# Fairchild Building Improvement - Design Development

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AFF ACT	Above Finished Floor Acoustical Ceiling Tile
ADDL	Additional
AFC AFG	Above Finished Counter Above Finished Grade
ALUM APPD	Aluminum Approved
ASC	Above Suspended Ceiling
BB BFF	Baseboard Below Finished Floor
BFG BLDG	Below Finished Grade Building
BLW	Below
BOC BOC	Bottom of Bottom of Concrete
BOS BPL	Bottom of Steel  Base Plate
СВ	Catch Basin
CF/CI	Ceramic Tile Base Contractor Furnished / Contractor Installed
CF/OI CG	Contractor Furnished / Owner Installed Corner Guard
CIP	Cast-In-Place
CJ CL	Control Joint Center Line
CLG CMU	Ceiling Concrete Masonry Unit
CO	Cleanout
COL	Column Concrete
CORR	Continuous Corridor
CPT	Carpet
CSWK	Casework Ceramic Tile
CW DEMO	Cold Water Demolition
DF	Drinking Fountain
DIA DR	Diameter Door
DS DW	Downspout Dishwasher
DWG	Drawing
E EA	East Each
EJ EL	Expansion Joint Elevation
ELEV	Elevator
EPS EQ	Expanded Polystyrene Board Equal
EST EXP	Estimated Expand, Expansion
EXT	Exterior
F FA	Female Fire Alarm
FAB FD	Fabric Floor Drain
FEC	Fire Extinguisher Cabinet
FHC FLR	Fire Hose Cabinet Floor
FM FND	Floormat Foundation
FO	Finished Opening
FP FTG	Fire Protection Footing
GA GALV	Gauge Galvanized
GB	Grab Bar
GR GT	Grade Grout
GYP HB	Gypsum Board  Hose Bib
HC HGT	Hollow Core Height
НМ	Handicapped
HM HVAC	Hollow Metal Heating, Ventilation & Air Conditioning
HW ID	Hot Water Inside Diameter
INT	Interior
JHA LAV	Jurisdiction Having Authority Lavatory
LL M	Live Load  Male
MAX	Maimum
MFR MIN	Manufacturer Minimum
MISC MO	Miscellaneous Masonry Opening
N	North
NA NIC	Not Applicable Not in Contract
NM NTS	Nominal No to Scale
ОС	on center
OD OF / CI	Outside Diameter Owner Furnished / Contractor Installed
OF / OI	Owner Furnished / Owner Installed
OHD OPNG	Over Head Door Opening
OPP PERP	Opposite Perpendicular
OLYISO	Polyisocyanurate Board
PT PTN	Paint, Painted Partition
RCP RD	Reflected Ceiling Plan Roof Drain
REBAR	Reinforcing Steel Bars
REF REV	Reference Revision
RO S	Rough Opening South
SAN	Sanitary
SST TEMP	Stainless Steel Temperature
TFF TO	Top of Finsihed Floor Top of
TOB	Top of Beam
TOC	Top of Concrete Top of Joist
TYP UNO	Typical Unless Noted Otherwise
VIF	Verified in Field
W	West
W/	With
W/O	Without

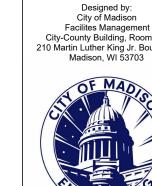
General Abbreviations

- General Conditions: All scheduled numbers and amounts of material and equipment are for contractor's convenience only. Contractor shall count and measure independently for bidding and ordering purposes. All scheduled numbers, lengths and other amounts may be incorrect and owner is not liable for mismatch.
  - Notes applied to single items may apply to all like items on view. Before bidding contractor shall familiarize with existing conditions, scope of work and means and methods required. Contractor shall inquire about any missing or apparently incomplete details and specifications

  - Entire contract includes all specifications, plan sheets and other documents issued by owner. Bid documents don't intend to detail which subcontractor is responsible for what type of work. Any trade shall be
- familiar with the entire contract. Division of work is responsibility of contractor. UTILITY CONNECTIONS: where work indicated includes installation of utilities (Gas, Power, Water, Sewer, Phone etc.) provide all the required work that normally is not done by the Utility. Contractor shall inquire with Utilities to learn about the Scope of the Utility's work.
- Drawing Conventions To be demolished items are shown in dashed line. Some items necessary for removal may not be shown and removal is part of the contract.
  - Count of devices. lengths, areas and volumes are given for convenience only. Actually required numbers may be different and contractor is responsible to determine the actual need prior bidding. Details will require items that will not be shown for every instance in the model. For example, a shut-off valve may be shown for a specific detail but the plans don't show this valve for every single instance - this valve will be required for each such device.

- PROJECT DESCRIPTION:
- SPECIAL SITE CONDITIONS:
- **WORK HOURS**
- Meet requirements of local ordinances, rules and laws. Hours of operation are limited to 7 a.m. to 7 p.m. Monday through Saturday and Sunday 10 a.m. through 7 p.m.
- unless approved otherwise. WORK PROVIDED BY OWNER (DON'T INCLUDE IN BID PRICE):
- EQUIPMENT PROVIDED BY OWNER (DON'T INCLUDE IN BID PRICE):
- SPECIAL WARRANTIES:
- PROVISIONS FOR FUTURE WORK
- PERMIT REQUIREMENTS: Contractor is responsible to obtain all permits. See specification section 00 31 46 for details.
- Contractor may use owner's power and water at no cost. CONTINUITY OF SERVICE:
- SEQUENCING REQUIREMENTS:
- ALTERNATES:

Review Set - Not for Construction



Facilites Management
City-County Building, Room 115

Fairchild Building Improvement -Design Development

120 S. Fairchild St. Madison, WI 53703

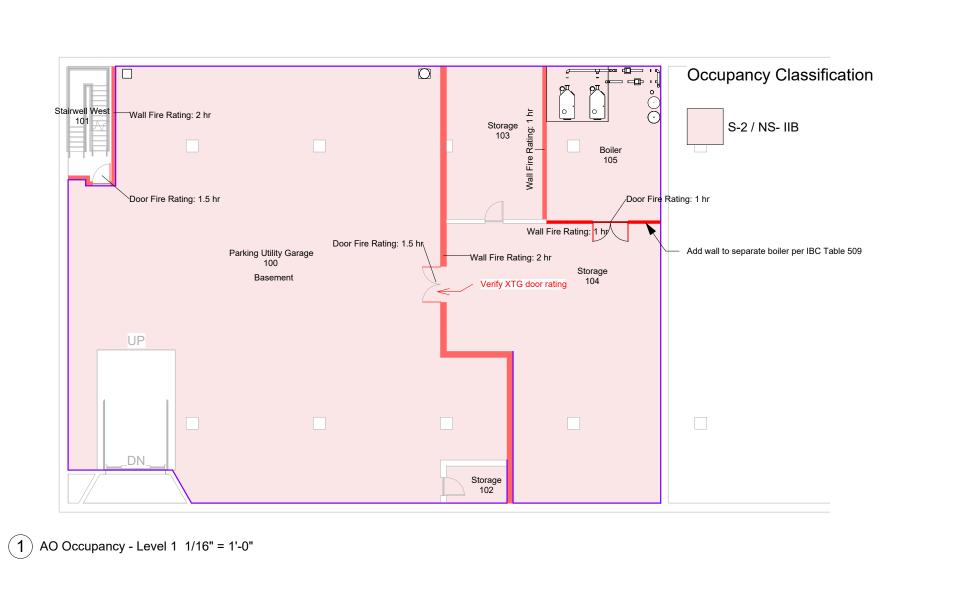
Contract: 9135

Revisions

Cover

001

Print Date: 8/10/2022 8:38:45 Print in color on 36" x 24"



Door Fire Rating: 1.5 hr

(3) AO Occupancy - Level 3 1/16" = 1'-0"

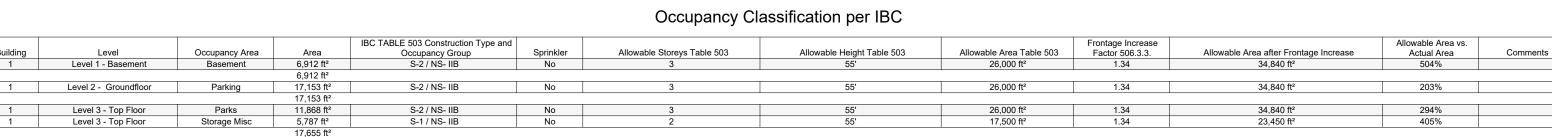
1/4" = 1'-0"

3/16" = 1'-0"

1/8" = 1'-0"

Wall Fire Rating: 1 hr

	Occupancy Classification per IBC											
Building	Level	Occupancy Area	Area	IBC TABLE 503 Construction Type and Occupancy Group	Sprinkler	Allowable Storeys Table 503	Allowable Height Table 503	Allowable Area Table 503	Frontage Increase Factor 506.3.3.	Allowable Area after Frontage Increase	Allowable Area vs. Actual Area	Comments
1	Level 1 - Basement	Basement	6,912 ft <sup>2</sup>	S-2 / NS- IIB	No	3	55'	26,000 ft <sup>2</sup>	1.34	34,840 ft²	504%	
			6,912 ft <sup>2</sup>									
1	Level 2 - Groundfloor	Parking	17,153 ft <sup>2</sup>	S-2 / NS- IIB	No	3	55'	26,000 ft <sup>2</sup>	1.34	34,840 ft²	203%	
			17,153 ft <sup>2</sup>									
1	Level 3 - Top Floor	Parks	11,868 ft²	S-2 / NS- IIB	No	3	55'	26,000 ft <sup>2</sup>	1.34	34,840 ft²	294%	
1	Level 3 - Top Floor	Storage Misc	5,787 ft <sup>2</sup>	S-1 / NS- IIB	No	2	55'	17,500 ft²	1.34	23,450 ft²	405%	



- Existing building occupancy and fire protection:

  A. Classification of Work (IEBC):

  1. IEBC 504 Level 2 due to reconfiguration of space in minor area (less than 10% of floor space in the repsective level)

  2. S-2 space will be increased by ~1560ft² and S-1 area will be decreased by the same amount.
- B. Existing Building:

  1. Built in 1927. Original plans don't contain any information regarding fire protection.

  2. Use: Parking Garage (S-2) and storage (S-1). No change in use due to this project.

  3. No sprinkler system, no standpipe, fire alarm or provisions for sprinkler

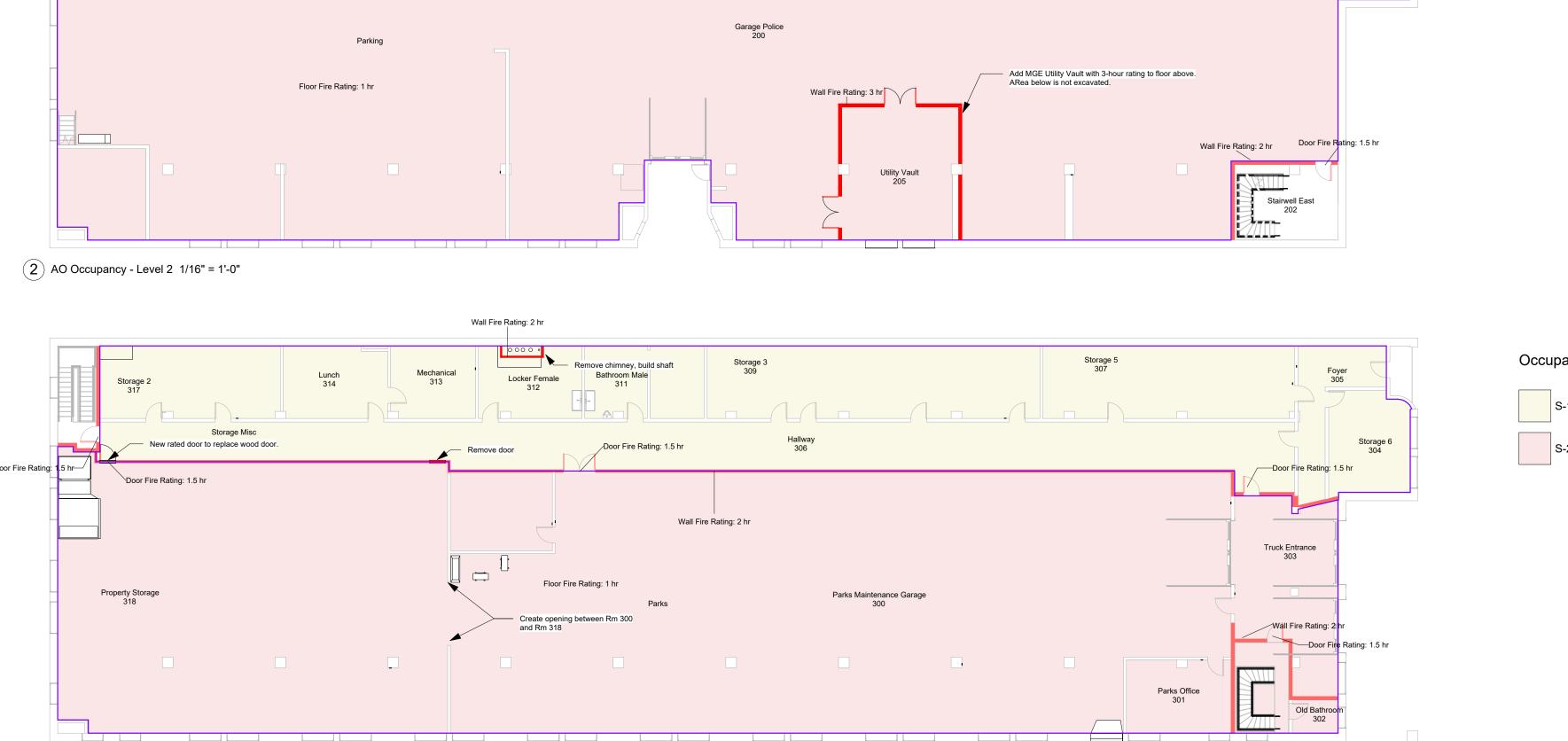
  4. Type II B construction (non-combustible no protection)

- C. Determination of existing Fire Ratings:

  1. Existing wall and floor penetrations don't appear to have fire protection. Existing plans don't show fire protection. To be conservative, this project will include fire protection of new penetrations where a fire rating could be assumed.

  Existing fire-rated doors show the rating in hours. Wall-rating was reverse-engineered with IBC table 716.5.

  Existing floor is less than 3" thick concrete and no penetrations appear to use fire protection. IBC table 722.2.2.1. was used to determine that existing floor does not have more than 1-hour rating.



