

VARIANCE FEES

MGO \$50.00
 GOMM \$490.00
 Priority – Double above

PETITION FOR VARIANCE APPLICATION

City of Madison
 Building Inspection
 Division
 126 S. Hamilton St.
 Madison, WI 53703
 (608) 266-4568

Amount Paid 50.00 *4/10/17 FMR*

Name of Owner Rohy Seltz	Project Description Residential remodel	Agent, architect, or engineering firm Concepts in Architecture LLC
Company (if applies) Rohy LLC		No. & Street W125 Amidon Road
No. & Street 4582 Bishops Ct	Tenant name (if any)	City, State, Zip Code Brooklyn WI 53521
City, State, Zip Code Middleton, WI 53562	Building Address 12 S. Allen Street	Phone 608-698-3196
Phone 608-692-9581		Name of Contact Person Jeff Groenier
e-mail seltz.rohy@gmail.com		e-mail ciallc@hotmail.com

- The rule being petitioned reads as follows: (Cite the specific rule number and language. Also, indicate the nonconforming conditions for your project.)
 321.04(2)c Tread depth of 9" (existing has 8" noise to noise)
 321.04(d)1 headroom of 76" (existing has 66" headroom)
 321.02 Floor live load of 40 PSF (per IBC 1607.1 30 PSF allowed in attic bedroom)
- The rule being petitioned cannot be entirely satisfied because:
 The building is over 50 years old and would have to be reconstructed to meet the new codes.
- The following alternatives and supporting information are proposed as a means of providing an equivalent degree of health, safety, and welfare as addressed by the rule:
 Egress window in attic bedroom meets second exit requirements. Proposing interconnected wireless smoke detectors between all 3 floors. *ATTIC BEDROOM IS ON THE SECOND FLOOR.*
IBC ALLOWS 30 PSF FOR AN ATTIC BEDROOM.

Note: Please attach any pictures, plans, or required position statements.

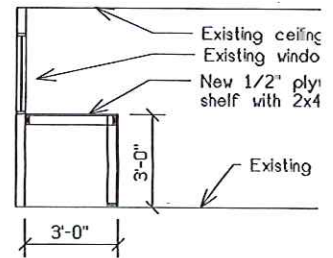
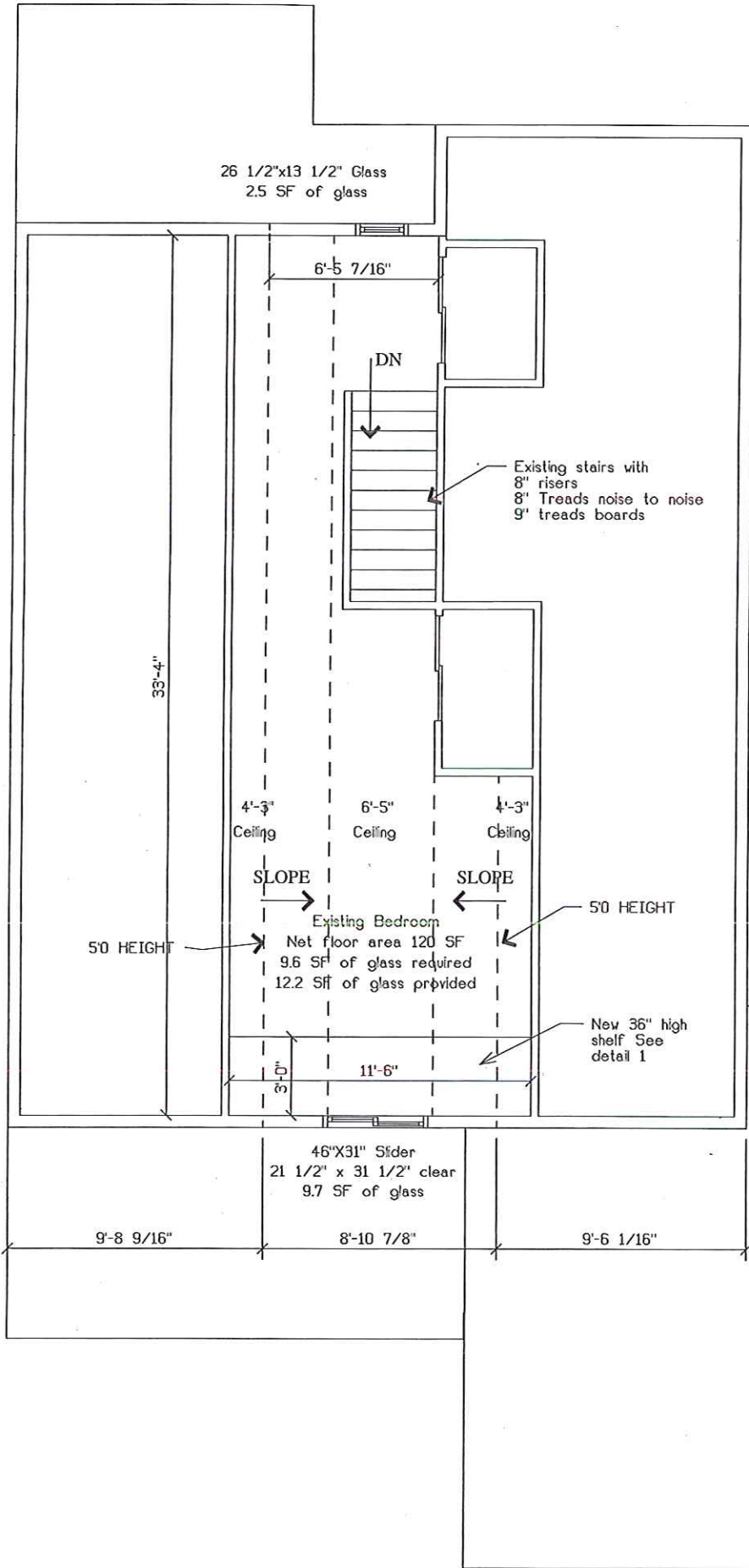
VERIFICATION BY OWNER – PETITION IS VALID ONLY IF NOTARIZED AND ACCOMPANIED BY A REVIEW FEE AND ANY REQUIRED POSITION STATEMENTS.

