAL-#5 VERT. BAR -3/8' DIA. A.B. 14' x 2' @ 16" O.C. VERT., BOLT TO T.S. W/ACORN NUT ON OUTSIDE @ TOP & MID HGT. 5'X 5'X 1/4" T.S. W/ 5'X 5'X 1/4" CAP PLATE EMBEDED 12" INTO FOOTING C.M.U. WALL

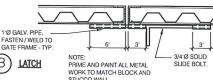
JAMB DETAIL 1 1/2' = 1'-0' 5

GATE NOTES:

(2) EQUAL (± 6 -0) WIDE x 6-0' HIGH MTL. GATES, TYPE B 11/2' DECKING, 22GA. W/T.S. 5 X 5 X.1875 BAR CROSS BRACING WELD AND GRIND SMOOTH ALL CONNECTIONS, TYP, PRIME AND PAINT COLOR TO MATCH. PLASTER.

- 1. ALL HARDWARE AND ACCESSORIES SHALL BE HEAVY GALVINIZED.
- 2. GATE STOP MUSHROOM TYPE OR FLUSH PLATE WITH ANCHORS SET IN CONCRETE TO ENGAGE THE CENTER DROP ROD OR PLUNGER BAR







- SOLID GROUT ALL CORES

TIE TO #5 VERT. BARS #5 BARS @ 48' O.C. CONT. THRU WALL & INTO FTG. W/ 3" HOOK 8"X 8"X 16" C.M.U WALL W/ DUR-O-WALL EVERY SECOND COURSE.

STUCCO & PAINT TO

#5 HORIZ, BAR @ MID, HGT

TIE TO #5 VERT, BAR (TYP.)

- 6' THK. POURED CONCRETE SLAB ON 6' AGG. BASE W/ #4xCONT. E.W. @ 4-0' O.C.

MINIMUM BELOW

ADJACENT FINISH GRADE/SURFACE

PER LOCAL CODE

REQUIREMENTS SEE SOILS REPORT FOR ANY ADDITIONAL DESIGN CRITERIA

MATCH SW #2823

#5 HORIZ, BAR @ TOP (TYP.)

- SOLID GROUT ALL CORES

- 8' X 8" X 16' C.M.U.

- (2) #5 BARS

13

6" THK POURED

CONCRETE SLAB ON 6' AGG. BASE W/ #4xCONT. E.W. @ 4'-0' O.C. -





NOTES:
1. LOCATION SHALL BE AS DEPICTED ON THE PROJECT'S SITE PLAN (SHEET CO.1).
2. AREAS SHALL BE ACCESSIBLE FOR DELIVERY AND COLLECTION.
3. GATES SHALL BE CORRUGATED METAL DOORS AND INSTALLED AS APPROVED DURING THE SITE PLAN APPROVAL PROCESS.

4. GATE LATCHES SHALL BE OF THE PLUNGER BAR TYPE OR EQUIVALENT AS APPROVED BY

5. SEE ATTACHED SPECIFICATIONS, NOTES AND PROCEDURES

TRASH ENCLOSURE DETAIL MATERIAL SPECIFICATIONS: 1. CONCRETE BLOCK 8* MINIMUM IN SIZE. ASTM C90. 2. REINFORCING STELL ASTM 16.5 GRADE 40. 3. ACCEPTABLE SOIL TYPES: A. MIN. ALLOWABLE BEBARING: 1000 LBS/SQ. FT B. MIN. LATERAL BEARING: 100 LBS/SQ. FT.FT. C. MAX EXPANSION INDEX: 20 4. CONCRETE: 2000 LBS/SQ. IN. IN 28 DAYS.

4.CONCRETE, 2000 LOSISC, IN. IN 26 DATA.

5. MORTAR: 1: 1443 (PORTILAND CEMENT: HYDRATED LIME OR LIME PUTTY: SAND. BY VOLUME)
MIXED TO PLASTIC CONSISTENCY. REFER TO UBC TABLE 24-A FOR OTHER TYPES OF CEMENT.

6. GROUT: I-1/103 (PORTLAND CEMENT: HYDRATED LIME OF CHIME PLYTY: SAND BY VOLUME, MIX TO JCOW WITHOUT SEGRECATION. GROUT MAY CONTAIN 2 PARTS PEA GRAVEL (36' MAX. SIZE).
MINIMUM COMPRESSIVE STRENGTH: 2000 LBS/SQ. IN. REFER TO UBC TABLE 24-B FOR OTHER TYPES OF CEMENT.

NOT USED N.T.S. 9

NOT USED N.T.S. 8

GENERAL NOTES:

1. THIS DESIGN IS FOR THE DESIGN CONDITIONS FOR THE PROPOSED SITE AND IS INTENDED TO MEET OR EXCEED ALL APPLICABLE CODES AND ORDINANCES.

2. FOOTINGS SHALL BE IN NATURAL SOLL OR CERTIFIED FILL.

3. BLOCKS TO BE SHALL BE IN ANTURAL SOLL OR CERTIFIED FILL.

5. ALL CELLS CONTAINING REINFORCING STEEL SHALL BE GROUTED SOLID.

5. APPROVED GROUT STOPS ARE REQUIRED BELOW HORIZONTAL STEEL IN PARTIALLY GROUTED WALLS BASS, NEWSPAPERS, ETC., ARE NOT APPROVED GROUT STOPS.

6. INITIAL BED JOINT SHALL BE 14*MIN. 1*MAX. SUBSEQUENT BED JOINTS SHALL BE 1/4*MIN., 5/6*MAX.

7. VERTICAL CONTINUITY OF CELLS SHALL BE UNOBSTRUCTED. MORTAR PROJECTIONS SHALL NOT EXCEED 1/2* FOR 6*AND LARGER BLOCK MORTAR DROPPINGS OR OTHER FOREIGN MATTER ARE NOT PERMITTED IN CELLS AND MUST BE REMOVED.

8. EXPANSION JOINTS REQUIRED AT 60*-0-MAX. INTERVALS.

9. REQUIRED BAR LAPS:

A VERTICAL STEEL: 30 BAR DIAMETERS.