Occupancy Classification

1" = 20'-0"

1/16" = 1'-0"

FEET

3/32" = 1'-0"

Occupancy Classification

S-2 / NS- IIB

S-2 / NS- IIB

Revisions

Designed by: City of Madison Facilites Management
City-County Building, Room 115 210 Martin Luther King Jr. Boulevard Madison, WI 53703

Engineering

Location:

120 S. Fairchild St. Madison, WI 53703

Contract: 9135 Project: 11078

Fairchild Building Improvement -Design Development

Project North

Occupancy

A 002

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Set - Not for Construction

FEET





(2) XTG Louver 5 Location - Not to Scale



3 XTG from SW corner - Not to Scale



(4) XTG window AC and Louvers 1-4 location from SW - Not to Scale

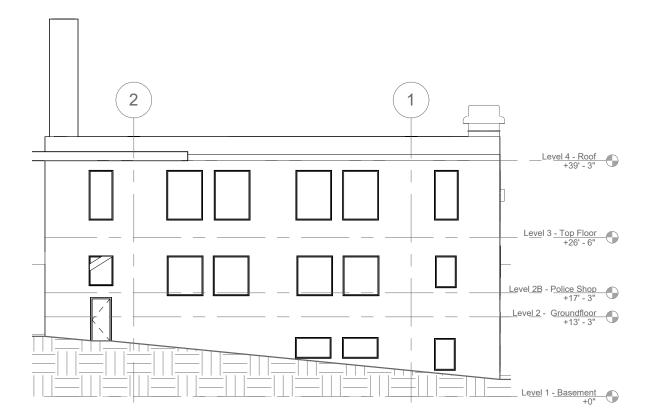


(5) XTG window AC and Louvers 1-4 location from SE - Not to Scale

3/32" = 1'-0"

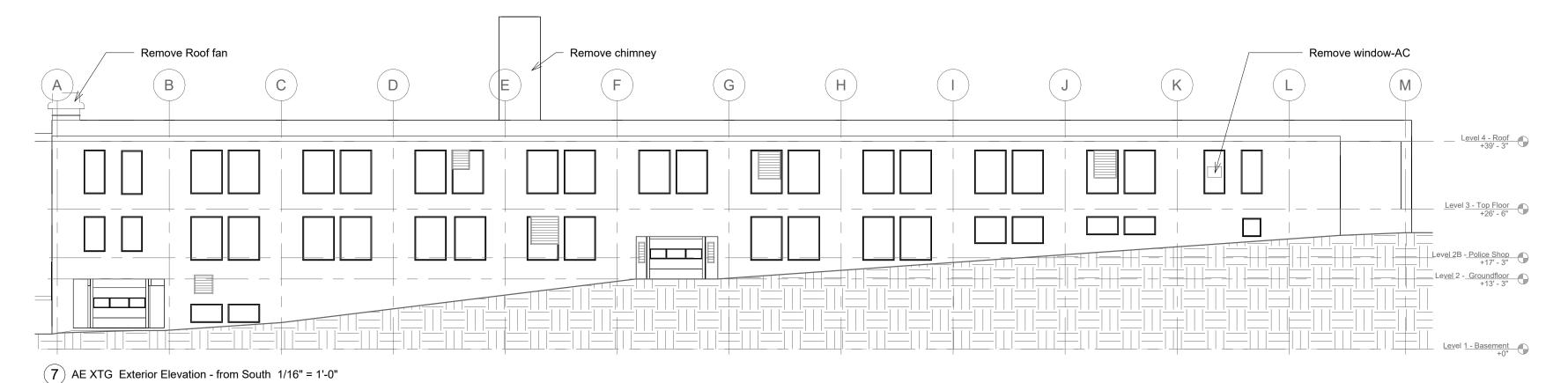
FEET

1/16" = 1'-0"



8 AE XTG Exterior Elevation - from West 1/16" = 1'-0"

1/4" = 1'-0"

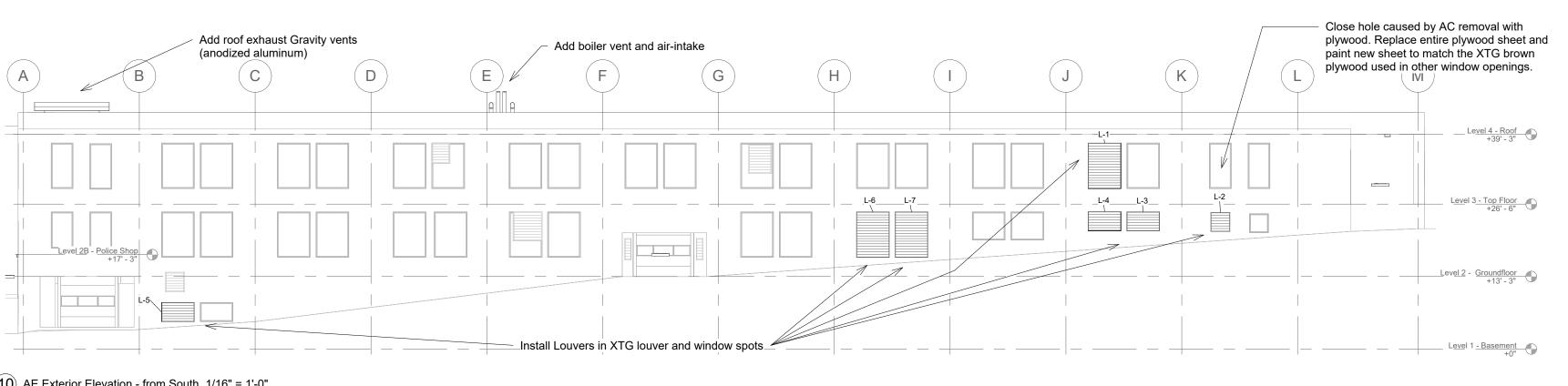


Level 4 - Roof +39' - 3" Level 3 - Top Floor +26' - 6" Level 1 - Basement

3/16" = 1'-0"

9 AE Exterior Elevation - from West 1/16" = 1'-0" (10) AE Exterior Elevation - from South 1/16" = 1'-0"

1/8" = 1'-0"



1" = 20'-0"

FEET



6 XTG from NE - Not to Scale

General Notes:

1. Remove XTG window or plywood in new louver locations. Remove any old framing and other material not needed for new louvers.

2. Install new louvers' exterior face in same plane as XTG plywood. Install per manufacturer detail.





(11) A Louver Colors - Greenheck Mica - Not to Scale

Set - Not for Construction

Designed by: City of Madison Facilites Management City-County Building, Room 115 210 Martin Luther King Jr. Boulevard Madison, WI 53703

Fairchild Building Improvement -Design Development

120 S. Fairchild St. Madison, WI 53703

Contract: 9135 Project: 11078

Revisions

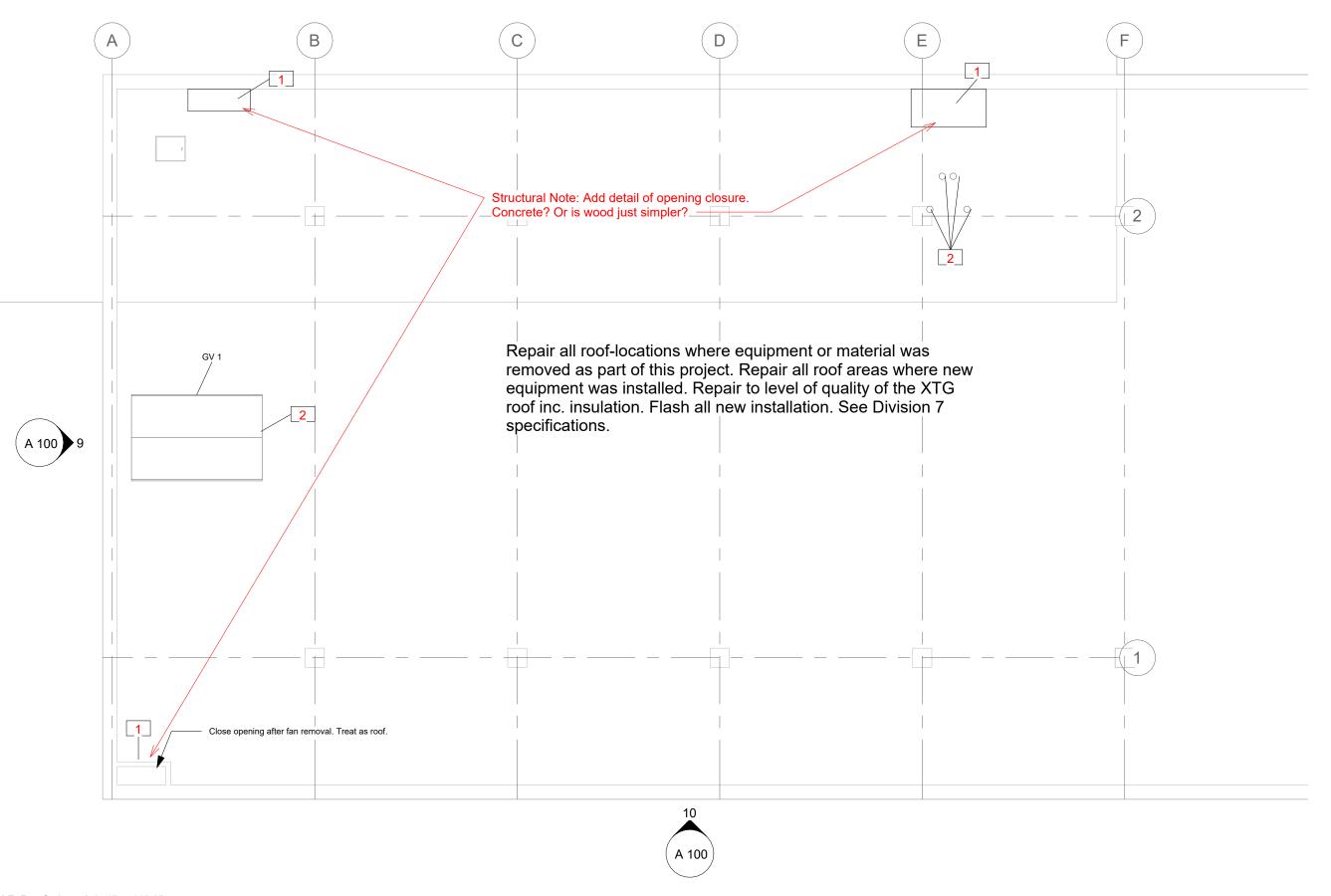
Project North

**Exterior** 

Elevations

A 100

Print Date: 8/10/2022 8:38:54 Print in color on 36" x 24"

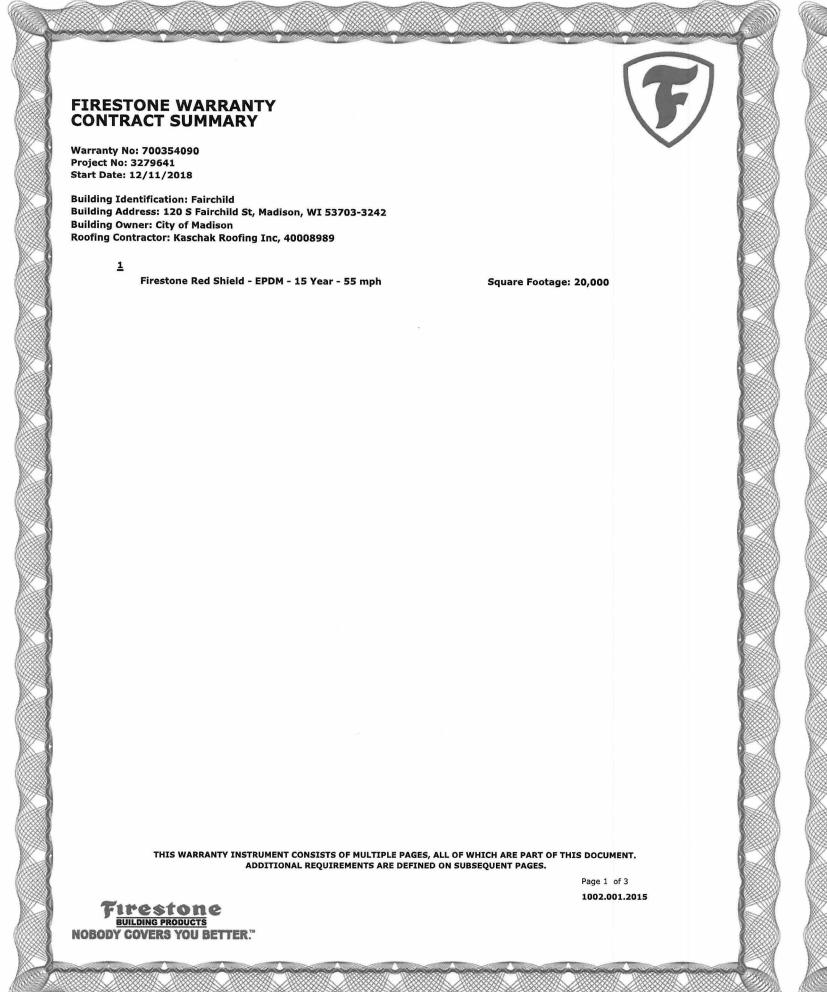


(1) AR Roof - Level 4 1" = 10'-0"

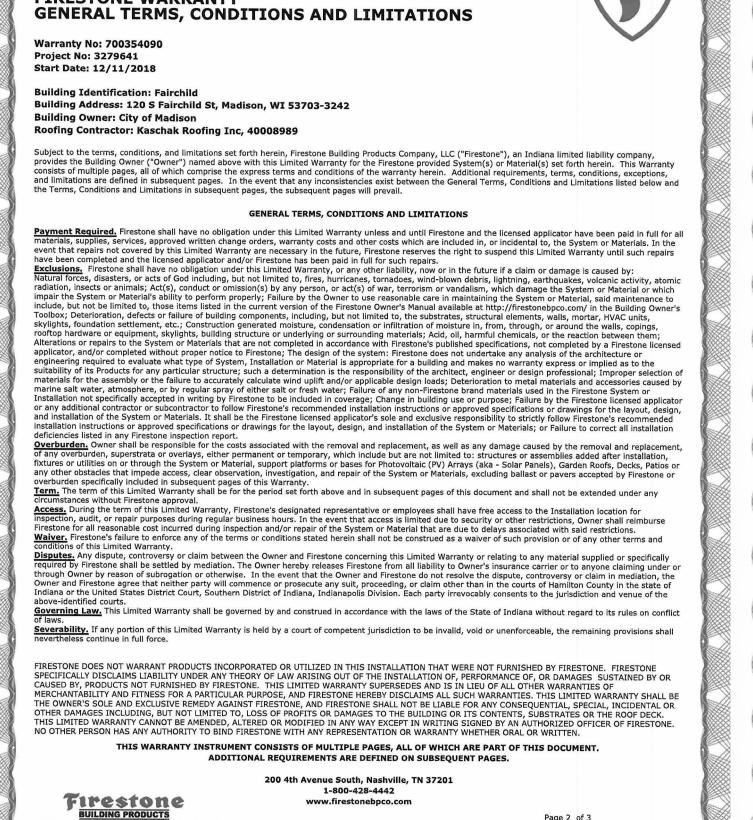
2 A - XTG Roofing Warranty - Not to Scale

1/4" = 1'-0"

Existing Roof:
- Maintain XTG roof warranty and meet all requirements stated by original roofing manufacturer - XTG insulation is expanded polystyrene: 2.5" base layer and 2" upper layer Provide all roofing repair including closing of openings as recommended by Manufacture



3/16" = 1'-0"



Page 2 of 3

1/16" = 1'-0"

1" = 20'-0"