Note: Petitioner must be the owner of the building. Tenants, agents, contractors, attorneys, etc. may not sign the petition unless a Power of Attorney is submitted with the Petition for Variance Application.

Rohy Seltz _____, being duly sworn, I state as petitioner that I have read the foregoing petition, that I believe it to be true, and I have significant ownership rights in the subject building or project.

Signature of owner <i>Rohy Seltz</i>	Subscribed and sworn to before me this date:
Notary public	My commission expires:

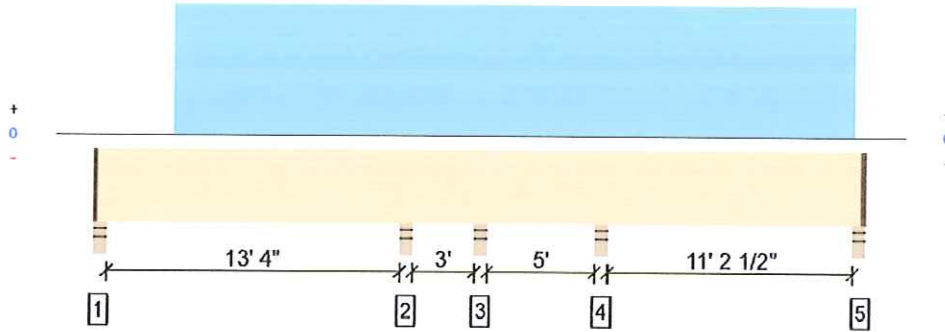
NOTE: ONLY VARIANCES FOR COMMERCIAL CODES ARE REQUIRED TO BE NOTARIZED.