A. VERTICAL STEEL : 30 BAR DIAMETERS.

A VERTIFICATION OF MANAGEMENT AS A VERTIFICATION OF A STATE OF A S

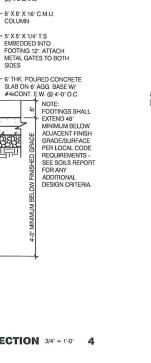
WELDED WINE. 11. FOR PIPES AND CONDUIT EMBEDDED IN MASONRY, REFER TO SEC. 24-07(g). UBC. 12. 3" MIN. COVER REQUIRED FOR REINFORCEMENT IN CONCRETE WHICH IS CAST AGAINST

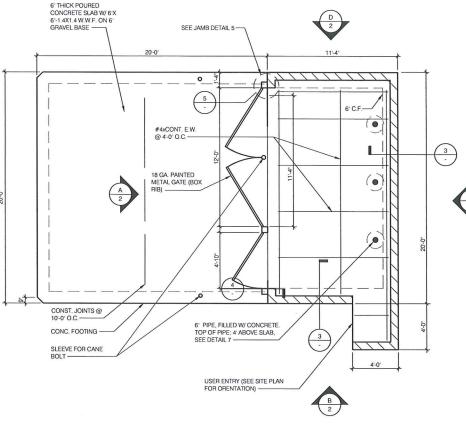
INSPECTION PROCEDURES:

1. FOUNDATION: AFTER TRENCHES ARE DUG, STEEL IS TIED IN PLACE AND BEFORE ANY
CONCRETE IS POURED.

2. PREGROUT: AFTER ALL BLOCKS (EXCEPT CAP) ARE IN PLACE. VERTICAL AND HORIZONTAL
STEEL IS IN PLACE, GROUT STOPS (FOR PARTIALLY GROUTED MASONRY) ARE IN PLACE. AND
PRIOR TO GROUTING.

3. FINAL: AFTER GROUT IS IN PLACE AND PRIOR TO PLACEMENT OF CAP.



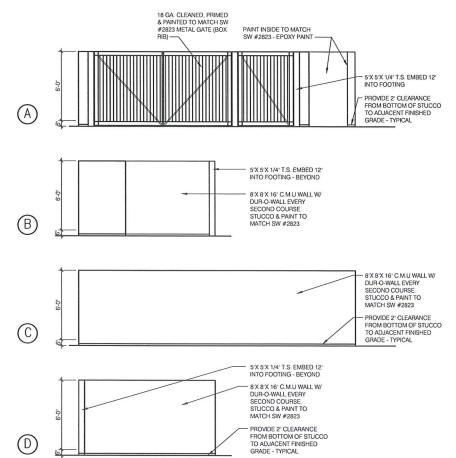


2430 ROCHESTER COURT SUITE 200 TROY, MICHIGAN 48083

PHONE (248) 524-4700 (248) 524-9746

PROJECT NO. T12020

PLAN VIEW 1/4'=1'-0' 1



DATI	E ISSUE
4-2-2013	INITIAL UDC SUBMITTAI
4-9-2013	REVISED UDC SUBMITTAL
4-22-2013	REVISED PER CIT
6-19-2013	UDC and PC SUBMITTAL
7-8-2013	REV. UDC & PC SUBMITTAL

CONTRACT DATE: BUILDING TYPE: MED-NI-40 PLAN VERSION: DEC 12-A SITE NUMBER:

TACO BELL

STORE NUMBER:

698 S. Whitney Way Madison, WI

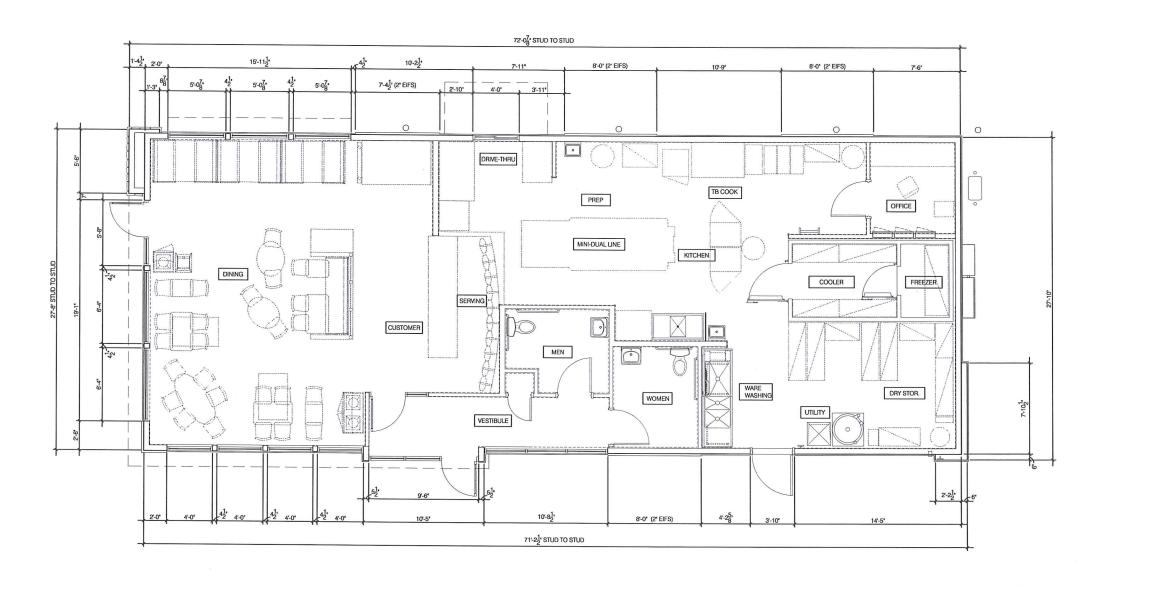


TRASH **ENCLOSURE DETAILS**

PLOT DATE:

GATE DETAILS N.T.S. 6 **SECTION** 3/4' = 1'-0' 3

SURFACE AS SPECIFIED, OR



ARCHITECTS
INC. A.I.A

2430 ROCHESTER COURT SUITE 200 TROY, MICHIGAN 48083

PHONE FAX (248) 524-4700 (248) 524-9746

PROJECT NO. T12020

DATE ISSUE

4-2-2013 INITIAL UDC SUBMITTAL

4-9-2013 REVISED UDC SUBMITTAL

4-92-2013 REVISED DUC SUBMITTAL
4-92-2013 REVISED PER CITY
6-19-2013 UDC and PC SUBMITTAL
7-8-2013 REV. UDC & PC SUBMITTAL

CONTRACT DATE:

BUILDING TYPE:
PLAN VERSION:
SITE NUMBER:

FLOOR PLAN 1/8'=1'-0' A

TACO BELL

DEC 12-A

698 S. Whitney Madison, WI



ARCHITECTURAL FLOOR PLAN

A1.0

PLOT DATE:

7-3-



D	
-	I + A
С	ARCHITECTS INC. A.I.A 2430 ROCHESTER COURT SUITE 200 TROY, MICHIGAN 48083 PHONE FAX (248) 524-4700 (248) 524-9746
В	PROJECT NO. T12020
-	
А	