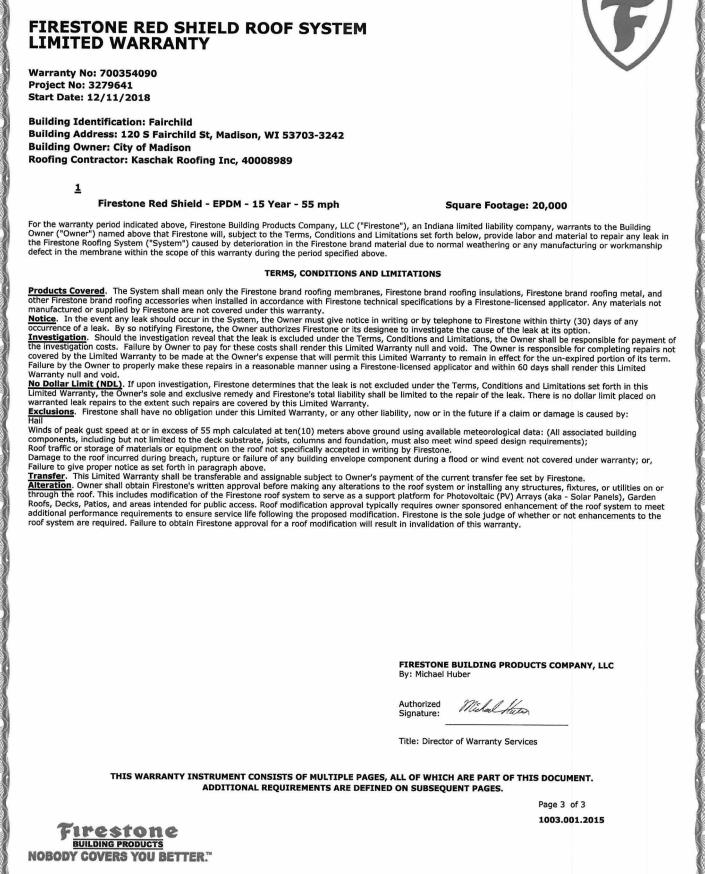
1001.001.2015

FIRESTONE WARRANTY

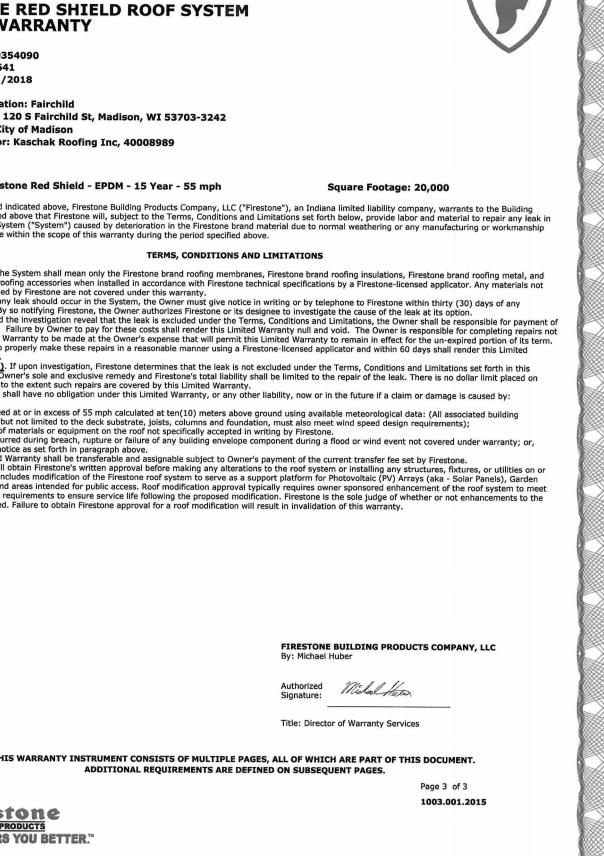
**NOBODY COVERS YOU BETTER."** 

3/32" = 1'-0"

1/8" = 1'-0"



FEET



Designed by: City of Madison Facilites Management
City-County Building, Room 115 Madison, WI 53703

Engineering

Fairchild Building Improvement -Design Development

Location: 120 S. Fairchild St. Madison, WI 53703

Contract: 9135 Project: 11078

Revisions

Description

Project North

Keynote Legend

roof. See Division 7 specifications.

Mortionstruction

installation. See Division 7 specifications.

Close opening. Treat as roof and insulate, seal and flash to same requirements as adjace

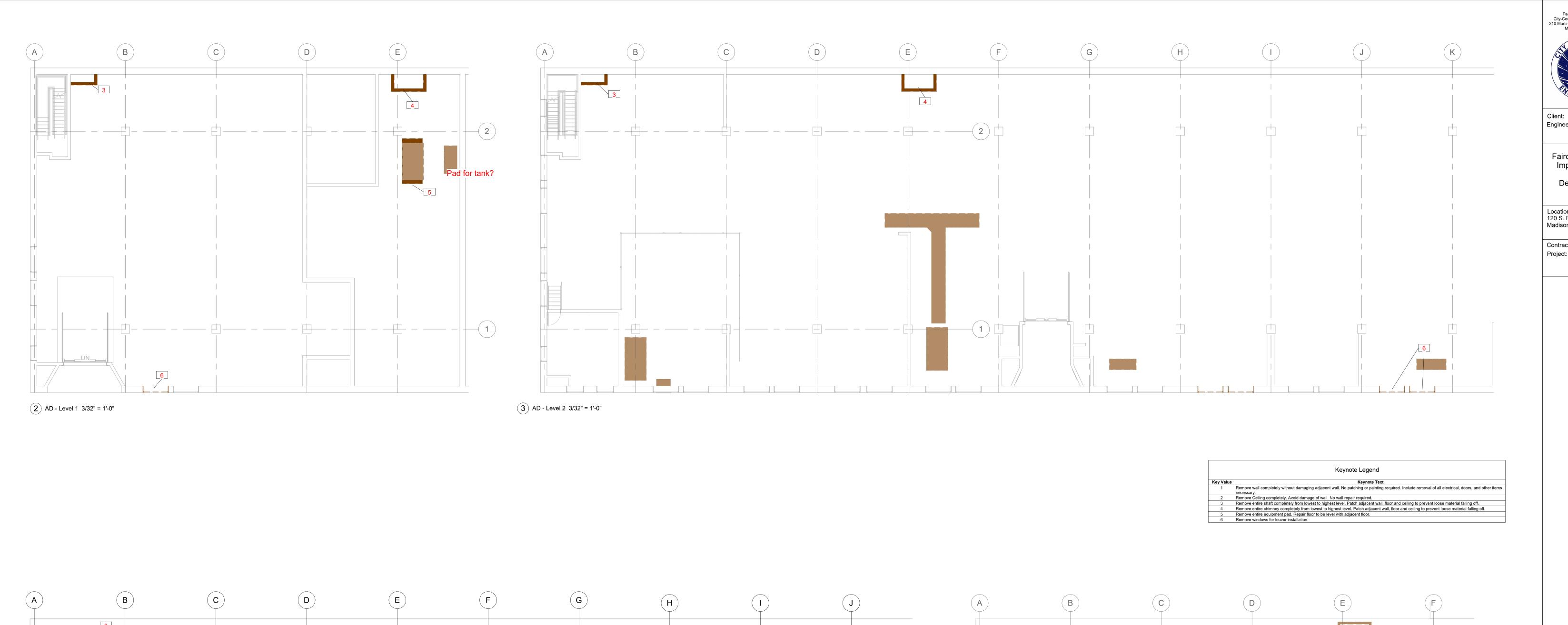
Flash equipment curbs, penetrations and other items requiring flashing for weather-tight

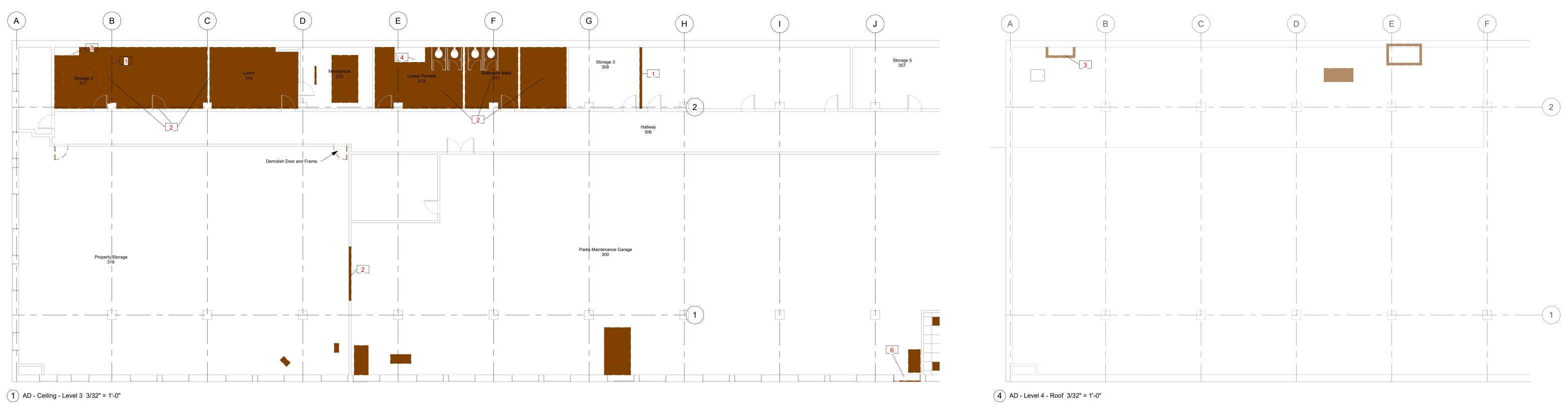
TRUE

Roof

A 110

8/10/2022 8:38:55 Print in color on 36" x 24"





3/32" = 1'-0"

1/8" = 1'-0"

FEET

1" = 20'-0"