Detail #1



Overall Length: 34'



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	789 @ 13' 9 1/4"	2231 (3.50")	Passed (35%)	--	1.0 D + 1.0 L (Adj Spans)
Shear (lbs)	393 @ 14' 4 1/2"	743	Passed (53%)	1.00	1.0 D + 1.0 L (Adj Spans)
Moment (Ft-lbs)	-828 @ 13' 9 1/4"	824	Passed (100%)	1.00	1.0 D + 1.0 L (Adj Spans)
Live Load Defl. (in)	0.457 @ 6' 5 3/8"	0.452	Passed (L/356)	--	1.0 D + 1.0 L (Alt Spans)
Total Load Defl. (in)	0.545 @ 6' 5 1/4"	0.678	Passed (L/298)	--	1.0 D + 1.0 L (Alt Spans)
TJ-Pro™ Rating	N/A	N/A	--	--	--

System : Floor
 Member Type : Joist
 Building Use : Residential
 Building Code : IBC 2009
 Design Methodology : ASD

- Deflection criteria: LL (L/360) and TL (L/240).
- Input live load span ratio deflection limit is below building code minimum value of L/360. This minimum value was used for design.
- Input total load span ratio deflection limit is below building code minimum value of L/240. This minimum value was used for design.
- Bracing (Lu): All compression edges (top and bottom) must be braced at 6" o/c unless detailed otherwise. Proper attachment and positioning of lateral bracing is required to achieve member stability.
- A 15% increase in the moment capacity has been added to account for repetitive member usage.
- -411 lbs uplift at support 16' 11 1/2". Strapping or other restraint may be required.
- Applicable calculations are based on NDS.
- No composite action between deck and joist was considered in analysis.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Floor Live	Total	
1 - Stud wall - SPF	3.50"	2.25"	1.50"	21	107/-2	128/-2	1 1/4" Rim Board
2 - Stud wall - SPF	3.50"	3.50"	1.50"	127	662	789	None
3 - Stud wall - SPF	3.50"	3.50"	1.50"	-45	214/-366	214/-411	None
4 - Stud wall - SPF	3.50"	3.50"	1.50"	103	518	621	None
5 - Stud wall - SPF	3.50"	2.25"	1.50"	34	176/-5	210/-5	1 1/4" Rim Board

- Rim Board is assumed to carry all loads applied directly above it, bypassing the member being designed.

Loads	Location (Side)	Spacing	Dead (0.90)	Floor Live (1.00)	Comments
1 - Uniform (PSF)	3' 6" to 33' 6"	16"	6.0	30.0	Residential - Sleeping Areas