4-22-2013	REVISED PER CITY
6-19-2013	UDC and PC SUBMITTAL
7-8-2013	REV. UDC & PC SUBMITTAL

DATE ISSUE

CONTRACT DATE:

BUILDING TYPE: PLAN VERSION:

DEC 12-A SITE NUMBER: STORE NUMBER:

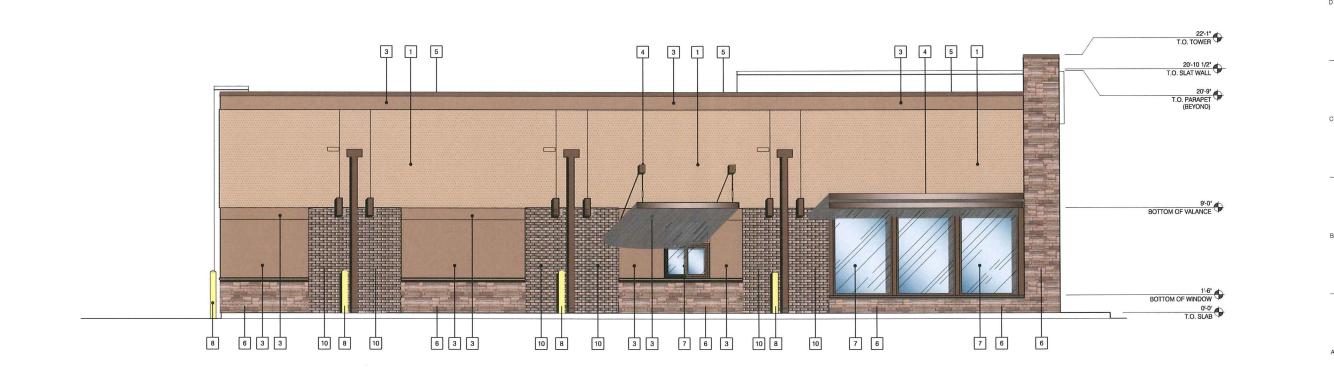
TACO BELL

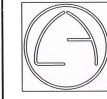


ARCHITECTURAL **EXTERIOR ELEVATIONS**

A4.0

SYMBOL	AREA	MANUFACTURER	COLOR	ALTERNATE MFR.	ALTERNATE COLOR
1	MAIN BUILDING COLOR	SHERWIN WILLIAMS	SW 6122 "CAMEL BACK"	LOTUSAN	NA08-0011
2	WALL COLOR BEHIND SCREEN WALL	SHERWIN WILLIAMS	SW 6831 "CLEMATIS"		
3	ACCENT COLOR	SHERWIN WILLIAMS	SW 2823 *ROOKWOOD CLAY* LOTUSAN		NA08-0010
4	SLAT WALL AND VALANCE COLOR	VENDOR	SW 7034 "STATUS BRONZE" (EQUAL)		
5	PARAPET CAP COLOR	DUROLAST	MEDIUM BRONZE (FACTORY FINISH)	SHERWIN WILLIAMS	SW 7069 "IRON ORE"
6	STONE WALL	BORAL - VERSA STONE	TIGHT CUT - " PLUM CREEK"		
7	STOREFRONT WINDOWS	TBD	" DARK BRONZE"		
8	PIPE BOLLARDS	STREET SMART	YELLOW - 1/4" THICK PLASTIC COVER (I	US.POSTMAN.COM) OR E	EQUAL
9	PARAPET BACK ROOFING	DUROLAST	THE COLOR SHALL BE FACTORY COLORED "TAN." EQUAL ALTERNATE ALLOWED.		
10	BRICK WALL	BORAL - THIN BRICK	* TUSCAN BLEND *		
			EVTEDIO	OR FINISH SCH	IEDIII E



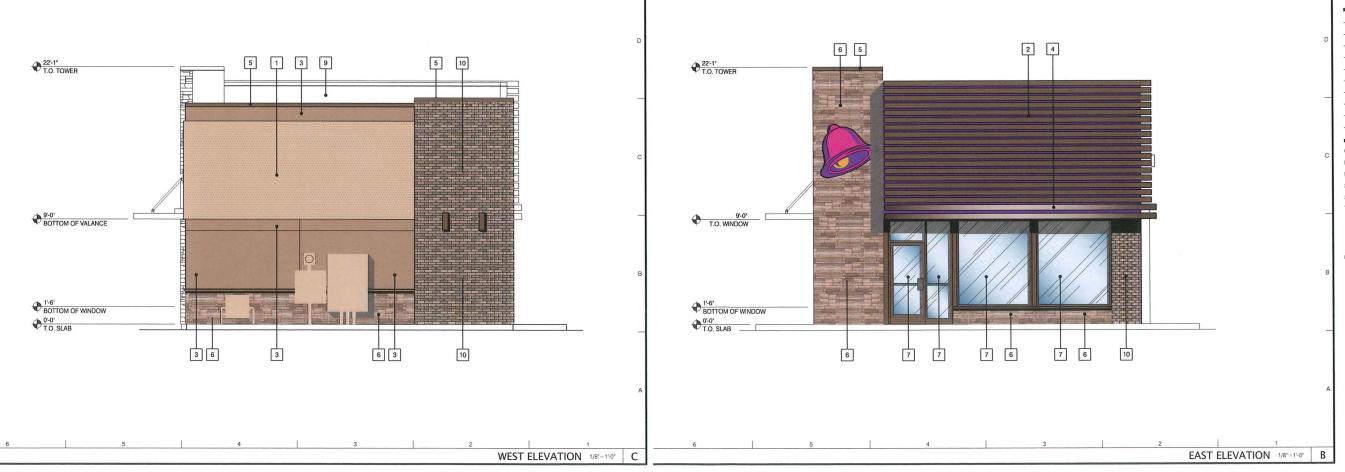


ARCHITECTS INC. A.I.A

2430 ROCHESTER COURT SUITE 200 TROY, MICHIGAN 48083

PHONE FAX (248) 524-4700 (248) 524-9746

PROJECT NO. T12020



- 1		
١	DATE	ISSUE
- 1	4-2-2013	INITIAL UDC SUBMIT
-1	4-9-2013	REVISED UDC SUBMIT
D	4-22-2013	REVISED PER
- 1	6-19-2013	UDC and PC SUBMIT
-1	7-8-2013	REV. UDC & PC SUBMIT
- 1		

NORTH ELEVATION 1/8'=1'-0" A

CONTRACT DATE:

BUILDING TYPE:
PLAN VERSION:
SITE NUMBER:

SITE NUMBER: STORE NUMBER:

TACO BELL

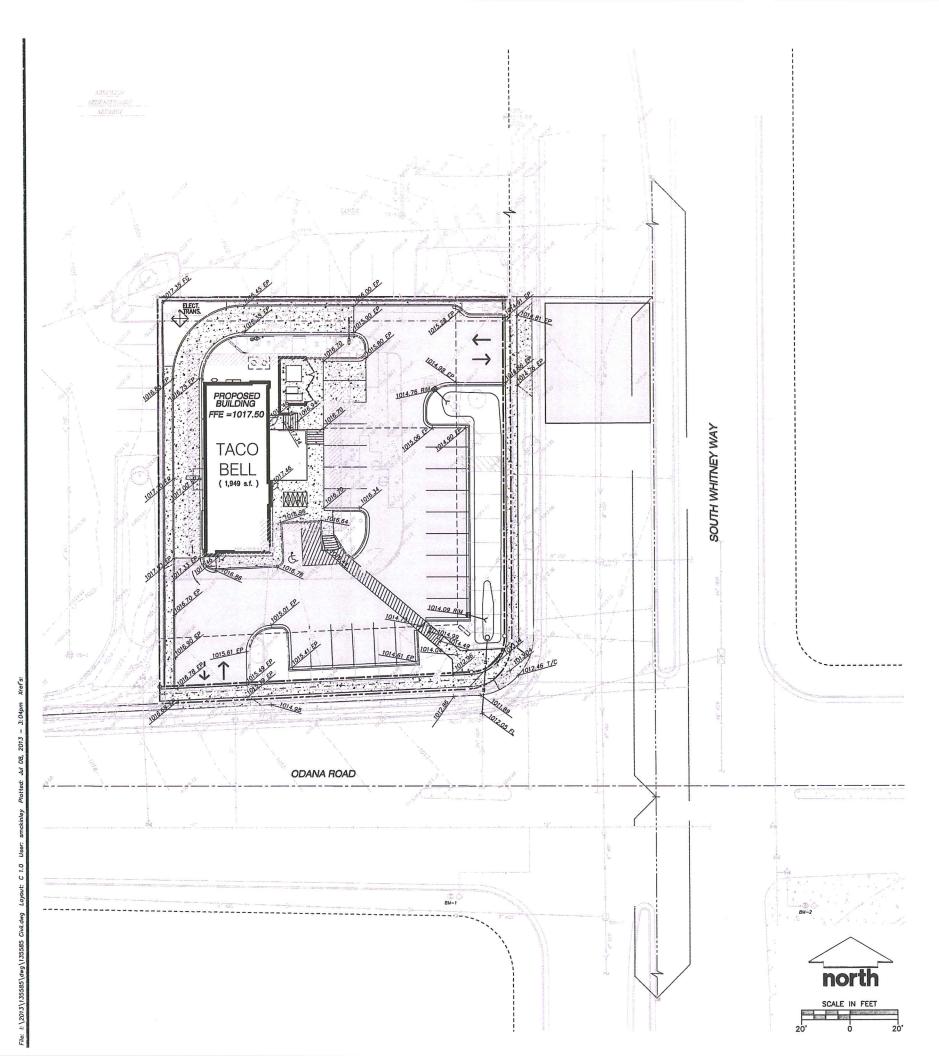
DEC 12-A

698 S. Whitney Way Madison, WI



ARCHITECTURAL EXTERIOR ELEVATIONS

A4.1



LEGEND (PROPOSED)

PROPOSED PROPERTY LINE _____ EXISTING PROPERTY LINE CONCRETE PAVEMENT



SPOT ELEVATION
EP — EDGE OF PAVEMENT
FFE — FINISHED FLOOR ELEVATION
TC — TOP OF CURB
SW — SIDEWALK
FG — FINAL GRADE
RIM — STRUCTURE RIM

GENERAL NOTES

- SURVEY CONDITIONS SHOWN BASED ON FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES THE WEEK OF MARCH 24, 2013.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. WORK IN ROW AND WITHIN PUBLIC EASEMENTS SHOWN ON THIS PLAN IS FOR GRAPHIC PURPOSES ONLY.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS

- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: http://www.dn.rstate.wius/funoff/stormwater/chestds.htm
- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WONR TECHNICAL STANDARDS.
- 3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY, ONLINE REPORTING OF INSPECTIONS AND MAINTENANCE IS REQUIRED TO BE SUBMITTED TO THE CITY OF MADISON.
- 4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
- 5. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
- 6. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MADISON.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
- 8. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WORR TECHNICAL STANDARDS.
- 9. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 B. BACKFULL COMPACT, AND STABULZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FLITERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- 10. INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION. REFER TO CITY OF MADISON STANDARD SPECIFICATIONS FOR DETAILS.
- 11. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
- 12. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- 1.3. ALL SLOPES EXCEEDING 5:1 (20%) AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS I. TYPE B EROSION MATTING OR APPLICATION OF A WOOT APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
- 14. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WONR AND WSPS REQUIREMENTS.
- 15. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WONR TECHNICAL STANDARD 1068.
- CONTRACTOR TO PROVIDE SOUD LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.

GRADING AND SEEDING NOTES

- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
- CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TIMES THE STORMWATER MANAGMENET FACILITY JUST PRIOR TO SEEDING AND MULCHING TO PROMOTE INFILTRATION. THIS MUST BE VERIFIED BY THE ENGINEER AS PART OF THE AS-BUILT CERTIFICATION.
- CONTRACTOR SHALL WATER ALL NEWLY SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- CONTRACTOR TO DEEP TILL ALL COMPACTED PERMOUS SURFACES PRIOR TO SEEDING AND MULCHING. THIS MUST BE VERIFIED BY THE ENGINEER AS PART OF THE AS-BUILT CERTIFICATION.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.



ARCHITECTS

2430 ROCHESTER COURT SUITE 200 TROY, MICHIGAN 48083

(248) 524-4700 (248) 524-9746

PROJECT NO. T12020

DATE ISSUE

4-2-2013 INITIAL UDC SUBMITTA 4-9-2013 REVISED UDC SUBMITTAL 4-22-2013 REVISED PER CITY 6-19-2013 UDC and PC SUBMITTAL

7-8-2013 REV. UDC & PC SUBMITTAL

CONTRACT DATE:

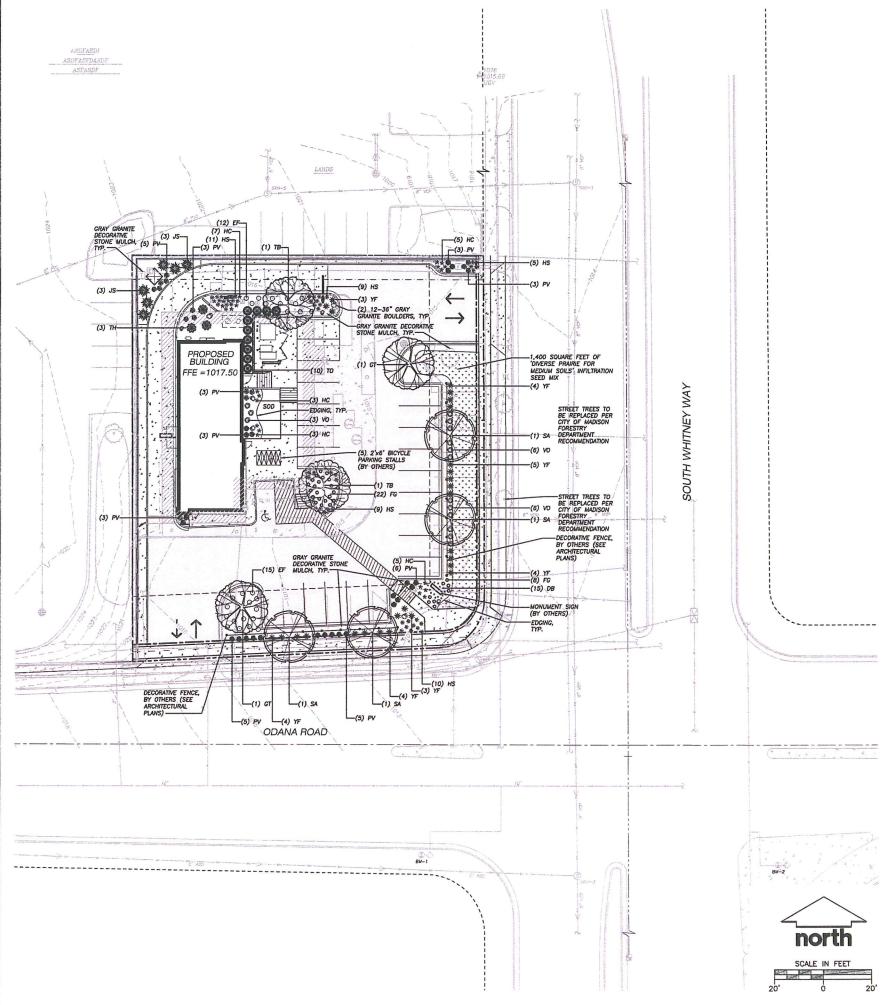
BUILDING TYPE: MED-NI-40 PLAN VERSION: SITE NUMBER: 309441 STORE NUMBER:

TACO BELL

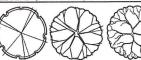
698 S. Whitney Way Madison, WI



GRADING & EROSION CONTROL PLAN



LEGEND (PROPOSED)



TALL DECIDUOUS TREE

No.	of Type	Carried Property
*0		MEDIUM/LOW DECIDUOUS SHRUB
00		MEDIUM EVERGREEN SHRUB
*		LOW EVERGREEN SHRUB
·#*		PERENNIAL
0		LOW DECIDUOUS SHRUB - GROUNDCOVER
0		ORNAMENTAL GRASS
		PROPERTY LINE
		PROPOSED ASPHALT PAVEMENT
•	_	PROPOSED CONCRETE
	·.·.·.	BIORETENTION BASIN PRAIRIE SEED MIX

GENERAL NOTES

00

- 1. REFER TO THE EXISTING CONDITIONS SURVEY DATED 03-24-2013, FOR EXISTING CONDITION NOTES AND LEGEND.
- 2. REFER TO CIVIL PLANS FOR PROPOSED PRELIMINARY GRADING, EROSION CONTROL AND UTILITY PLANS.

12-36" GRAY GRANITE BOULDER

POLYETHYLENE EDGING

- 3. REFER TO SHEET L 2.0 FOR LANDSCAPE DETAILS AND SPECIFICATIONS.
- 4. IF ANY ERRORS, DISCREPANCIES OR DIMENSIONS WITH THIS PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
- 5. CONTRACTOR SHALL OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS AND TO WORK WITHIN ANY CITY OWNED LANDS.
- 6. ALL WORK IN THE ROW OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON REQUIREMENTS.

SYM	QTY.	COM M ON NAME	BOTANICAL NAME	SIZE	ROOT	LS POINTS	EXTENSION
TALL DEC	DUDUS	TREES (CANOPY TREES)					
37	2	Ekyline Honeylogus	GLED ITS A trace ratios iar, inermis Skythe	2 1/2" Cal	EAS	35	70
EA	4	Korean Mountain Ash	SOREUEBINIDA	2 1/2" Cal	848	35	140
TE	2	Soulevard Linden	TILIA americana Boulevard	2 1/2" Cal	EVE	36	70
MEDUM D	ECIDUO	US SHRUBS					
YF	27	Adam's Needle Yuca	YUCCA flement to	15" Mn. Ht	#3 Cont	2	64
LOW DEC	DUOUS						
VD	16	Die f European Cronberrybush Viburnum	VIEUR NUMBOURS NOT UT	18" Mn. Ht	#3 Cont	2	20
MEDUM E	VERGR	EEN SHRUBS					
TG .	10	Berkmans Gold Arboryttee	THU JA orientells Eerkman's Gold	15" Mn. Ht		3	30
TH	3	Ho in strup Arbonitise	THUUR occidentalis to mishup	15 Mr. HL	#3 Cont	3	,
LOWEVE	RGREE	SHRUBS					
JS	5	Savin Juniper	JUNI FER US sebine	15" Min. HE	#3 Cont	1	15
PERENNA	LS						
DE	15	Bouquet Purp & Dianthus	DIANTHUS Bouquet Furple	2-4"H1	et Cant	0	0
45	45	Etelle DDro Daylly	HENERDOALLIS Bels DOR	10-12"H1		0	0
но	23	Stevolerly Candy Day(1)	HENER OCALL) S Brakbery Canay	10-12"H1	#1 Co.11	Q	0
LOW DEC	DUOUS	SHRUBS - GROUNDCOVER					
EF	27	Purple-les (Winter treep er Euo nym us	EU DN YMU S to roune I solo retus	12" Min. Ht.	#3 Cant		64
ORNAME	WTAL G	RASSES					
-9	30	Elliah Blue Fescue	FESTUCA glava Elijah Blue"	4-5 'Mn. Ht		2	50
PV	39	Ehen ando an Switch 9 ress	FANIOUM ingatim Shenarooah	18" Mr. H.	#2 Cont	2	75
						TOTAL POINTS:	613



LANDSCAPE WORKSHEET

Project Location / Address
Name of Project TACO BELL

<u>Randstraper Libertumous and information</u>

Regarded indistinger are shall be calculated based upon the total developed area of the property. Developed area is Acford and ill peats of the size that are not left in a manual state within a night contiguous broader, including building receptively, mortising and to other garmet, divirusly, internal diseased, peats, and including a receptively are the most peat of the manual manual means on the same property that are left undisturbed.