Engineering

Fairchild Building Improvement -Design Development

120 S. Fairchild St. Madison, WI 53703

Contract: 9135 Project: 11078

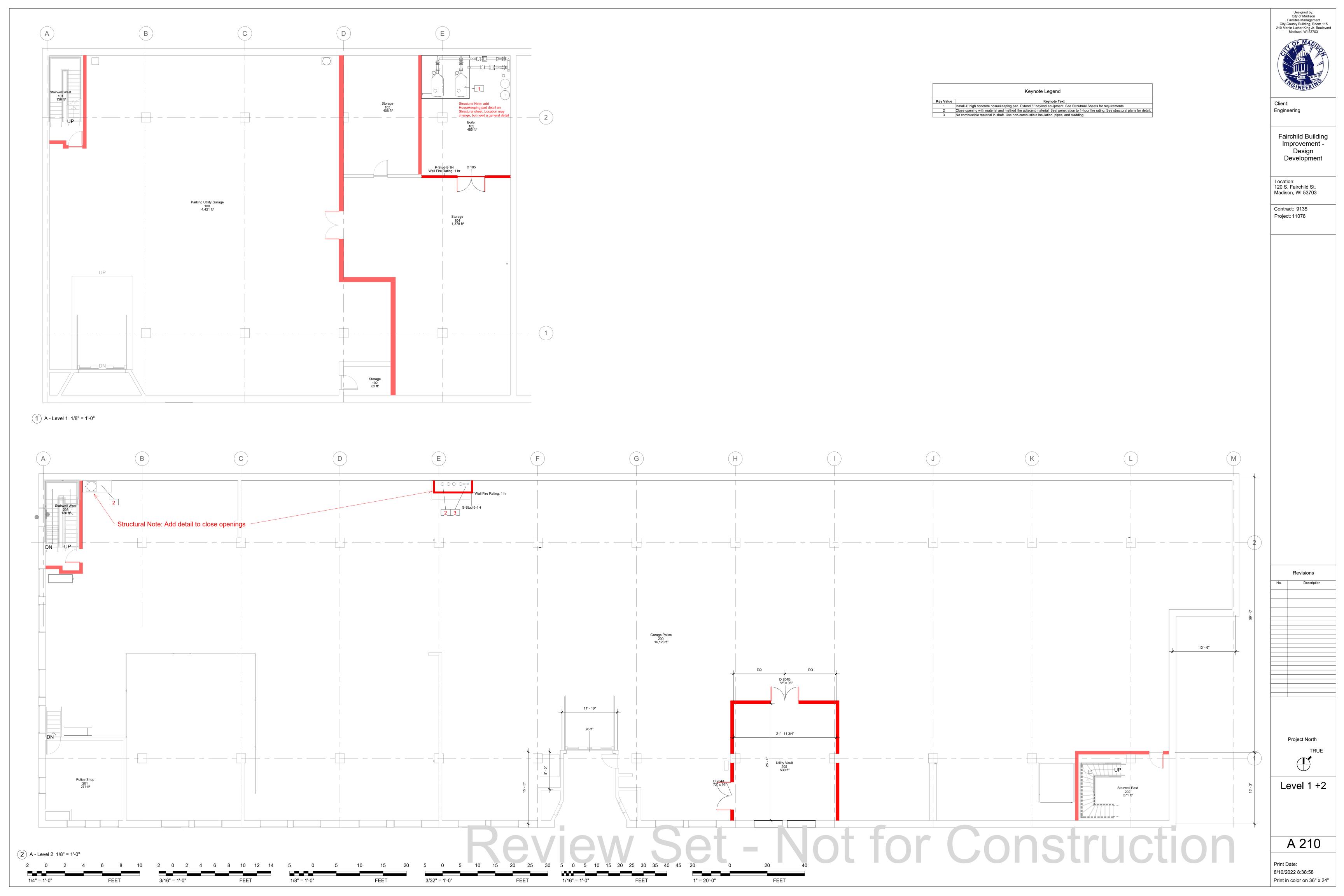
Revisions

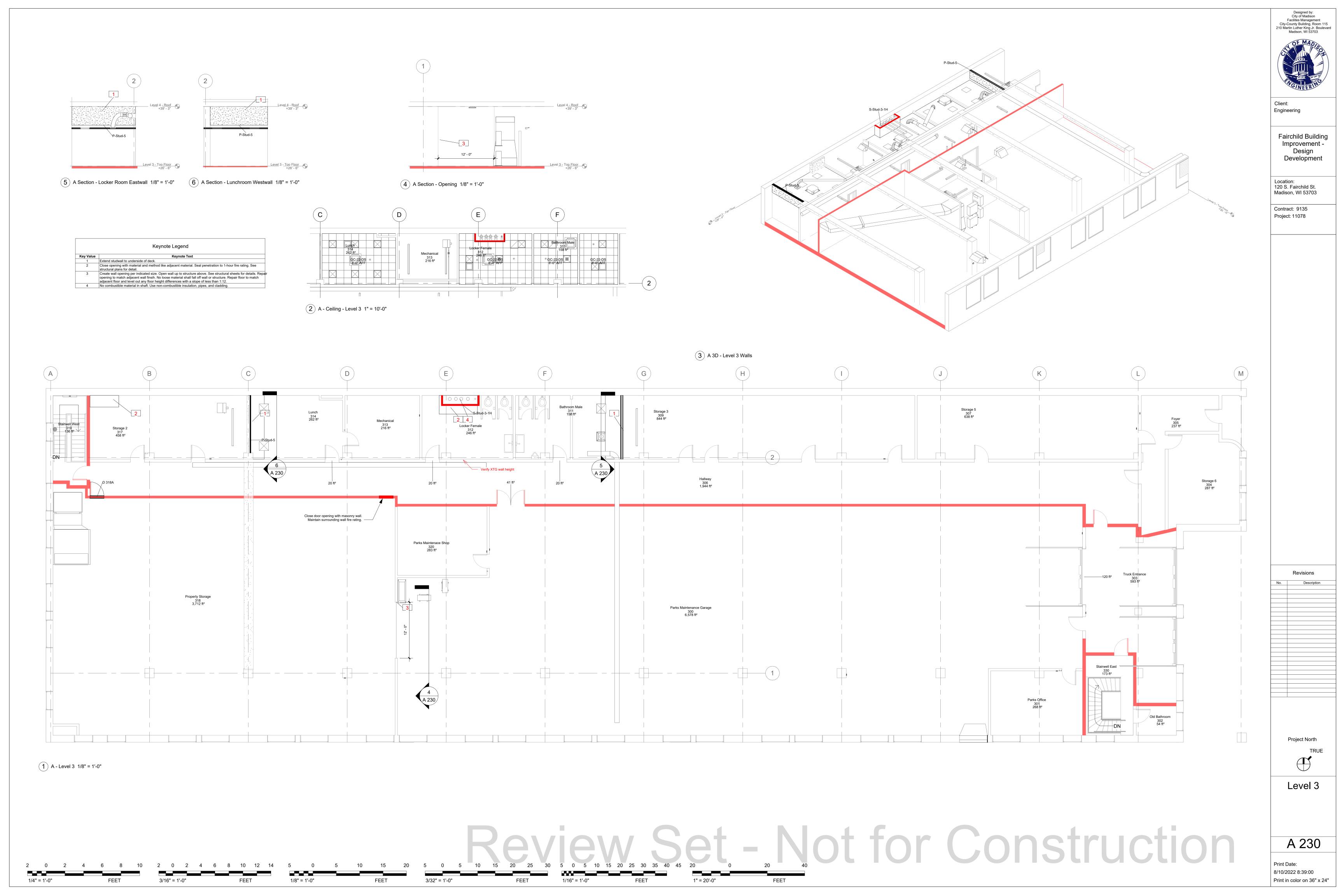
Demolition

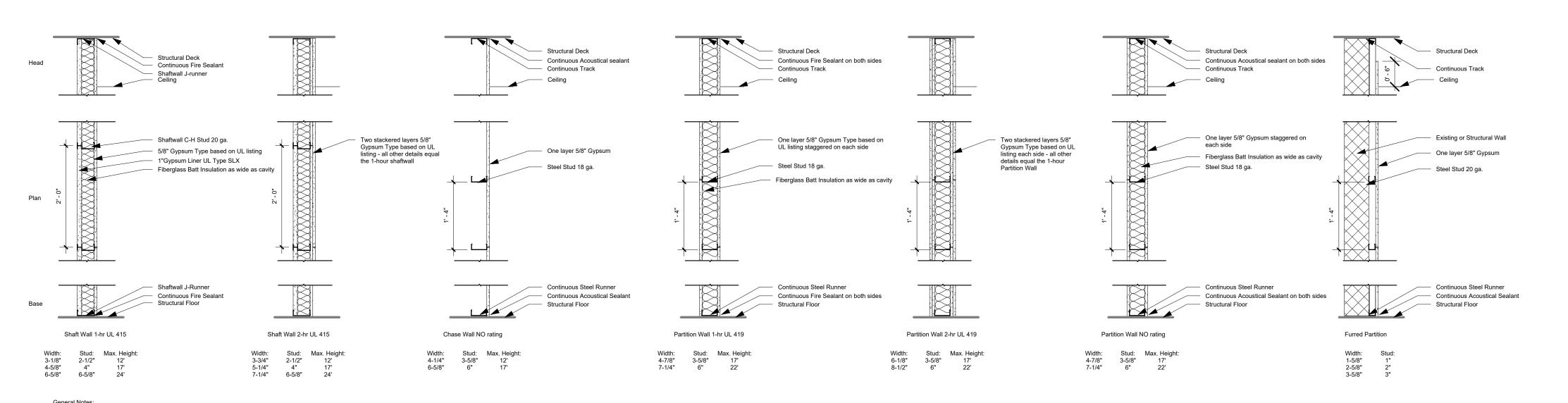
Project North

A 200

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Flashing returned along wall. Overlap to prevent leak

1. Review Specifications including, but not limited to:
a. 07 05 00 - Common Work Results For Thermal and Moisture Protection b. 07 60 00 - Flashing and Sheet Metal c. 07 90 00 - Joint Protection d. 08 91 00 - Louvers

2. Use manufacturer's recommendation as basis of design

2 A - Louver - Not to Scale

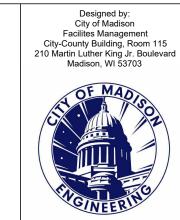
- General Notes:

  A. Adjust detail to specific system manufacturer requirements to work for the specific installation height and type.

  1. Change stud and gypsum type as required
- Change stud and gypsum type as required
   Where room finish schedule indicates abuse and moisture resistance requirement, use panels rated to be abuse and moisture resistant facing the room with that requirement.
   Where room and finish schedule indicates use of insulation, use batt insulation regardless of UL requirement.
   Refer to Section "09 20 00 Plaster and Gypsum Board"
- 1 A Wall Types Gypsum Board Not to Scale

		V	Valls		
Type Mark	Width	Description	Fire Rating Hours	Area	Specification
	<varies></varies>			960 ft <sup>2</sup>	
P-Stud-5	4 7/8"	Partition Studwall	0	153 ft <sup>2</sup>	09 20 00 - Plaster and Gypsum Board
P-Stud-5-1H	4 7/8"	Partition Studwall	1	211 ft²	09 20 00 - Plaster and Gypsum Board
S-Stud-3-1H	3 1/8"	Shaft Studwall	1	327 ft <sup>2</sup>	09 20 00 - Plaster and Gypsum Board

Review Set - Not for Construction



Client: Engineering

> Fairchild Building Improvement -Design Development

Location: 120 S. Fairchild St. Madison, WI 53703

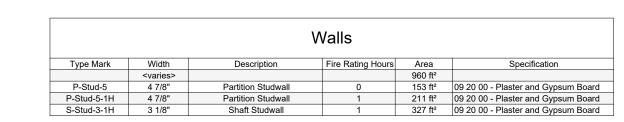
Contract: 9135 Project: 11078

Description

Details

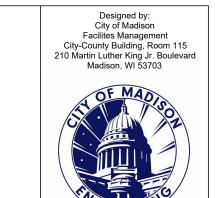
A 300

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Ceilings										
Type Mark	Description	Area	Perimeter	Specification						
GC-22-DS	Suspended Grid Ceiling 2x2 - Dry Environment Economy	745 ft²	235'-8"	09 51 00 - Acoustical Ceilings						

	Doors														
	Construction H:									Hardware Op	otions				
												ADA Accessible			
Mark	From Room	To Room	Nominal Size	Description	Panel Type	Frame Material	Panel Material	Fire Rating - hr	Insulated	Panel Color	Frame Color	per ICC A117.1	Panic	Remark	Specifications
D 105	105 - Boiler	104 - Storage	6' - 0" x 6' - 10"	Double Panel Door	Double Flush	Steel	Steel	1	No	Gray	Gray	No	No	Key to XTG	08 10 00 - Doors and Frames; 08 71 00 - Door Hardware
D 204A	205 - Utility Vault	200 - Garage Police	6' - 0" x 8' - 0"	Double Panel Door	verify Selection!	Steel	Steel	3	No	Gray	Gray	No	Yes		08 10 00 - Doors and Frames; 08 71 00 - Door Hardware
D 204B	205 - Utility Vault	200 - Garage Police	6' - 0" x 8' - 0"	Double Panel Door	verify Selection!	Steel	Steel	3	No	Gray	Gray	No	Yes		08 10 00 - Doors and Frames; 08 71 00 - Door Hardware
D 318A	318 - Property Storage	306 - Hallway	3' - 0" x 6' - 8"	Single Panel Door	Flush	Steel	Steel	1.5	No	Gray	Gray	No	No	Key to XTG; match XTG opening size	08 10 00 - Doors and Frames; 08 71 00 - Door Hardware



Client: Engineering

> Fairchild Building Improvement -Design Development

Location: 120 S. Fairchild St. Madison, WI 53703

Contract: 9135 Project: 11078

Schedules

A 400

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Review Set - Not for Construction

## Paint Schedule Color Area White 330 ft²

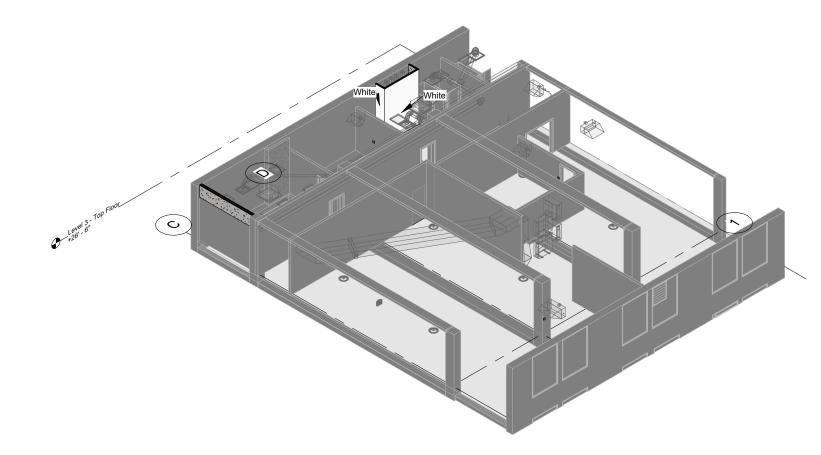
			Room Fi	nish Sched	dule				
Number	Name	Finish Type		Apply Finish to:	Ceiling Finish	Wall Finish	Abuse Resistant	Moisture Resistant	Insulation Requiremen
100	Parking Utility Garage	No Change		Nothing	XTG	XTG	XTG	XTG	XTG
101	Stairwell West	No Change		Nothing	XTG	XTG	XTG	XTG	XTG
102	Storage	No Change		Nothing	XTG	XTG	XTG	XTG	XTG
103	Storage	No Change		Nothing	XTG	XTG	XTG	XTG	XTG
104	Storage	No Change		Nothing	XTG	XTG	XTG	XTG	XTG
105	Boiler	No Change		Nothing	XTG	XTG	XTG	XTG	XTG
200	Garage Police	New only - Abuse/Moisture resistance	e; no Insulation	New only	Paint Drywall	Paint	Yes	Yes	No
201	Police Shop	No Change		Nothing	XTG	XTG	XTG	XTG	XTG
202	Stairwell East	No Change		Nothing	XTG	XTG	XTG	XTG	XTG
203	Stairwell West	(none)							
205	Utility Vault	New only - Abuse/Moisture resistance	e; no Insulation	New only	Paint Drywall	Paint	Yes	Yes	No
300	Parks Maintenance Garage	New only - Abuse/Moisture resistance	e; no Insulation	New only	Paint Drywall	Paint	Yes	Yes	No
301	Parks Office	No Change		Nothing	XTG	XTG	XTG	XTG	XTG
302	Old Bathroom	No Change		Nothing	XTG	XTG	XTG	XTG	XTG
303	Truck Entrance	No Change		Nothing	XTG	XTG	XTG	XTG	XTG
304	Storage 6	No Change		Nothing	XTG	XTG	XTG	XTG	XTG
305	Foyer	No Change		Nothing	XTG	XTG	XTG	XTG	XTG
306	Hallway	No Change		Nothing	XTG	XTG	XTG	XTG	XTG
307	Storage 5	No Change		Nothing	XTG	XTG	XTG	XTG	XTG
309	Storage 3	No Change		Nothing	XTG	XTG	XTG	XTG	XTG
310	Locker Male	No Change		Nothing	XTG	XTG	XTG	XTG	XTG
311	Bathroom Male	No Change		Nothing	XTG	XTG	XTG	XTG	XTG
312	Locker Female	New only - Insulation		New only	Paint Drywall	Paint	No	No	Yes
313	Mechanical	No Change		Nothing	XTG	XTG	XTG	XTG	XTG
314	Lunch	No Change		Nothing	XTG	XTG	XTG	XTG	XTG
317	Storage 2	No Change		Nothing	XTG	XTG	XTG	XTG	XTG
318	Property Storage	No Change		Nothing	XTG	XTG	XTG	XTG	XTG
318B	Engineering Storage	No Change		Nothing	XTG	XTG	XTG	XTG	XTG
319	Stairwell West	(none)							
320	Parks Maintenace Shop	(none) Ceili	nas						
330	Stairwell East	(none)							
Type	e Mark	Description	Area	Perin	neter	Specifica	ation		
		Ceiling 2x2 - Dry Environment Economy	745 ft²	235		9 51 00 – Acous			

General Notes:

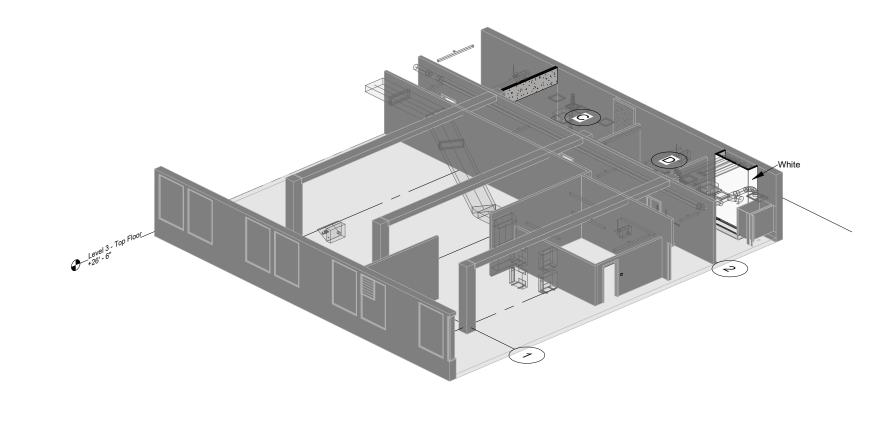
1. Room Finish Schedule indicates what parts will have to be finished to what level. for new construction typically all surfaces shall be finished. For remodel projects there is the option to finish (e.g. re-paint) existing surfaces, or to finish only newly installed surfaces.

2. Some rooms with gypsum wall will have the requirement to be insulated for either thermal or acoustical reasons.

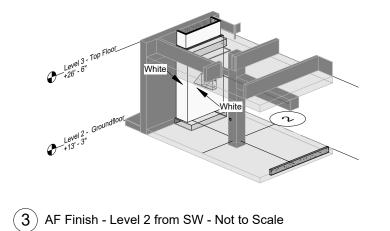
3. Refer to "09 90 00 - Painting and Coating" for paint requirements. 3D views will indicate the color for the surfaces. the preferred color may change and should be verified before paint ordering and application.