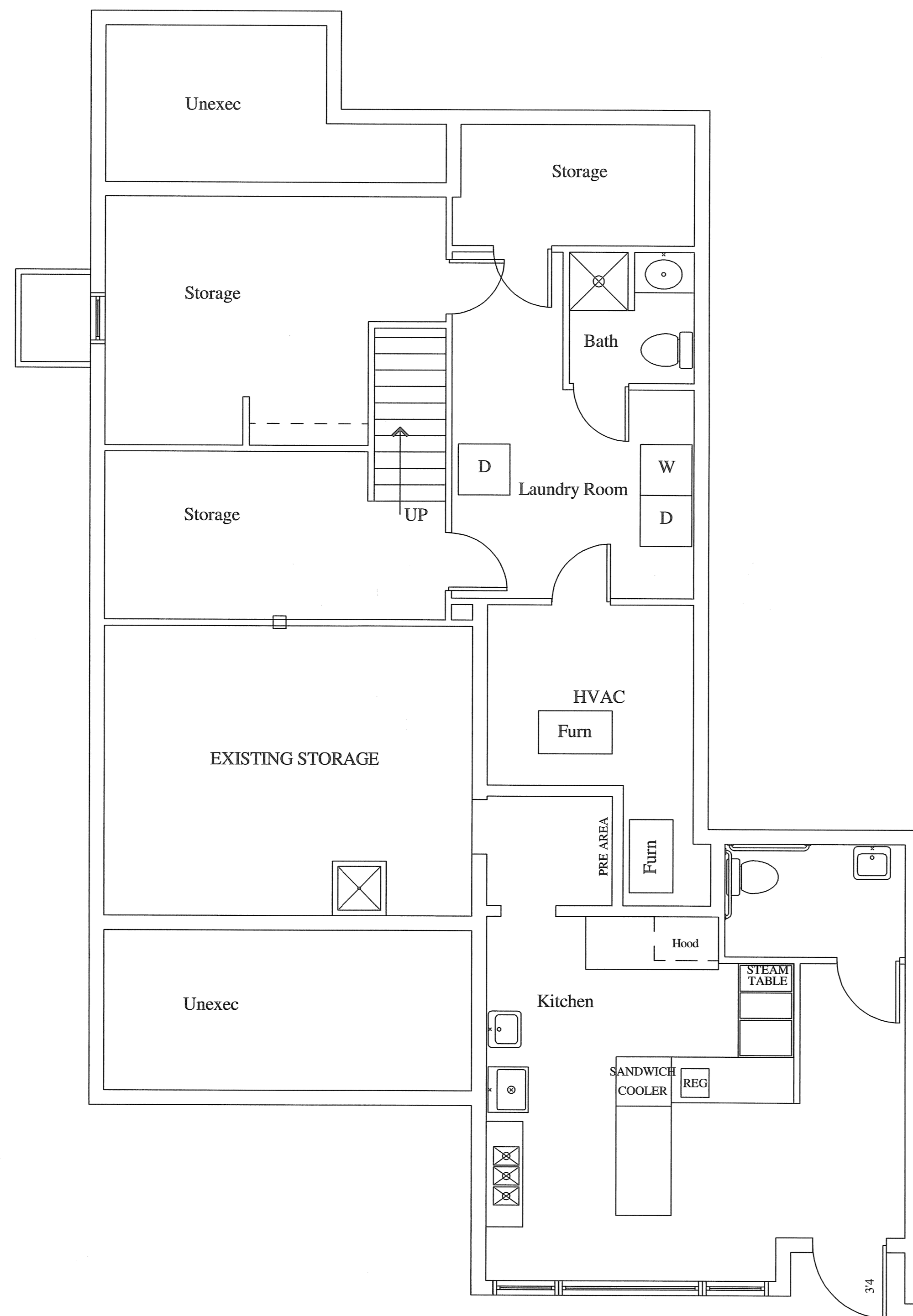
Weyerhaeuser Notes

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The product application, input design loads, dimensions and support information have been provided by Forte Software Operator