Developed area divided by three bundred (500) square fert = 61.59 Landscape Units

Developed area divided by six hundred (600) square feet ==

(e) One landscape unit censure of five (5) landscape points. Landscape points are calculated as shown in the following table:

Plant Type/ Element	Minimum Size at Installation	Points	Landscaping		Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2% inch caliper	3.5			В	280
Ornamental tree	1 1/2 inch caliper	15				
Evergreen tree	3 feet tall	15				
Shrub, deciduous	18" or 3 gallon container size	2			69	138
Shrub, evergreen	18" or 3 gallon container size	3			19	57
Ornamental grasses	18" or 3 gallon container size	2			69	138
Ornamental: decorative fencing or wall	n'a	4 per 10 lineal ft.			-	
Sub Tetals						465

Total Number of Points Provided 613

3.2013



SITE ADDRESS: 698 S. WHITNEY WAY
SITE ACREAGE: 23,333 SO. FT. OR 0.54 ACRES
NUMBER OF BUILDING STORES (ABOVE GRADE): 1 STORY
BUILDING HEIGHT: N/A
TYPE OF CONSTRUCTION: N/A
TOTAL SQUARE FOOTAGE OF BUILDING: 1,949 SQ. FT.

USE OF PROPERTY: RESTAURANT
OROSS SQUARE FEET OF OFFICE: N/A
OROSS SQUARE FEET OF RETAIL: N/A
NUMBER OF EMPLOYEES IN WAREHOUSE: N/A
NUMBER OF EMPLOYEES IN PRODUCTION AREA: XX
CAPACITY OF RESTAURANT/PLACE OF ASSEMBLY:

NUMBER OF PROPOSED BICYCLE STALLS SHOWN: 5 STALLS

NUMBER OF PARKING STALLS SHOWN: SMALL CAR: N/A
LARGE CAR: 18 PARKING STALLS
ACCESSIBLE: 1 PARKING STALL
TOTAL: 19 PARKING STALLS

DEVELOPMENT FRONTAGE LANDSCAPING:
296 LINEAR FEET OF ROUTAGE:
1 TREE PER 30 LINEAR FEET OF FRONTAGE:
10 TREES REQUIRED, 4 TREES PROVIDED
VARIANCE REQUESTED DUE TO SITE CONSTRAINTS
—URBAN INTENSITY OF SITE
—COMMERCIAL ACCESS ENTRY LOCATIONS

INTERIOR PARKING LOT LANDSCAPING:

TOTAL DEVELOPED AREA: 18,476 SQ. FT.

OPEN SPACE RATIO: .210

RE-DEVLOPMENT PARKING AREA: 12,800 SQ. FT.

LANDSCAPE AREA REQUIRED (5%) = 640 SQ. FT.

1 TREE PER 160 SQ. FT. = 4 TREES REQUIRED

4 PARKING LOT TREES PROVIDED



PREPARED FOR

L+A ARCHITECTS, INC. 2430 ROCHESTER COURT, STE. 200 TROY, MI 48083

CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE MISCONSIN STATE STATUTE 162.0175(1874) REQUIRES MINIMU THREE (2) NORK BATS MOTEE BEFORE YOU EXCAVATE

TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACULTIES BEFORE YOU DIG IN WISCONSIN



INC.

2430 ROCHESTER COUR SUITE 200 TROY, MICHIGAN 4808

PHONE (248) 524-4700 (248) 524-974

PROJECT NO. T1202

DATE ISSUE 4-2-2013 INITIAL UDC SUBMI 4-9-2013 REVISED UDC SUBMI 4-22-2013 REVISED PER 6-19-2013 UDC and PC SUBMI

7-08-2013 UDC and PC SUBM

CONTRACT DATE:

MED-N

DEC 1

BUILDING TYPE: PLAN VERSION: SITE NUMBER:

STORE NUMBER:

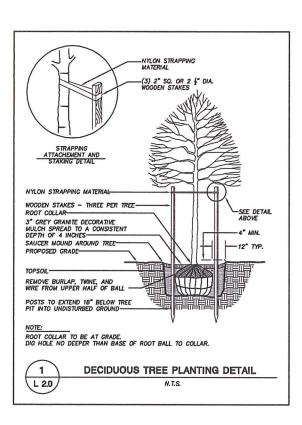
TACO BELL

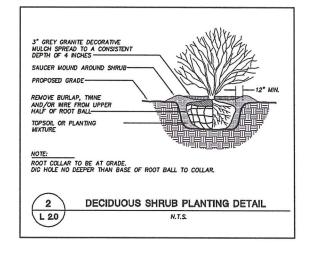
698 S. Whitney Way Madison, WI

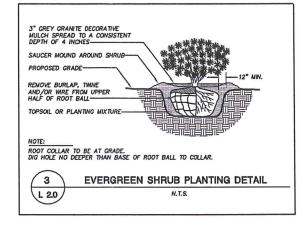


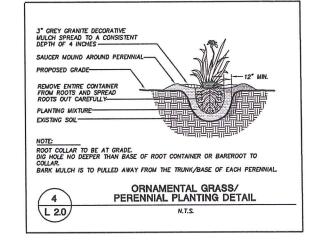
LANDSCAPE PLAN

PLOT DATE: The second secon









LANDSCAPE NOTES AND SPECIFICATIONS

- 1. GENERAL: JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEMATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY ACEONES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-B00-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. AND DIGGING, INDIGHT. INSTALL ALL PLANTS THAT ARE NEAR ENSTRUC UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING. AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- 2. DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS MITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY, ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THAT STOCK NOT PLANTED BY STORING STOCK IN A SHADED AREA PROTECTING THE ROOT MASS WITH MET SOIL, MOSS OR OTHER SUITABLE MEDIA AND KEEPING WELL WATERED. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE THE OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
- 3. GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUCH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A MODROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, NO.CULINING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, SOO, ETC. REPAIR DAMAGE TO OTHER PLANTS OR LAWNS DURING PLANT REPLACEMENT, NO.CULING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, SOO, ETC. REPAIR DAMAGE TO OTHER PLANTS OR LAWNS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)—YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- 4. MATERIALS PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANS ZBO.1—2004. PLANTS SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLINATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SOND, HEALTHY, MOSTONI, WELL PROVIDED AND DESIGN FOR THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE SOND, HEALTHY, MOSTONI, WELL PROVIDED AND DENSILY FOLLATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL—DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIWNG GROWTH. PLANTS SHALL BE OF THE HIGHEST CUALITY, HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE SOUND, HEALTHY, MCGROUS AND FREE OF INJURY, PARKWAY TREES AND PARKWIC LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- 5. PLANTING SOIL TO BE A MINIMUM 6° DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A PH BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. DO NOT PLACE FROZEN OR MUDDLY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAFE BEDS PER SOIL TEST.
- 6. MATERIALS EDGING: EDGING SHALL BE 5" DEEP, BLACK, POLYETHYLENE EDGING INSTALLED PER MANUFACTURER'S RECOMMENDATION.
- 7. MATERIALS WEED BARRIER FABRIC: ALL PLANTING BEDS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED, EXAMPLE: BLACK VISQUEEN.
- B. MATERIALS: ALL PLANTING BEDS AND PARKING ISLANDS TO RECEIVE 3" AGGREGATE GRAY GRANITE DECORATIVE STONE SPREAD TO A CONSISTENT DEPTH OF 4 INCHES OVER ENTIRE PLANTING AREA. DECORATIVE STONE MULCH TO BE PULLED AWAY FROM BASE OF PLANTS AT TIME OF INSTALLATION. COLOR AND SIZE SAMPLES SHALL BE PROVIDED TO OWNER FOR APPROVAL PRIOR TO INSTALLATION.
- 9. TREES PLANTED IN INTERIOR LAWN AREAS TO BE INSTALLED WITH A 5' DIAMETER MULCH RING. AREA SHALL RECEIVE 3" AGGREGATE GRAY GRANITE DECORATIVE STONE SPREAD TO A CONSISTENT DEPTH OF 4 INCHES OVER ENTIRE TREE RING AREA. EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING INSTALLED PER MANUFACTURER'S RECOMMENDATION.
- 10. MATERIALS: CONTRACTOR TO PROVIDE AND INSTALL ALL 12"-36" GRAY GRAVITE BOULDERS AS INDICATED ON LANDSCAPE PLAN. GRAY GRAVITE BOULDERS TO MEET STANDARDS OF TACO BELL DESIGN REQUIREMENTS. COLOR AND SIZE SAMPLES SHALL BE PROVIDED TO OWNER FOR APPROVAL PRIOR TO INSTALLATION.
- 11. MATERIALS BIOFINFILTRATION SEED: AREAS DESIGNATED AS BIOINFILTRATION BASIN TO BE HAND SEEDED WITH "DIVERSE PRAIRE FOR MEDIUM SOILS" SEED MIX (ITEM NO. 50012) AS PROVIDED BY PRAIRE NURSERY, P.O. BOX 306, WESTFIELD, WISCONSIN, 53864, TEL. 608-296-3979. INSTALL SEED WITH SUPPLEMENTAL MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT.
- 12. MATERIALS: SOO ALL DISTURBED AREAS AS SPÉCIFIED IN THESE NOTES: TURFGRASS SOO: CLASS OF TURFGRASS SOO SHALL BE PREMIUM GRADE APPROVED TURFGRASS SOO. ONLY IMPROVED TYPES OF SOO (EUTE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .50 INCH, PLUS OR MINIOS. 25 INCH. AT TIME OF CUTTING, MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TUPFGRASS SOO SHALL BE STRONG ENOUGH SO THAT IT CAN BE PICKED UP AND HANDLED MITHOUT DAMAGE. TURFGRASS SOO SHALL BE STRONG ENOUGH SO THAT IT CAN BE PICKED UP AND HANDLED MITHOUT DAMAGE. TURFGRASS SOO SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOO STAYS ALVIE AND ROOTS INTO SOUL THE CONTENTS OF STAYS AND INSTALLED/TRANSPLANTED WITH A PERIOD OF 24 HOURS. TURGGRASS SOO SHALL BE RELATIVELY FREE OF THATCH, UP TO .5 NICH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOO SHALL BE REASONABLY FREE (TO WEEDS/IN) SO, ET.) OF DISSASS AND SOUL-BORNE INSERTS. ALL TURFGRASS SOO SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS. THE SOOI SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.
- 13. PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS COUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANS ASSO. PRUNE TREES IN ACCORDANCE WITH NAA GUIDEUNES. DO NOT TOP TREES. PRUNE SHRUEDS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" NO DIMBETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
- 14. CLEANUP: DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANUP OF AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CONDITION SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD. LIKEMISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- 15. MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, BUFFER AREAS AND SECDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 30 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADDOUATELY WATERING PLANTS AND LAWN DURING THIS 30 DAY ESTABLISHINENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY MOGROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRINCING OF PLANT MATERIALS AND SHAPING AND/OR REPLACEMENT OF DEFICIENT BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION.