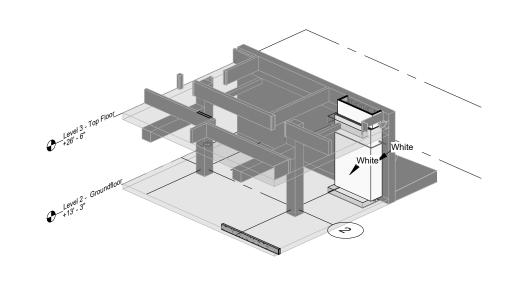


1 AF Finishes - Level 3 from SW - Not to Scale

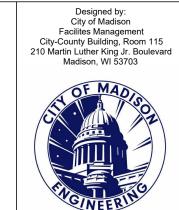


2 AF Finishes - Level 3 from SE - Not to Scale





4 AF Finish - Level 2 from SE - Not to Scale



Client: Engineering

> Fairchild Building Improvement -Design Development

Location: 120 S. Fairchild St. Madison, WI 53703

Contract: 9135 Project: 11078

Room Finishes

A 410

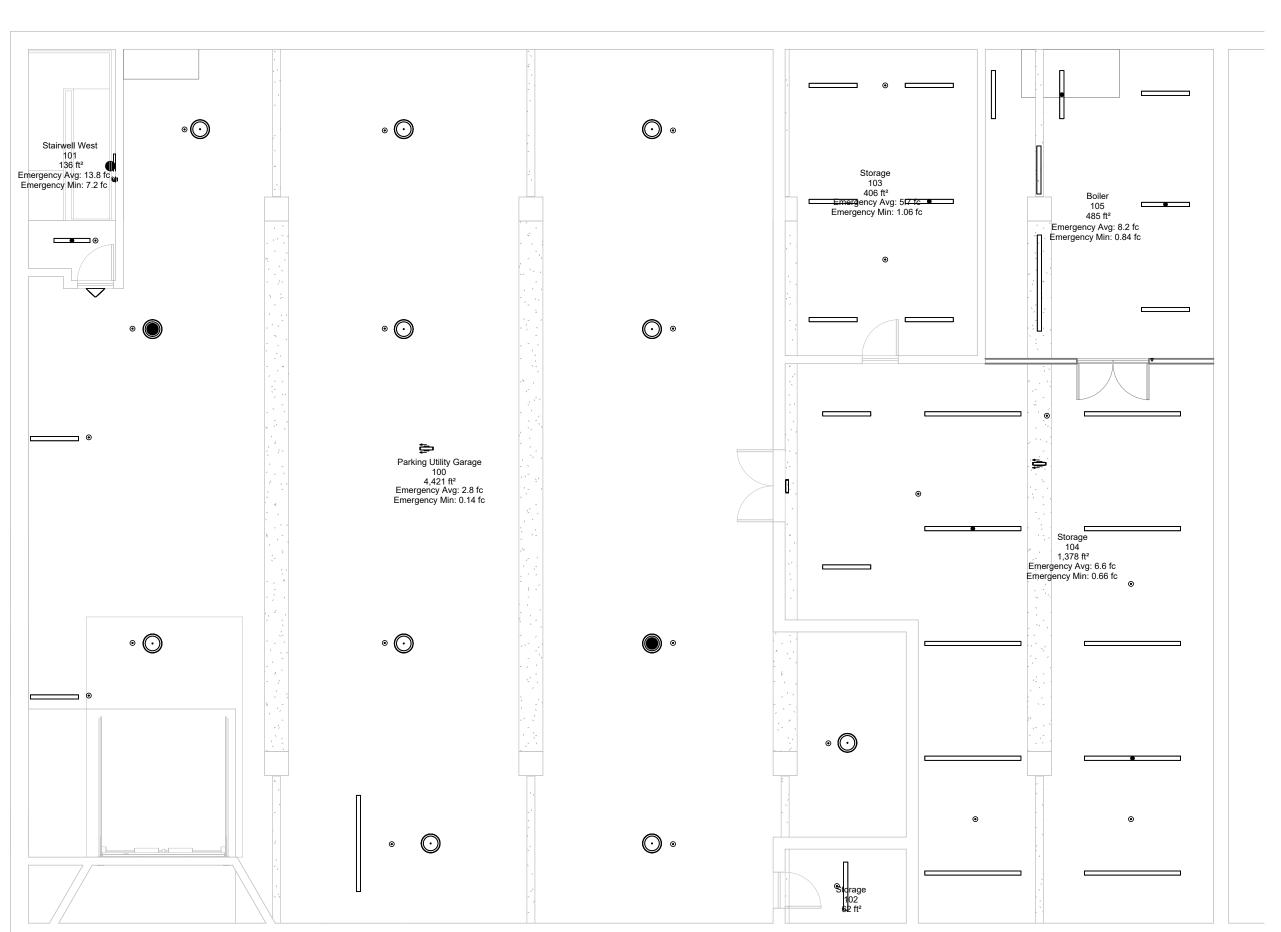
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Review Set - Not for Construction

Eme	ergency	/ Lighting	Load
Type Mark EC-2K-W	Space: Number	Space: Name	Apparent Load
EC-3.2K-W	321	Fairchild Canopy	23 VA
EC-3.2K-W	204	Canopy Level	23 VA
EW-1.2K-B		_	9 VA
EX-3-AC	100	Parking Utility Garage	4 VA
EX-3-AC	200	Garage Police	4 VA
EX-3-AC	200	Garage Police	4 VA
EX-3-AC	200	Garage Police	4 VA
EX-AC	104	Storage	1 VA
EX-AC	104	Storage	1 VA
EX-AC	200	Garage Police	1 VA
EX-AC	200	Garage Police	1 VA
EX-AC	200	Garage Police	1 VA
EX-AC	200	Garage Police	1 VA
EX-AC	200	Garage Police	1 VA
EX-AC	100	Parking Utility Garage Parking Utility	1 VA 55 VA
LB-M-8.0K	100	Garage  Parking Utility  Darking Utility	55 VA 55 VA
LB-M-8.0K	200	Garage Police	55 VA
LB-M-8.0K	200	Garage Police	55 VA 55 VA
LB-M-8.0K	200	Garage Police	55 VA
LB-M-8.0K	200	Garage Police	55 VA
LB-M-8.0K	200	Garage Police	55 VA
LB-M-8.0K	200	Garage Police	55 VA
LB-M-8.0K	200	Garage Police	55 VA
LB-M-8.0K	200	Garage Police	55 VA
LB-M-8.0K	200	Garage Police	55 VA
LB-M-8.0K	200	Garage Police	55 VA
LB-M-8.0K	200	Garage Police	55 VA
LB-M-8.0K	200	Garage Police	55 VA
LB-M-11K	300	Parks Maintenance Garage	81 VA
LB-M-11K	300	Parks Maintenance Garage	81 VA
LB-M-11K	300	Parks Maintenance Garage	81 VA
LB-M-11K	300	Parks Maintenance Garage	81 VA
LB-W-11K	303	Truck Entrance	81 VA
PR22-3.4K	312	Locker Female	27 VA
PR22-3.4K	311	Bathroom Male	27 VA
S3-3K	101	Stairwell West	20 VA
S3-3K	200	Garage Police	20 VA
S3-3K	319	Stairwell West	20 VA
S3-3K	319	Stairwell West	20 VA
S3-3K	203	Stairwell West	20 VA
S3-3K S3-3K	203	Stairwell West Stairwell East	20 VA 20 VA
S3-3K S4-4K	105	Boiler	20 VA 25 VA
S4-4K	103	Storage	25 VA
S4-4K	305	Foyer	25 VA
S4-4K	306	Hallway	25 VA
S4-4K	330	Stairwell East	25 VA
S4-5K	105	Boiler	32 VA
S4-5K	306	Hallway	32 VA
S4-5K	306	Hallway	32 VA
S4-5K	306	Hallway	32 VA
S8-6K	104	Storage	36 VA
S8-6K	104	Storage	36 VA
WW2-1.0K	101	Stairwell West	10 VA
WW2-1.0K	101	Stairwell West	10 VA
WW2-1.0K	203	Stairwell West	10 VA
WW2-1.0K	203	Stairwell West	10 VA
WW2-1.0K	202-1	Stairwell East	10 VA

1 EL Egress Lighting - Level 1 1/8" = 1'-0"

				IEC	C 2015	Lighting	g Level	ls				
Space Number	Space Name	Area	Space Type	Workplane Height	Min. Required Avgerage Illumination	Actual Average Illumination	Illumination Goal	Max. Allowed Power Density IECC 2015	Actual Power Density	Actual Power Density compared to Code	Allowed Lighting Load	Actual Lighting Load
100	Parking Utility Garage	4,421 ft <sup>2</sup>	Parking Garage	0' - 0"	10 fc	16 fc	160%	0.21 W/ft²	0.18 W/ft²	84%	928 VA	784 VA
101	Stairwell West	136 ft²	Stairwell	0' - 0"	10 fc	13.8 fc	138%	0.69 W/ft <sup>2</sup>	0.29 W/ft <sup>2</sup>	43%	94 VA	40 VA
102	Storage	62 ft²	Warehouse - bulky Items palletized	2' - 6"	20 fc	19.9 fc	100%	0.58 W/ft²	0.51 W/ft²	88%	36 VA	32 VA
103	Storage	406 ft²	Warehouse - small Items hand-carried	2' - 6"	30 fc	32.3 fc	108%	0.95 W/ft²	0.43 W/ft²	46%	386 VA	177 VA
104	Storage	1,378 ft²	Warehouse - small Items hand-carried	2' - 6"	30 fc	32.4 fc	108%	0.95 W/ft²	0.3 W/ft²	32%	1,309 VA	419 VA
105	Boiler	485 ft²	Electrical / Mechanical	2' - 6"	30 fc	30.7 fc	102%	0.95 W/ft <sup>2</sup>	0.46 W/ft <sup>2</sup>	49%	461 VA	225 VA
200	Garage Police	16,120 ft <sup>2</sup>	Parking Garage	0' - 0"	10 fc	15 fc	150%	0.21 W/ft <sup>2</sup>	0.16 W/ft²	74%	3,385 VA	2,508 VA
201	Police Shop	271 ft <sup>2</sup>	Workshop	2' - 6"	40 fc	45.4 fc	114%	1.59 W/ft <sup>2</sup>	0.52 W/ft <sup>2</sup>	33%	431 VA	142 VA
202-1	Stairwell East	271 ft <sup>2</sup>	Stairwell	0' - 0"	10 fc	13.2 fc	132%	0.69 W/ft <sup>2</sup>	0.11 W/ft <sup>2</sup>	16%	187 VA	30 VA
203	Stairwell West	136 ft²	Stairwell	0' - 0"	10 fc	14 fc	140%	0.69 W/ft <sup>2</sup>	0.44 W/ft <sup>2</sup>	64%	94 VA	60 VA
204	Canopy Level 2	194 ft²	Exterior Entry Canopy	0' - 0"	5 fc	6.3 fc	125%	0.50 W/ft <sup>2</sup>	0.12 W/ft <sup>2</sup>	23%	97 VA	23 VA
205	Utility Vault	530 ft <sup>2</sup>	Electrical / Mechanical	0' - 0"	30 fc	35.9 fc	120%	0.95 W/ft <sup>2</sup>	0.51 W/ft <sup>2</sup>	53%	503 VA	268 VA
300	Parks Maintenance Garage	6,578 ft²	Warehouse - bulky Items palletized	2' - 6"	20 fc	23.9 fc	119%	0.58 W/ft²	0.26 W/ft²	45%	3,815 VA	1,701 VA
301	Parks Office	268 ft <sup>2</sup>	Office - enclosed	2' - 6"	40 fc	41.5 fc	104%	1.11 W/ft <sup>2</sup>	0.79 W/ft <sup>2</sup>	71%	298 VA	211 VA
303	Truck Entrance	593 ft²	Warehouse - bulky Items palletized	0' - 0"	20 fc	21.1 fc	106%	0.58 W/ft²	0.4 W/ft²	69%	344 VA	237 VA
304	Storage 6	287 ft <sup>2</sup>	Warehouse - bulky Items palletized	2' - 6"	20 fc	22.9 fc	115%	0.58 W/ft <sup>2</sup>	0.34 W/ft²	58%	167 VA	97 VA
305	Foyer	237 ft <sup>2</sup>	Corridor - otherwise	0' - 0"	10 fc	12.2 fc	122%	0.66 W/ft <sup>2</sup>	0.4 W/ft <sup>2</sup>	60%	156 VA	94 VA
306	Hallway	1,944 ft <sup>2</sup>	Corridor - otherwise	0' - 0"	10 fc	10.8 fc	108%	0.66 W/ft <sup>2</sup>	0.19 W/ft <sup>2</sup>	29%	1,283 VA	367 VA
307	Storage 5	638 ft²	Warehouse - bulky Items palletized	2' - 6"	20 fc	20.6 fc	103%	0.58 W/ft²	0.22 W/ft²	38%	370 VA	142 VA
309	Storage 3	844 ft²	Warehouse - bulky Items palletized	2' - 6"	20 fc	20.4 fc	102%	0.58 W/ft <sup>2</sup>	0.21 W/ft²	36%	489 VA	178 VA
310	Locker Male	140 ft <sup>2</sup>	Locker	2' - 6"	20 fc	30.1 fc	150%	0.75 W/ft <sup>2</sup>	0.38 W/ft <sup>2</sup>	50%	105 VA	53 VA
311	Bathroom Male	158 ft²	Restroom - otherwise	2' - 6"	20 fc	28.7 fc	143%	0.98 W/ft <sup>2</sup>	0.54 W/ft <sup>2</sup>	55%	155 VA	85 VA
312	Locker Female	246 ft²	Locker	2' - 6"	20 fc	30.2 fc	151%	0.75 W/ft²	0.32 W/ft²	43%	184 VA	80 VA
313	Mechanical	216 ft²	Electrical / Mechanical	2' - 6"	30 fc	33.5 fc	112%	0.95 W/ft²	0.45 W/ft²	47%	205 VA	97 VA
314	Lunch	262 ft²	Lounge / Breakroom	2' - 6"	20 fc	39.6 fc	198%	0.73 W/ft²	0.52 W/ft²	72%	191 VA	137 VA
317	Storage 2	458 ft²	Warehouse - bulky Items palletized	2' - 6"	20 fc	21.1 fc	105%	0.58 W/ft²	0.23 W/ft²	40%	266 VA	107 VA
318	Property Storage	3,712 ft²	Warehouse - bulky Items palletized	2' - 6"	20 fc	21.9 fc	110%	0.58 W/ft²	0.25 W/ft²	44%	2,153 VA	946 VA
320	Parks Maintenace Shop	283 ft²	Workshop	2' - 6"	40 fc	55.4 fc	139%	1.59 W/ft²	0.72 W/ft²	45%	450 VA	204 VA
321	Fairchild Canopy	606 ft²	Exterior Entry Canopy	0' - 0"	5 fc	7.1 fc	142%	0.50 W/ft²	0.11 W/ft²	23%	303 VA	68 VA
330	Stairwell East	173 ft <sup>2</sup>	Stairwell	0' - 0"	10 fc	11.2 fc	112%	0.69 W/ft <sup>2</sup>	0.29 W/ft <sup>2</sup>	41%	120 VA	50 VA



A. Demolition: 1. Demolish all existing lighting fixtures and controls. This includes all items not needed for new installation function. This includes, but is not limited to emergency, exit, track, architectural and spot lights, switches, sensors, inverters, batteries and control panels. Demolition drawings may not show Remove all unused raceways, boxes, conduit and wiring Patch wall, ceiling and other surfaces damaged by removal. Use adjacent surface matching cover for Install new raceways, boxes, conduit and wiring as required for new lighting fixtures and controls. Install conduit inside walls and above ceiling. Modify Grid Ceiling to accommodate new fixtures. Fill in openings with new tiles of existing type. Contractor will provide grid elements and tiles. In some locations Install in even pattern. Where sprinkler, diffuser or other permanent obstruction prevents even layout, relocate after consultation with engineer. Install fixtures at indicated height and provide required suspension. A height typically applies to all fixtures in a space, even if only a single fixture has an indicated height shown. If no height is provided, ceiling surface height can be assumed. Surface wiring raceway in finished areas is only allowed where the structure does not allow installation behind ceiling or wall. Raceway shall be neatly routed and hidden in corners to the greatest extend possible. Paint to match adjacent surface. 1. Locate sensors to enable good detection within controlled zone and in between partitions. In enclosed rooms minimize detection of motion in adjacent rooms. Lighting zones are indicated by wire annotations and/or switchleg (SL) numbering. Wire annotations are schematic only to indicate control relationships and don't necessarily equal actually required physical wire runs. Lighting zones can be shown by proximity of sensor and light fixture without wire or switchleg annotation (for example, garage lighting where each fixture has one sensor) Spaces with electrical panels shall have at least one light be controlled by a manual switch only (no automatic control) per code-requirement. Fixture-mounted sensors shall be installed to allow 360° detection and bottom of sensor lens shall be at or below bottom of fixture. Size analog 0-10V wiring to limit voltage drop. At 100% position the light fixture shall be 100% bright. Light fixtures with a black dot indicate emergency lights.