Forte Software Operator jeff.groenier concepts in architecture llc (608) 835-3196 jbgroenier@msn.com	Job Notes
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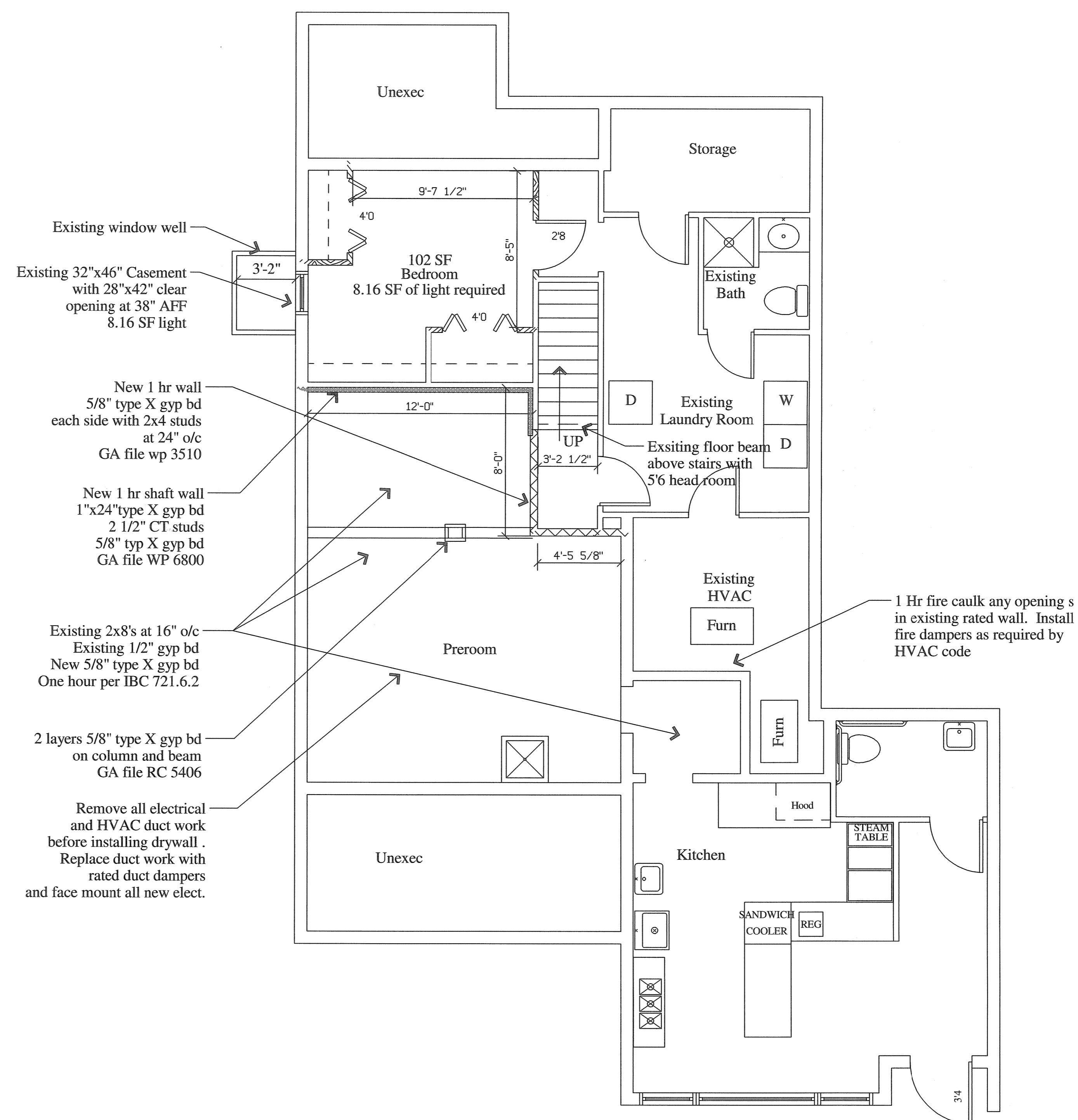


Exist. Lower Level Plan

Scale = 1/4"=1'-0"



North



New Lower Level Plan

Scale = 1/4"=1'-0"



North

- Existing window well
- Existing 32"x46" Casement with 28"x42" clear opening at 38" AFF 8.16 SF light
- New 1 hr wall 5/8" type X gyp bd each side with 2x4 studs at 24" o/c GA file wp 3510
- New 1 hr shaft wall 1"x24" type X gyp bd 2 1/2" CT studs 5/8" typ X gyp bd GA file WP 6800
- Existing 2x8's at 16" o/c Existing 1/2" gyp bd New 5/8" type X gyp bd One hour per IBC 721.6.2
- 2 layers 5/8" type X gyp bd on column and beam GA file RC 5406
- Remove all electrical and HVAC duct work before installing drywall. Replace duct work with rated duct dampers and face mount all new elect.
- Existing floor beam above stairs with 5'6" headroom
- Existing Bath
- Existing Laundry Room
- Existing HVAC
- 1 Hr fire caulk any openings in existing rated wall. Install fire dampers as required by HVAC code