 DATE
 ISSUE

 4-2-2013
 INITIAL UDC SUBMITTAL

 4-9-2013
 REVISED UDC SUBMITTAL

 4-22-2013
 REVISED PER CITY

2430 ROCHESTER COURT

SUITE 200

TROY, MICHIGAN 48083

(248) 524-4700 (248) 524-9746

PROJECT NO. T12020

PHONE

6-19-2013 UDC and PC SUBMITTAL 7-08-2013 UDC and PC SUBMITTAL

CONTRACT DATE: –
BUILDING TYPE: MED-NI-40
PLAN VERSION: DEC 12-A

SITE NUMBER: 309441 STORE NUMBER: -

TACO BELL

698 S. Wnitney Way Madison, WI

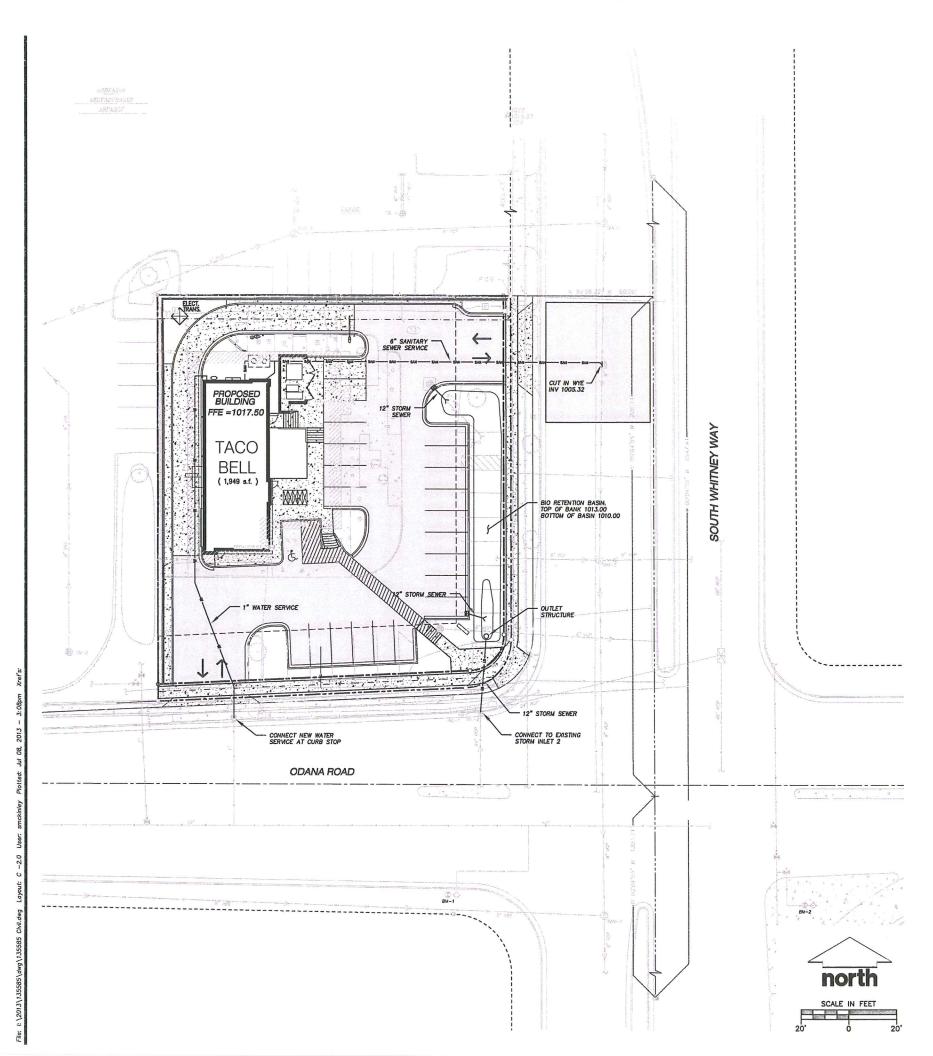


LANDSCAPE DETAILS & SPECIFICATIONS

L 2.0

PLOT DATE:

4-22-



LEGEND (PROPOSED)

PROPOSED PROPERTY LINE ---- EXISTING PROPERTY LINE - STORM SEWER - SANITARY SEWER WATER MAIN
 GAS SERVICE (DESIGN BY UTILITY) ASPHALTIC PAVEMENT
CONCRETE PAVEMENT

- SURVEY CONDITIONS SHOWN BASED ON FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES THE WEEK OF MARCH 24, 2013.
- 2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. WORK IN ROW AND WITHIN PUBLIC EASEMENTS SHOWN ON THIS PLAN IS FOR GRAPHIC PURPOSES ONLY.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

UTILITY NOTES

- ALL WORK IN THE RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF MADISON STANDARD CONSTRUCTION SPECIFICATIONS (STANDARD SPECIFICATIONS). CONTACT THE CITY OF MADISON A MINIMUM OF 48 HOURS IN ADVANCE OF ANY WORK WITHIN THE ROW TO SCHEDULE A PRECONSTRUCTION MEETING.
- 2. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- 3. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
- 6. PROVIDE DE-WATERING ACTIVITIES AND PERMITS AS NECESSARY PER WONR REQUIREMENTS AND WONR TECHNICAL STANDARD
- 7. ALL PRIVATE WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 6' MINIMUM BURY.
- THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, AND WONR.

- ONDIFFUNCTION THE CONTRACTOR IS RESPONSIBLE FOR:

 10. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:

 EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIS ARE TO BE REPORTED TO THE CONDITIONS INDICATED ON THE START OF CONSTRUCTION.

 OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.

 VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.

 NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.

 NOTIFYING THE DESIGN ENGINEER AND MINICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
- 11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED MIPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWNOS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWNOS OR ADDITIONAL ITEMS WIST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- 12. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- 13. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- 14. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL NOTIFY THE CITY OF MADISON PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
- 16. ALL PRIVATE SANITARY BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-2
- 17. ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
- 18. ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-4.
- 19. ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 382.40-8 INCLUDING AT LEAST 8' OF HORIZONTAL DISTANCE BETWEEN WATER PIPING AND SANITARY SEWER FROM CENTER OF PIPE TO CENTER OF PIPE AND 6" OF SEPARATION BETWEEN STORM SEWER AND WATER PIPING.
- 20. THE CONTRACTOR SHALL ALLOW 10 WORKING DAYS FOR THE CONSTRUCTION OF UTILITIES WHEN SCHEDULING THE WORK AND SHALL NOT RESTRICT ACCESS TO THE UTILITY CONTRACTORS.
- 21. INLET CASTINGS SHALL BE SET TO GRADE PRIOR TO AND SEPARATE FROM THE POURING OF THE CONCRETE CURB AND GUTTER. IT IS REQUIRED THAT THREE FEET OF CONCRETE CURB AND GUTTER ON EACH SLOE OF THE INLET SHALL BE POURED BY HAND, NOT THROUGH THE USE OF A CURB MACHINE. THE INLET CASTING SHALL BE SET TO GRADE ON A BED OF MORTAR WHICH SHALL BE A MINIBUM OF TWO INCHES THICK. THE INLET SHALL BE PLACED ON THE MORTAR BED AND SHALL BE ADJUSTED TO GRADE BY APPLIANG DIRECT PRESSURE TO THE CASTING. ONCE THE CASTING ADJUSTMENT IS COMPLETE, THREE FEET OF CURB AND GUTTER ON EACH SIDE OF THE CASING SHALL BE POURED BY HAND.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST AND EROSION DURING CONSTRUCTION AT HIS EXPENSE. STREETS SHALL BE WATERED TO CONTROL DUST WHEN ORDERED BY THE ENGINEER.
- 23. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS SO AS TO BE IN CONFORMANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE, AND DNR ADMINISTRATIVE RULE NR 216 AT ALL TIMES.
- 24. ALL CASTINGS SHALL BE NEENAH FOUNDRY CASTINGS AS SHOWN OR EQUAL.



2430 ROCHESTER COURT SUITE 200 TROY, MICHIGAN 48083

(248) 524-4700 (248) 524-9746

PROJECT NO. T12020

DATE ISSUE

4-2-2013 INITIAL UDC SUBMITTA 4-22-2013 REVISED PER CIT 6-19-2013 UDC and PC SUBMITTA

CONTRACT DATE: BUILDING TYPE: PLAN VERSION: DEC 12-A SITE NUMBER: 309441

STORE NUMBER:

TACO BELL

698 S. Whitney Way Madison, WI



UTILITY PLAN