Control fixtures from central inverter or generator. Provide all wiring to emergency power source.

Facilities Management
City-County Building, Room 115
210 Martin Luther King Jr. Boulevard
Madison, WI 53703

Designed by: City of Madison

Client: Engineering

> Fairchild Building Improvement -Design Development

Location: 120 S. Fairchild St. Madison, WI 53703

Contract: 9135 Project: 11078

Revisions

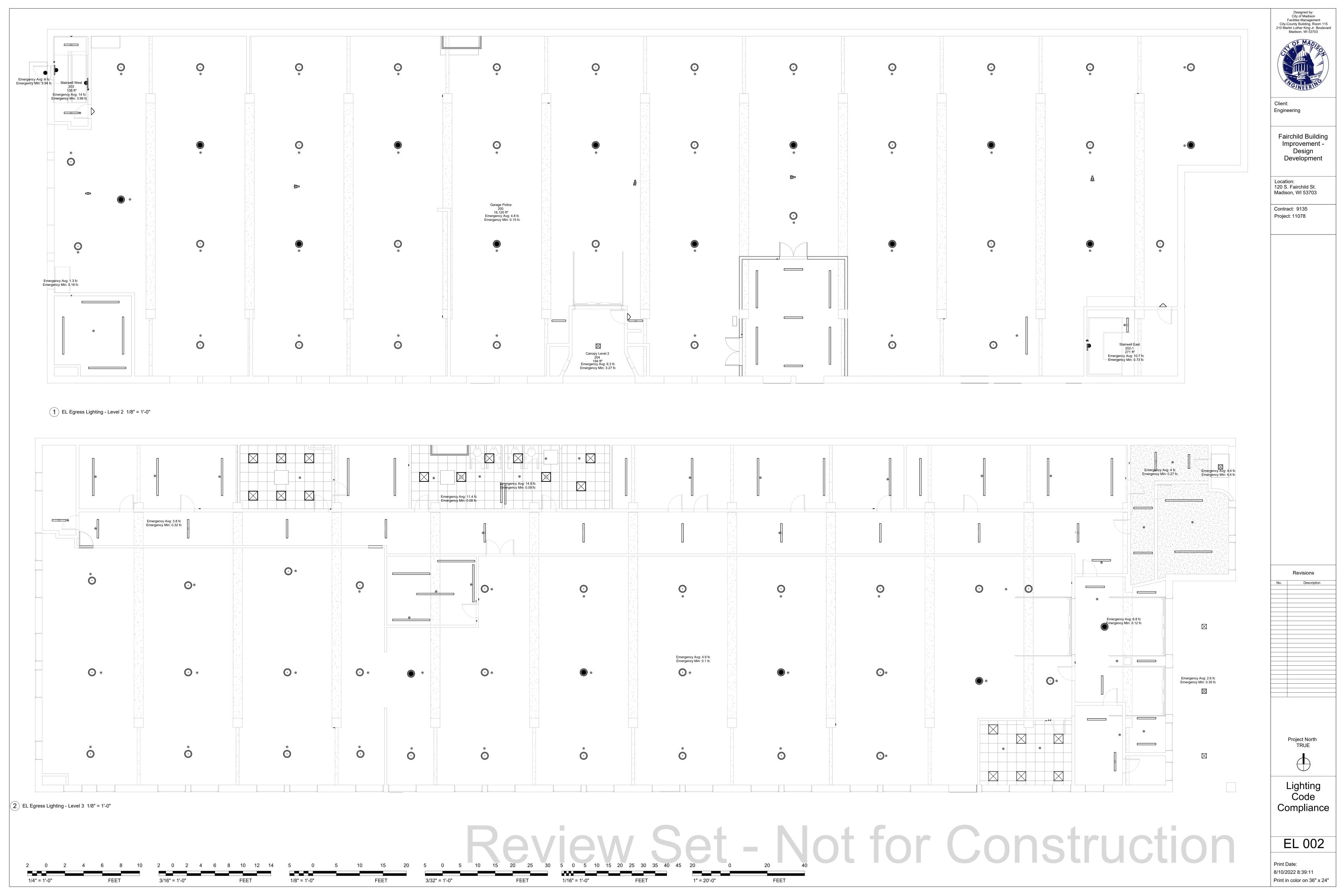
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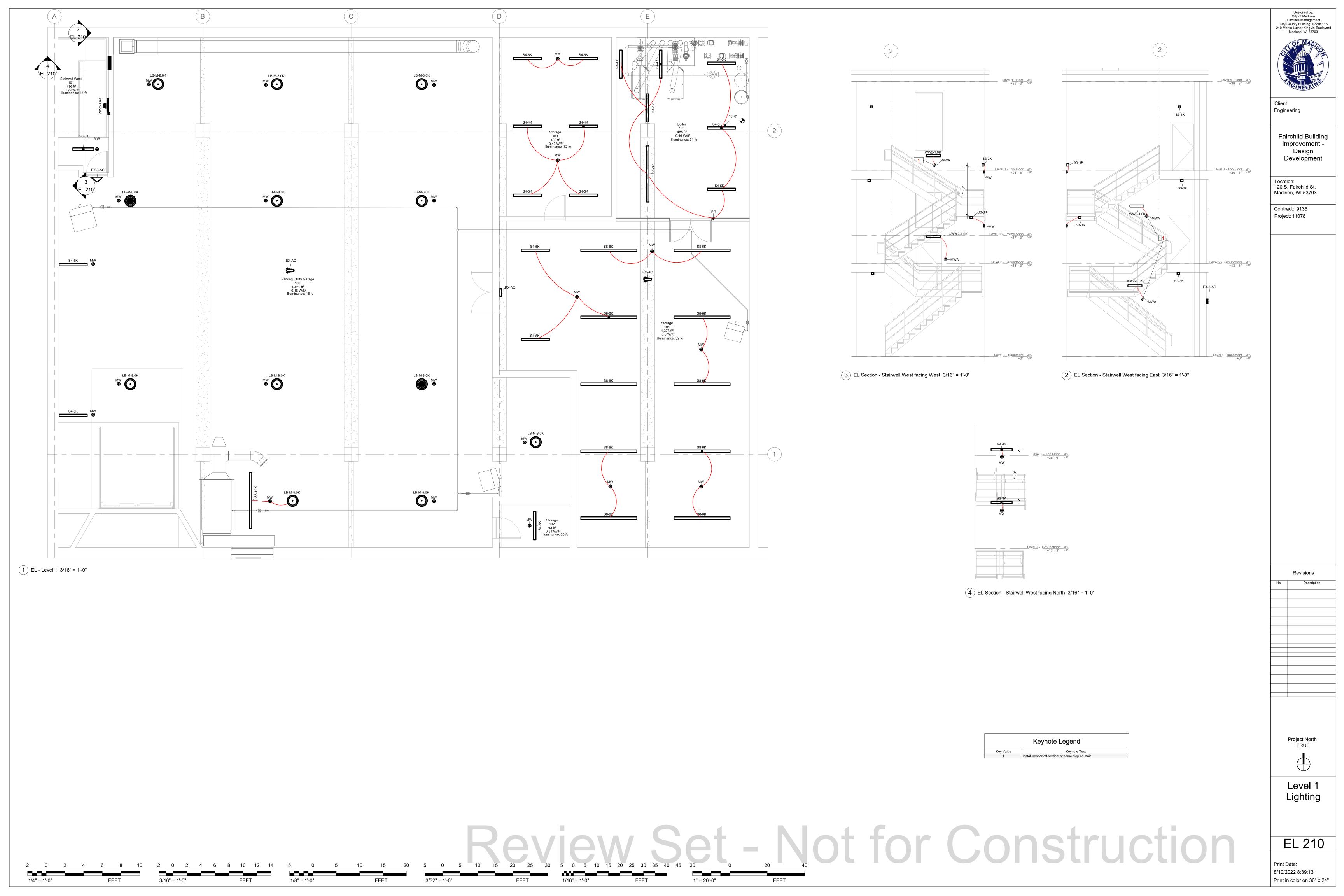
General
Lighting and
Code
Compliance

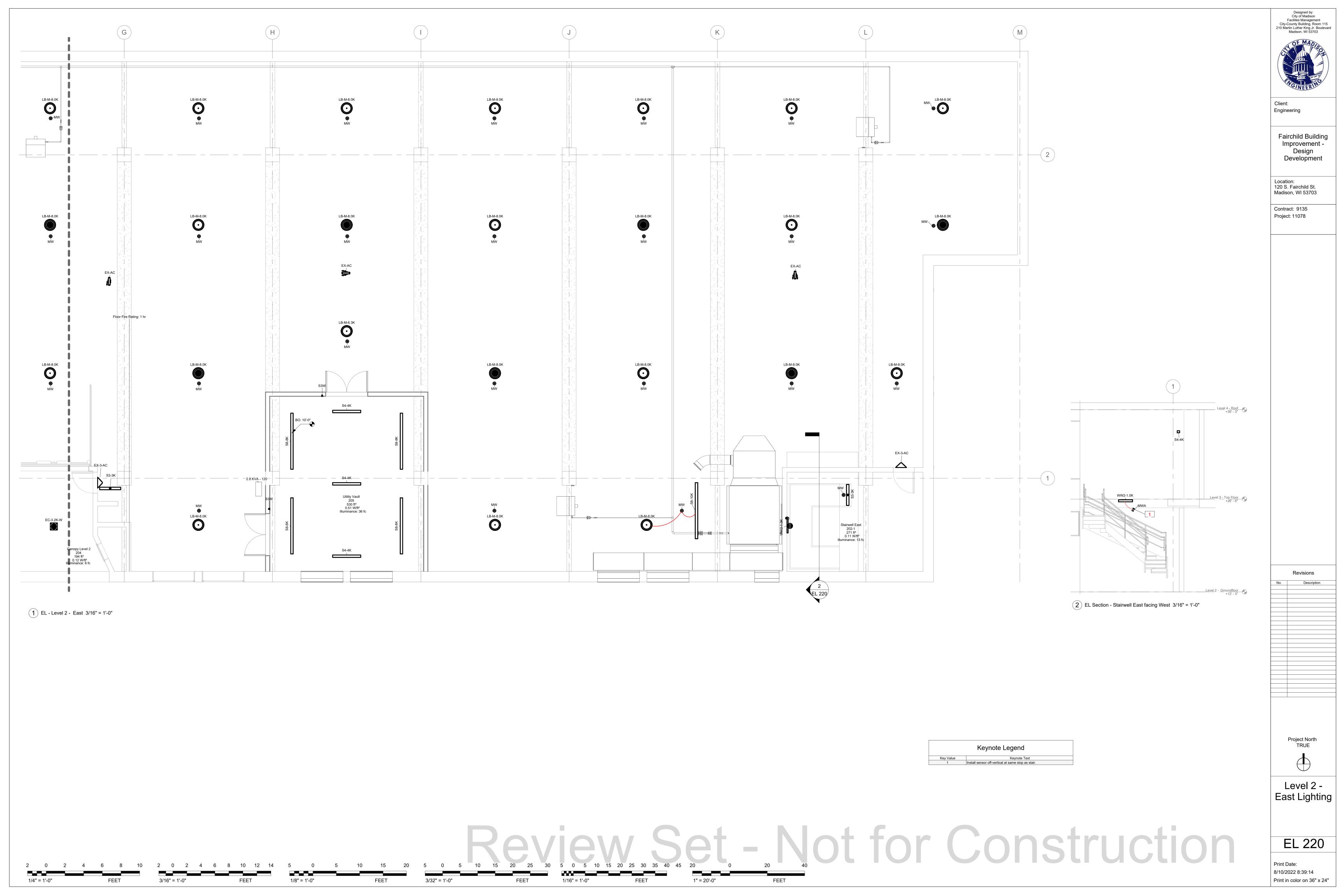
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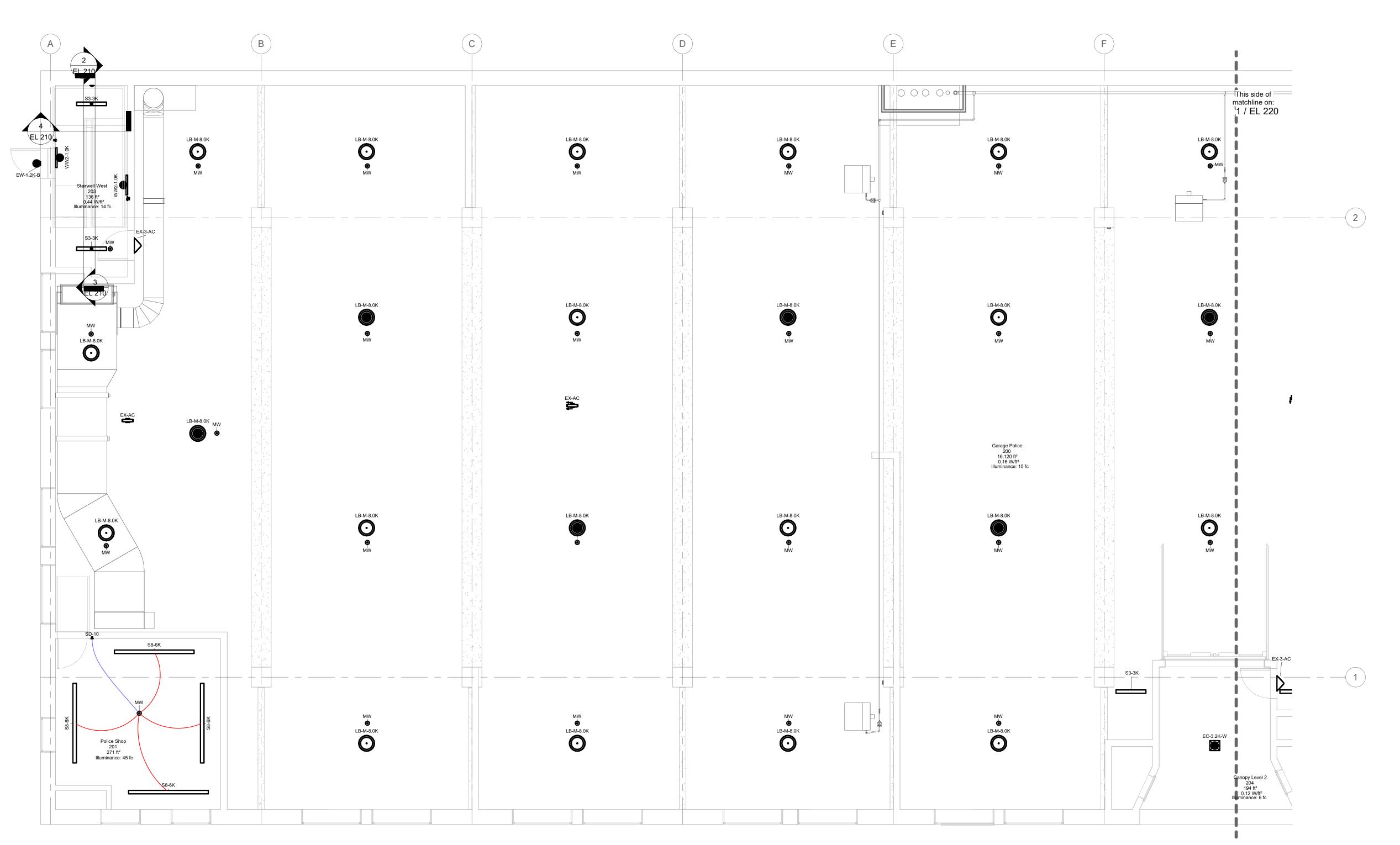
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Review Set - Not for Construction