Jeffery Croenier, Architect
 W125 Amidon Road
 Brooklyn, WI 53521
 608-698-3196

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Architecture, LLC

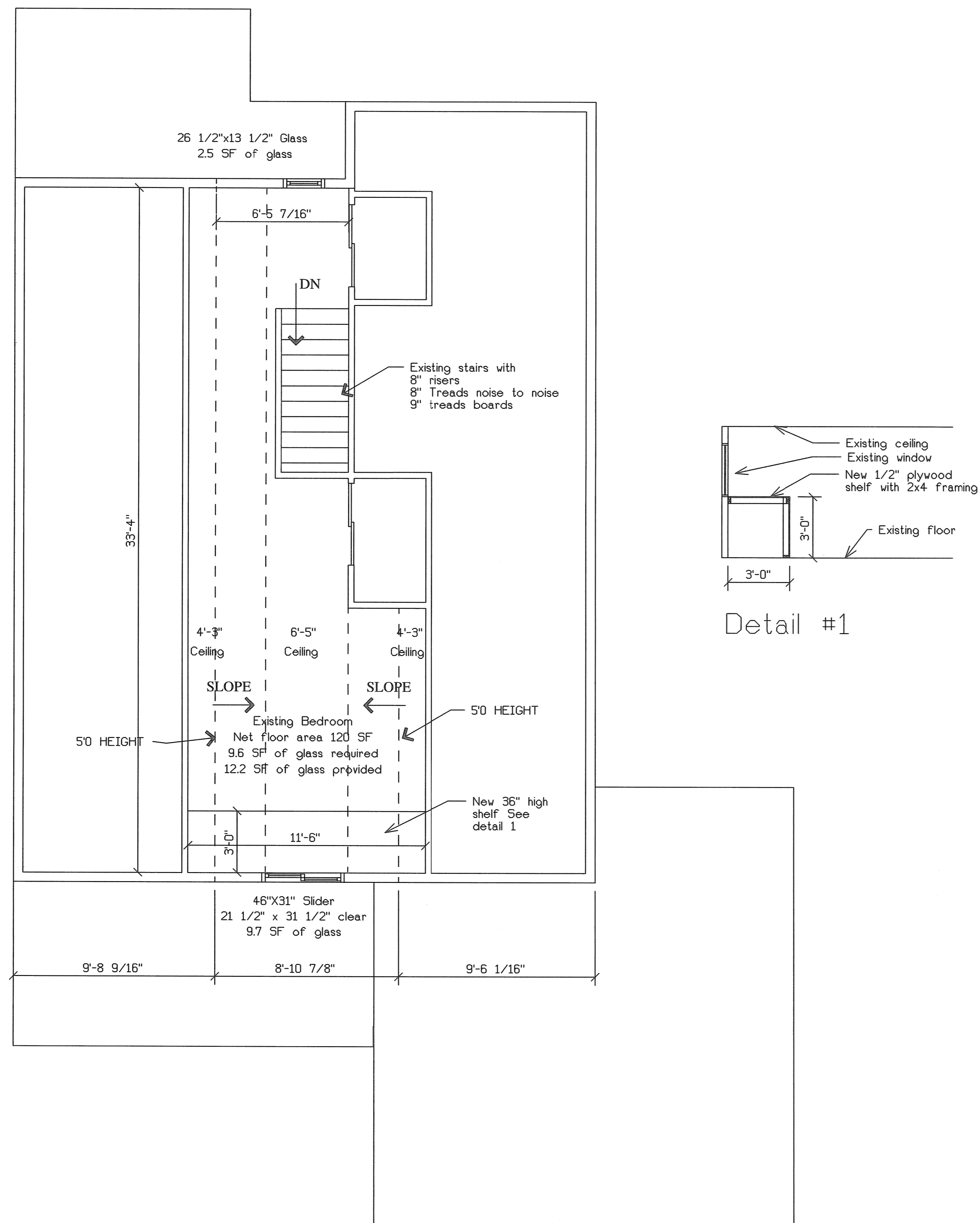
Proposed for:
Regent Take Out
Rohy Seltz
 10 S. Allen Street
 MADISON, WI 53704
 608-692-9581

Project: **10 S. Allen**
 Address: Madison, WI

Sheet Title: **Lower Level Plan**

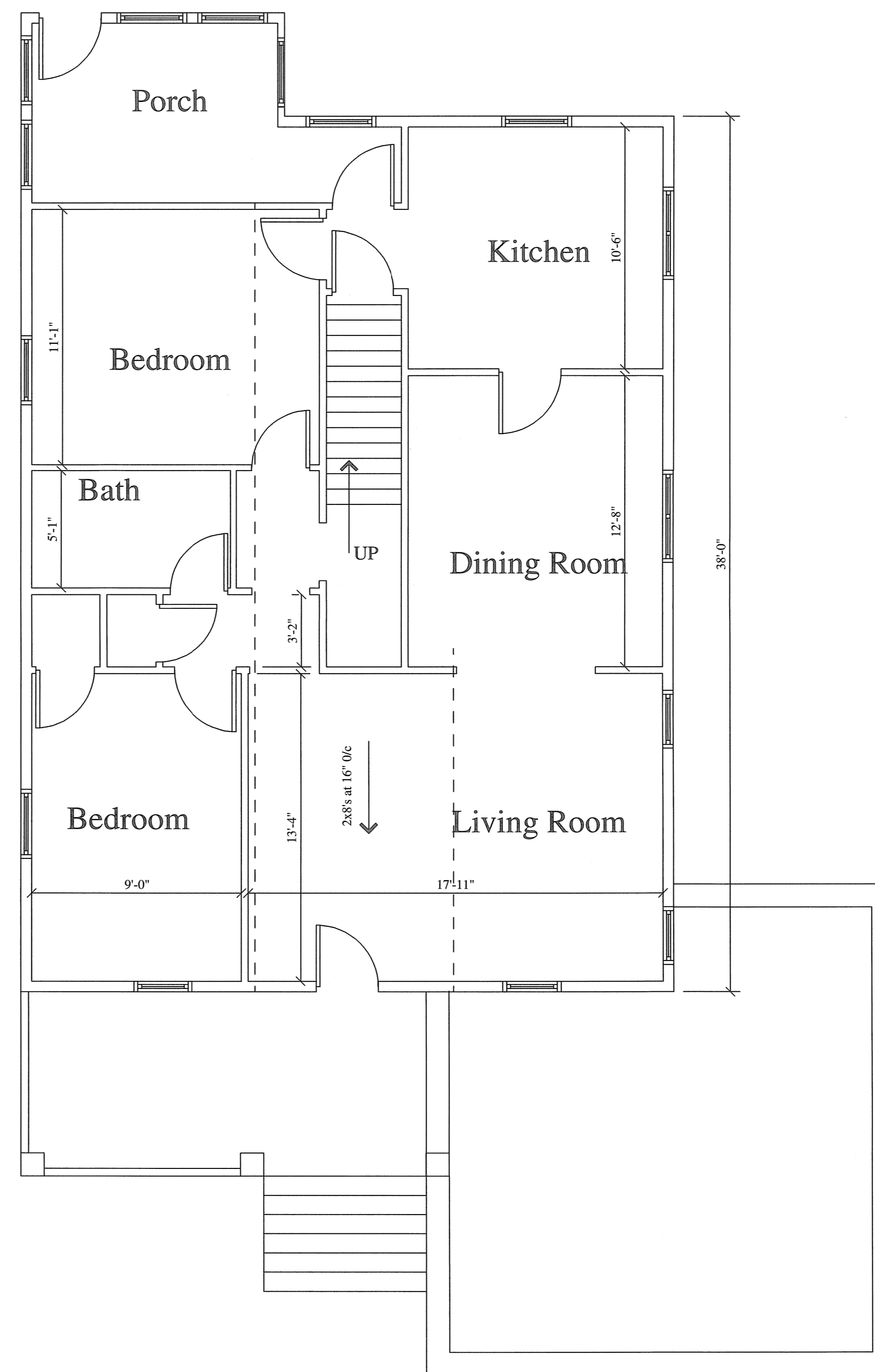
Date: 04-09-2017
 Scale: As Noted
 Job #: 05-01

SHEET
A1



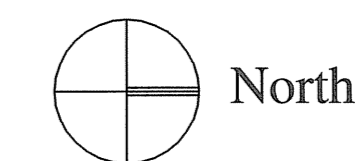
New Second Floor Plan

Scale = 1/4"=1'-0"



Existing First Floor Plan

Scale = 1/4"=1'-0"



Project: 11 S. Allen
Address: Madison, WI

Sheet Title: Lower Level Plan

Proposed for: Regent Take Out
Rohy Seltz

Address: 10 S. Allen Street
MADISON, WI 53704
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Concepts
in
Architecture, LLC

Jeffery Grenier, Architect
W125 Armidon Road
Brooklyn, WI 53521
608-698-3196
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Scale: As Noted

Job #: 05-01

SHEET
A2