3/32" = 1'-0"

FEET

1 EL - Level 2 - West 3/16" = 1'-0"

1/4" = 1'-0"

3/16" = 1'-0"

1/8" = 1'-0"

Designed by:
City of Madison
Facilites Management
City-County Building, Room 115
210 Martin Luther King Jr. Boulevard
Madison, WI 53703

Fairchild Building Improvement -Design Development

Location: 120 S. Fairchild St. Madison, WI 53703

Contract: 9135 Project: 11078

Revisions

Project North TRUE

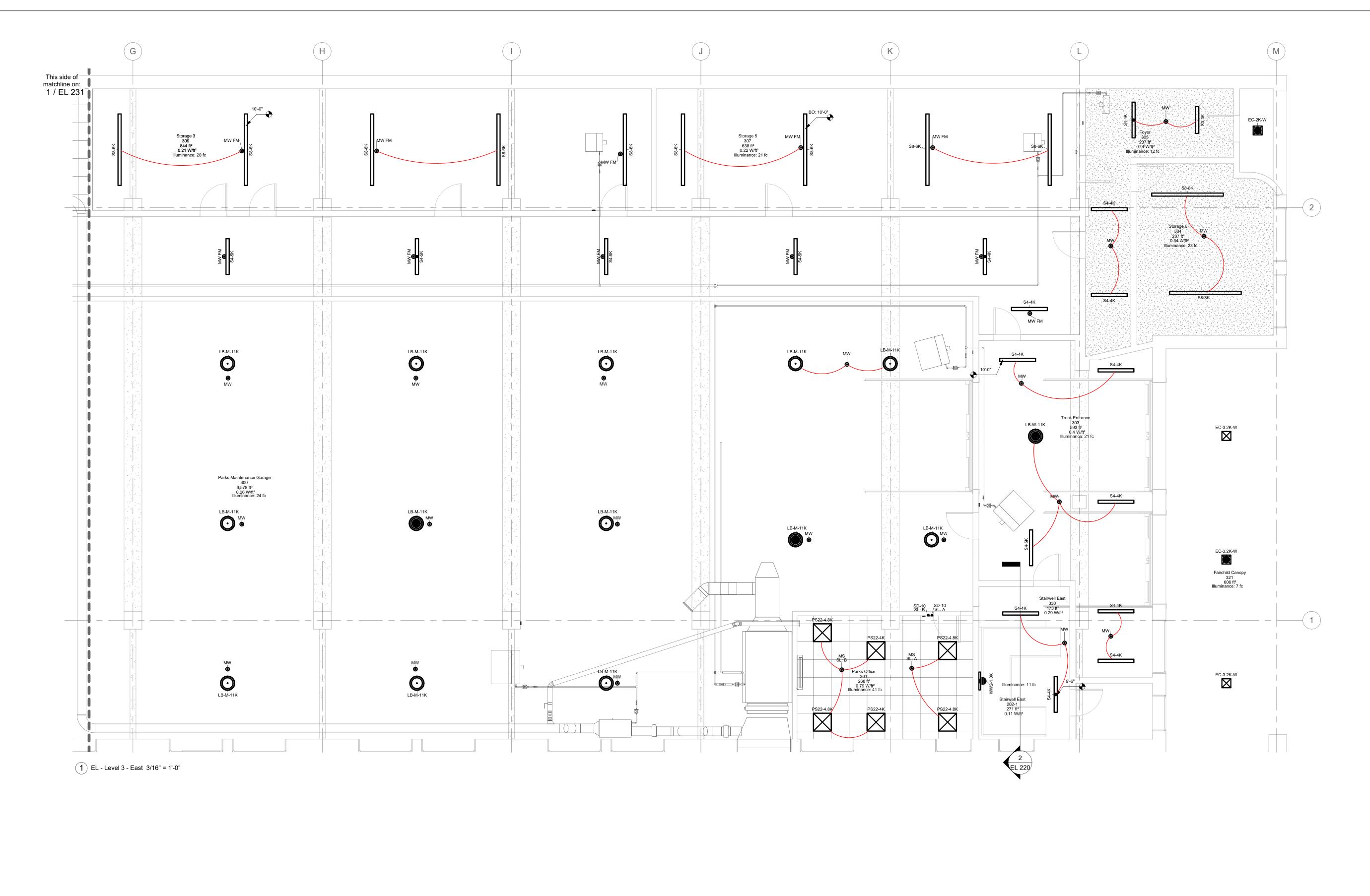
Level 2 -West Lighting

EL 221

8/10/2022 8:39:16

Print in color on 36" x 24"

Set - Not for Construction 1" = 20'-0" 1/16" = 1'-0" FEET



3/16" = 1'-0"

1/8" = 1'-0"

1/4" = 1'-0"

3/32" = 1'-0"

FEET

Designed by:
City of Madison
Facilites Management
City-County Building, Room 115
210 Martin Luther King Jr. Boulevard
Madison, WI 53703

Fairchild Building Improvement -<sup>'</sup> Design Development

Location: 120 S. Fairchild St. Madison, WI 53703

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Revisions

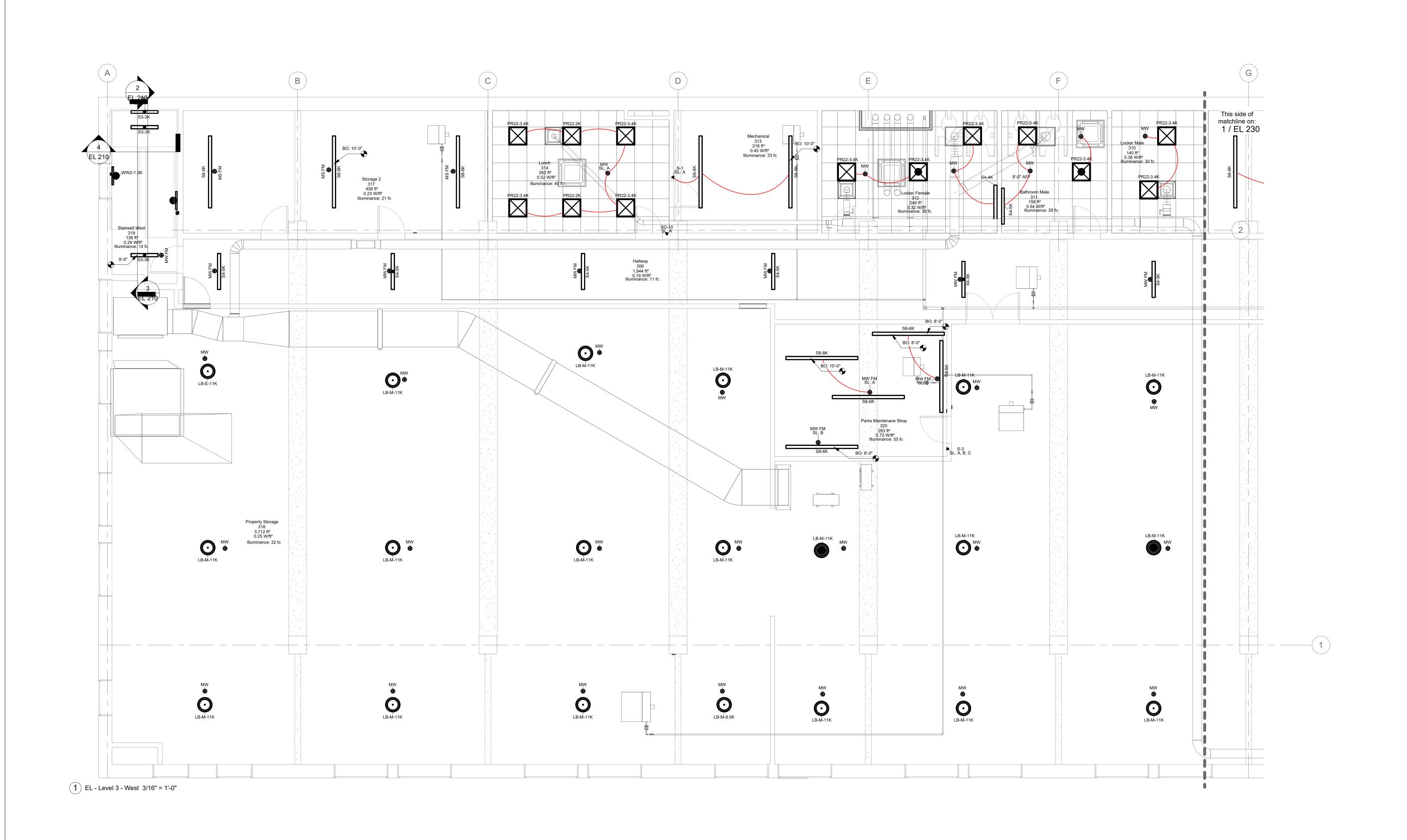
Project North

Level 3 -East Lighting

EL 230

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Set - Not for Construction 1" = 20'-0" 1/16" = 1'-0" FEET

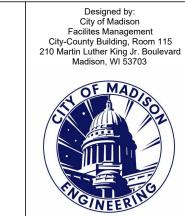


3/16" = 1'-0"

1/8" = 1'-0"

3/32" = 1'-0"

FEET



Fairchild Building Improvement -Design Development

Location: 120 S. Fairchild St. Madison, WI 53703

Contract: 9135 Project: 11078

Revisions

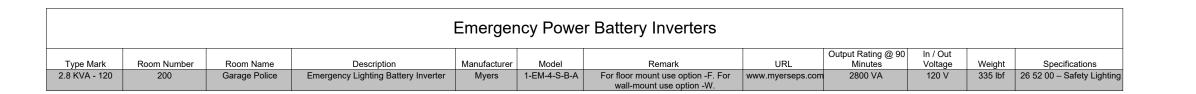
Project North TRUE

Level 3 -West -Lighting

EL 231

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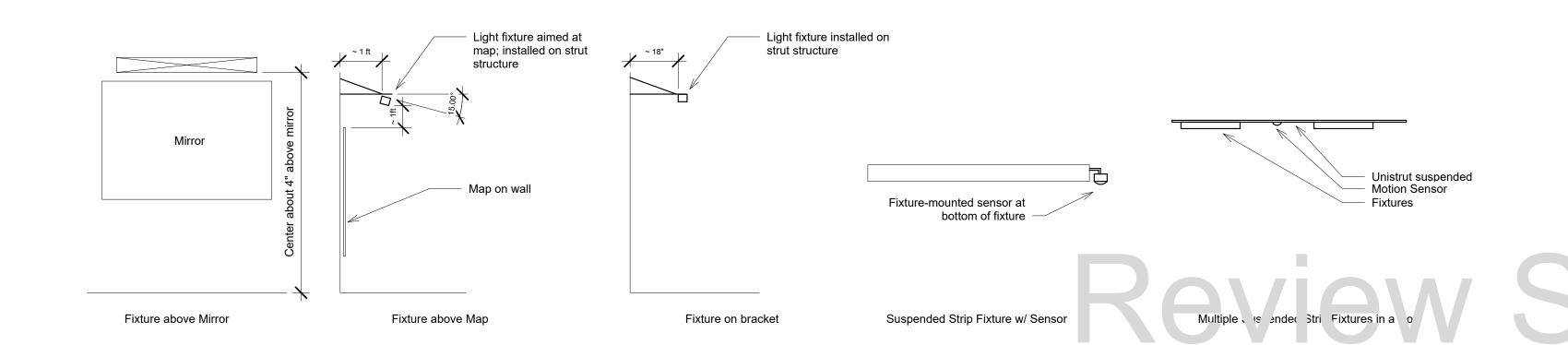
Set - Not for Construction 1" = 20'-0" 1/16" = 1'-0" FEET



	Lighting Device Schedule												
Type Mark	Description	Est. Count	Model	URL	Type Remark	Specification							
MS	Motion Sensor short Range	2	Sensorswitch CMR-9-PDT-ADC-VLP	www.acuitybrands.com		26 09 23 - Lighting Control Devices							
MS FM	Motion Sensor short Range; Fixture-mount	3	Sensorswitch LSXR-9-ADC-VLP	www.acuitybrands.com		26 09 23 - Lighting Control Devices							
MW	Motion Sensor wide Range	117	Sensorswitch CMR-10-PDT-ADC-VLP	www.acuitybrands.com		26 09 23 - Lighting Control Devices							
MW FM	Motion Sensor wide Range; Fixture-mount	21	Sensorswitch LSXR-10-ADC-VLP	www.acuitybrands.com		26 09 23 – Lighting Control Devices							
MWA	Motion Sensor Wall-mount 180° Coverage; 48" height	5	Sensorswitch LWS-WH	www.acuitybrands.com		26 09 23 – Lighting Control Devices							
S3W	3-Way Switch	2				26 09 23 - Lighting Control Devices							
S-1	Single Switch	2				26 09 23 - Lighting Control Devices							
S-3	Triple Switch	1			3 switches per spot	26 09 23 - Lighting Control Devices							
SD-10	Switch w/ 0-10V Dimmer	4	Wattstopper RH4FBL3PW	www.legrand.us		26 09 23 - Lighting Control Devices							

(4) EL Typical Installation Details - Not to Scale

	Lighting Fixture Schedule												
Type Mark	Description	Est. Count	Model	URI	Apparent Load	Luminous Flux	Color Temperature	Efficacy	Lumen Maintenance	Type Remark	Specification		
EC-2K-W	Exterior Canopy surface-mounted; White		RAB VANLED-10-F-W	www.rablighting.com	14 VA	2009 lm	5000 K	149 lm/W	L70 @ 100K hours	Add Swivel Photocell (PCS/PCS2) if no other lighting control is scheduled	26 56 00 – Exterior Lighting		
EC-3.2K-W	Exterior Canopy surface-mounted; White		RAB VANLED-20-F-W	www.rablighting.com	23 VA	3184 lm	5000 K	140 lm/W	L70 @ 100K hours	Add Swivel Photocell (PCS/PCS2) if no other lighting control is scheduled	26 56 00 – Exterior Lighting		
EW-1.2K-B	Exterior Wall - Bronze	1	RAB BRISK-S11L	www.rablighting.com	9 VA	1212 lm	5000 K	135 lm/W	L80 @ 60K hours	Add Photocell (PCU) If no other lighting control is scheduled	26 56 00 – Exterior Lighting		
EX-3-AC	AC-powered triangular Exit Fixture	4	Big Beam TRXL-2-G-W-W	www.bigbeam.com	4 VA					( )	26 52 00 – Safety Lighting		
EX-AC	AC-powered Exit Fixture	8	Lithonia LQM-S-W-3-G-MVOLT	www.acuitybrandslighting.com	1 VA						26 52 00 - Safety Lighting		
LB-E-11K	Low Bay - Wide Distribution	1	Lithonia VCPGX LED-V8-P5-70CRI-T5E-MVOLT	www.acuitybrands.com	81 VA	11085 lm	5000 K	137 lm/W	L89 @ 100K hours	Select PM, SRM, or ARM option based on mounting required	26 51 00 - Interior Lighting		
LB-M-6.3K	Low Bay - Wide Distribution	1	Lithonia VCPGX LED-V8-P3-70CRI-T5M-MVOLT	www.acuitybrands.com	42 VA	6319 lm	5000 K	150 lm/W	L89 @ 100K hours	Select PM, SRM, or ARM option based on mounting required	26 51 00 - Interior Lighting		
LB-M-8.0K	Low Bay - Wide Distribution	56	Lithonia VCPGX LED-V8-P4-70CRI-T5M-MVOLT	www.acuitybrands.com	55 VA	8042 lm	5000 K	146 lm/W	L89 @ 100K hours	Select PM, SRM, or ARM option based on mounting required	26 51 00 - Interior Lighting		
LB-M-11K	Low Bay - Wide Distribution	31	Lithonia VCPGX LED-V8-P5-70CRI-T5M-MVOLT	www.acuitybrands.com	81 VA	11085 lm	5000 K	137 lm/W	L89 @ 100K hours	Select PM, SRM, or ARM option based on mounting required	26 51 00 - Interior Lighting		
LB-W-11K	Low Bay - Wide Distribution	1	Lithonia VCPGX LED-V8-P5-70CRI-T5W-MVOLT	www.acuitybrands.com	81 VA	11085 lm	5000 K	137 lm/W	L89 @ 100K hours	Select PM, SRM, or ARM option based on mounting required	26 51 00 - Interior Lighting		
PR22-2K	Panel Recessed 2x2	2	Lithonia EPANL-2x2-2000LMHE-40K-80CRI-MIN1-ZT-MVOLT	www.acuitybrands.com	16 VA	1972 lm	4000 K	126 lm/W	L91 @ 60K hours		26 51 00 - Interior Lighting		
PR22-3.4K	Panel Recessed 2x2	11	Lithonia EPANL-2x2-3400LMHE-40K-80CRI-MIN1-ZT-MVOLT	www.acuitybrands.com	27 VA	3399 lm	4000 K	128 lm/W	L91 @ 60K hours		26 51 00 - Interior Lighting		
PS22-4.8K	Panel Recessed 2x2	4	Lithonia EPANL-2x2-4800LMHE-40K-80CRI-MIN1-ZT-MVOLT-2x2SMKSH	www.acuitybrands.com	36 VA	4697 lm	4000 K	129 lm/W	L91 @ 60K hours		26 51 00 - Interior Lighting		
PS22-4K	Panel Surface 2x2	2	Lithonia EPANL-2x2-4000LMHE-40K-80CRI-MIN1-ZT-MVOLT-2x2SMKSH	www.acuitybrands.com	33 VA	4117 lm	4000 K	125 lm/W	L91 @ 60K hours		26 51 00 - Interior Lighting		
S3-3K	Strip 3'	9	Lithonia CLX-L36-3000LM-HEF-RDL-MVOLT-EZ1-40K-80CRI	www.acuitybrands.com	20 VA	3004 lm	4000 K	150 lm/W	L70 @ 100K hours		26 51 00 - Interior Lighting		
S4-4K	Strip 4'	21	Lithonia CLX-L48-4000LM-HEF-RDL-MVOLT-EZ1-40K-80CRI	www.acuitybrands.com	25 VA	3868 lm	4000 K	156 lm/W	L70 @ 100K hours		26 51 00 - Interior Lighting		
S4-5K	Strip 4'	24	Lithonia CLX-L48-5000LM-HEF-RDL-MVOLT-EZ1-40K-80CRI	www.acuitybrands.com	32 VA	4839 lm	4000 K	152 lm/W	L70 @ 100K hours		26 51 00 – Interior Lighting		
S4-7K	Strip 4'	1	Lithonia CLX-L48-7000LM-HEF-RDL-MVOLT-EZ1-40K-80CRI	www.acuitybrands.com	45 VA	7009 lm	4000 K	157 lm/W	L70 @ 100K hours		26 51 00 - Interior Lighting		
S8-6K	Strip 8'	30	Lithonia CLX-L96-6000LM-HEF-RDL-MVOLT-EZ1-40K-80CRI	www.acuitybrands.com	36 VA	5697 lm	4000 K	160 lm/W	L70 @ 100K hours		26 51 00 - Interior Lighting		
S8-8K	Strip 8'	10	Lithonia CLX-L96-8000LM-HEF-RDL-MVOLT-EZ1-40K-80CRI	www.acuitybrands.com	49 VA	7602 lm	4000 K	157 lm/W	L70 @ 100K hours		26 51 00 – Interior Lighting		
S8-10K	Strip 8'	2	Lithonia CLX-L96-10000LM-HEF-RDL-MVOLT-EZ1-40K-80CRI	www.acuitybrands.com	61 VA	9404 lm	4000 K	154 lm/W	L70 @ 100K hours		26 51 00 – Interior Lighting		
WW2-1.0K	Linear Wall-Wash LED Light Fixture	5	Focal Point FSM1W-AS-500-40K-1C-UNV-L11-WM-WH-4ft	www.focalpointlights.com	10 VA	2000 lm	4000 K	200 lm/W	L90 @ 115K hours		26 51 00 – Interior Lighting		



Track Light w/ separate linevoltage dimmer downstream of Motion Sensor Motion Sensor Optional 3-way switch Optional Room Switch and/or Dimmer upstream of Sensors 0-10V Control for dimming to all fixtures with 0-10V input. Wire from sensor to Fixtures. Optional manual dimmer wired in parallel.

- Lighting zones with lighting-devices and light-fixtures are indicated by wire lines and/or switch leg (SL) numbers.
- Where devices allow, dimming shall be accomplished by 0-10V wiring of all devices. Where shown on plans, a zone may have 3-way and 4-way switches. Enable 3-way function on dimmer switch and wire appropriately to
- enable control from all switch locations. Fixtures and devices in the same above zone are denoted by the same switchleg (SL) number. Motion sensor with local switch will be de-energized when switch is off (sensor downstream of switch):
- Light will be on upon activation of local switch regardless of actual motion detection (sensor is ON upon power-up) Sensors will not click when local switch is off (nuisance avoidance in quiet rooms)
- Line-voltage dimmers (i.e. track lighting) shall be downstream of local motion sensor.
- Notes on plans or switchleg naming will indicate exceptions. For example: Disable Switchleg: A dimmer will only dim the lighting level to the allowable minimum. The line voltage switch in the dimmer will
- not be used. This prevents lights turning off entirely. Hallways are an example. One light fixture shall be controlled by switch only: Switchleg parameters indicate that some lights are controlled by switch and sensor, and some lights by switch only. This prevents the latter lights from turning off upon loss of motion detection. Electrical
- or mechanical rooms are examples. Sensor Programming Instructions:
  - The below is based on Sensorswitch Instructions at the time of design. Amend if different sensors are used or if manufacturer changes procedure. Confirm any deviation with engineer. Sensorswitch support#: 1-800-535-2465
- If sensors are equipped with VLC programming option, a smartphone app shall be used. Note that sensors needs to be initialized and set with a PIN within 45 minutes of powering up. Program is sent to sensor via flashlight. Lights will blink to
- acknowledge successful programming. Verify settings with engineer prior programming. Certain settings may be different in certain zones.
- Sensors shall be programmed depending on availability of daylight . Save presets to avoid deviations.
- No daylight available: Enable "Time Delay" - Set to 15 minutes
- Disable Trim
- Enable "Dim to Off Delay" set to 5 minutes Disable Photocell
- Daylight available (inc. spaces with overhead doors, skylights, windows within 20' of sensor) Enable "Photocell" and set to "On/Off and Auto Dimming"
- Enable "Auto Set Point"
- After programming, all functions shall be tested to verify desired function. Adjust as required for intended function. Discuss problems with engineer.

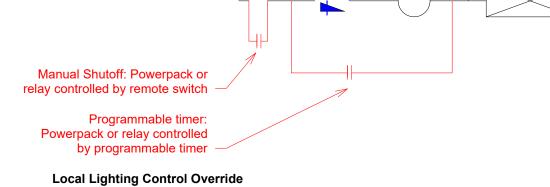
Regular Zone Control (see lighting control zone detail)

(1) EL Lighting Control Zone - Not to Scale



### **Turn off lights** when leaving room empty.

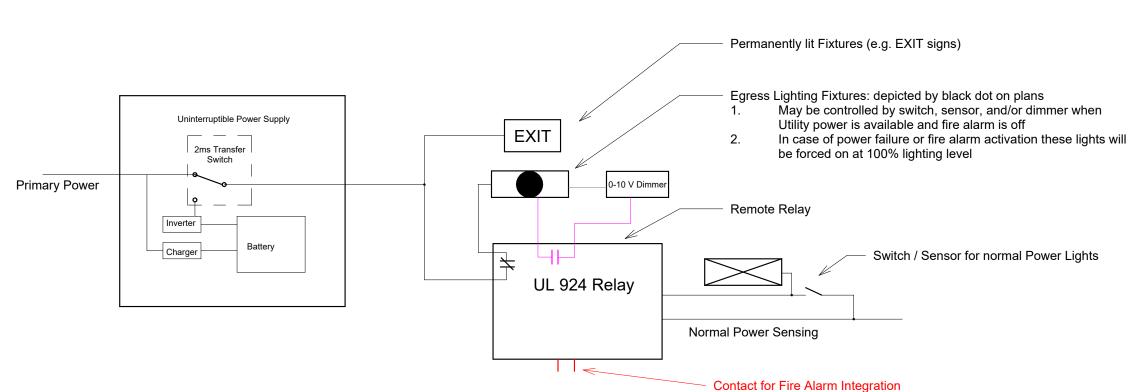
- A. Some spaces don't employ automatic lighting control and use manual switches only. These include but are not limited to mechanical,
- electrical, or crawl spaces. In these spaces, adhere a sign to the exit door
- Above sign is an example and similar signs can be used upon approval.
- indicating that lights shall be shut off upon leaving the space.



- Plan will indicate which zones will be overriden. Manual shut-off:
- Staff can remotely turn off selected zones regardless of local lighting control. the remote switch is shown on plans (typically in a non-public
- Programmable timer:
- 1. A central timer forces lights in zone on regardless of local control
- Wiring from programmable timer and remote switch can be accomplished in line-voltage wiring or with low-voltage wiring and power-pack near lighting

2 EL Manual Lighting Control - Not to Scale

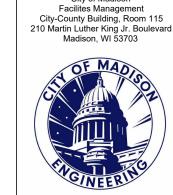
(3) EL Local Lighting Control Overrides - Not to Scale



- Emergency light fixtures (indicated by a black dot) and Exit signs will be powered by the Uninterruptible AC Power Supply (UPS). Wiring has to be extended from UPS to all devices. When normal power is present and fire alarm is OFF, lighting will be controlled by lighting control system. Local switches, timers, dimmers and sensors control on/off and dimming. When normal power is not present, the emergency fixtures and exit signs will be powered by the battery for over 90 minutes. These fixtures will be forced on at 100% (no dimming)
- When fire alarm is active, all emergency light fixtures will be forced on at 100% (no dimming). Contractor shall verify availability of contacts in fire alarm panel and add relay(s) if required.
- Wiring shall meet NEC 700.10 requirements. This includes, but is not limited to: Separate emergency raceway. Raceway shall be marked.
- Any junctions shall be labeled "Warning 2 power sources" or as required by code
- Label indicates panel, circuit, and voltage
- Conduit for emergency lighting shall be color-coded as specified in Division 26
  When accessible installation of UL 924 relay is not possible (e.g. drywall, exterior), install the relay in near-by accessible location. Verify location with engineer.
- fixtures with built-in sensor shall be re-wired for UL 924 relay to bypass sensor (e.g. exterior fixture with included photocell)

5 L. Egress Lighting Control w/ JPS and Fire Just Integration - Not to Scale

On STUCION



Designed by: City of Madison

Engineering

Fairchild Building Improvement -Design Development

Location: 120 S. Fairchild St.

Madison, WI 53703

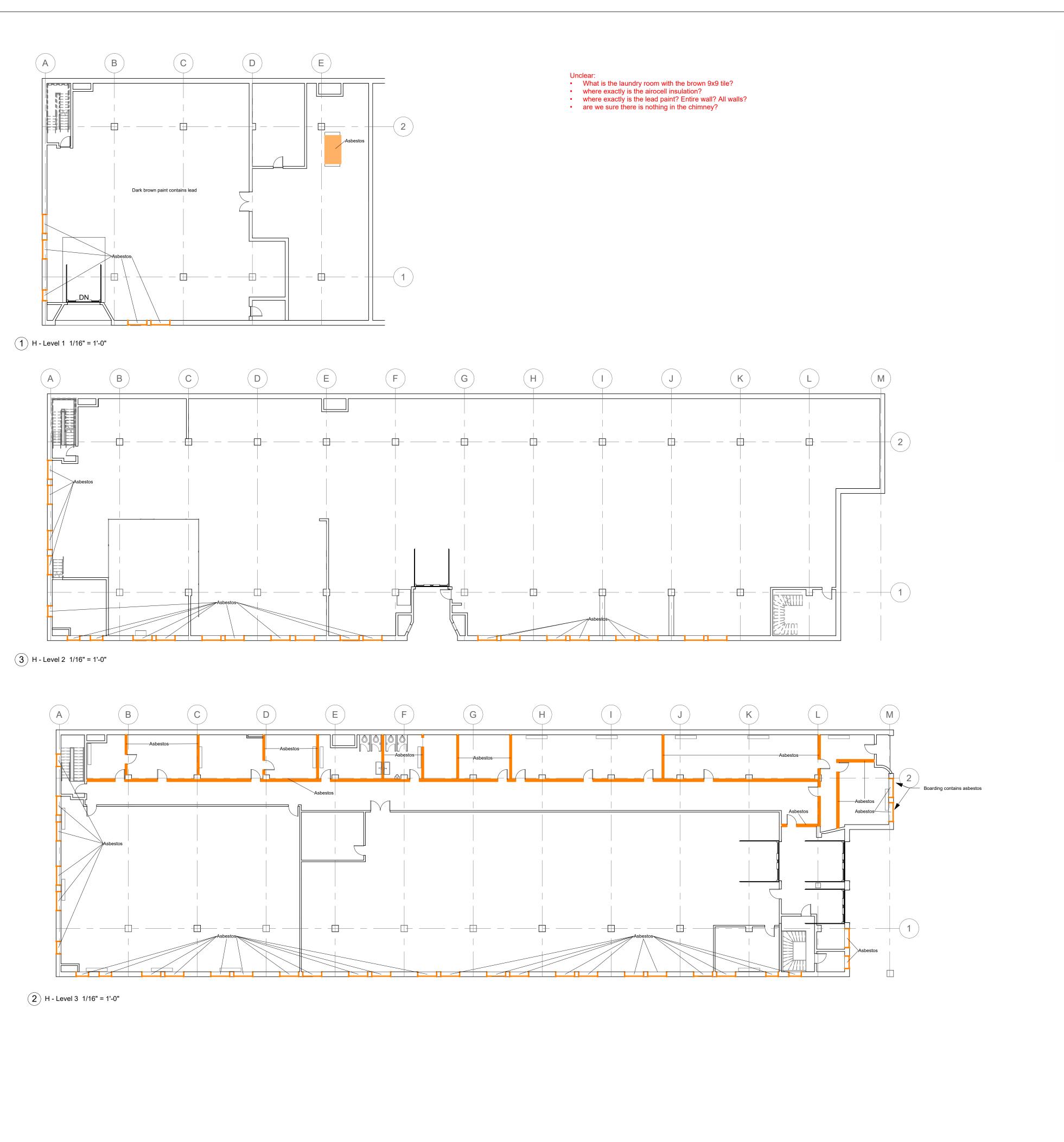
Contract: 9135 Project: 11078

Details and Schedules

Revisions

EL 300

Print Date: 8/10/2022 8:39:20 Print in color on 36" x 24"



1/16" = 1'-0"

1" = 20'-0"

FEET

FEET

3/32" = 1'-0"

1/4" = 1'-0"

3/16" = 1'-0"

1/8" = 1'-0"



P.O. Box 708 • Poynette, WI 53955 Phone: (608) 635-8491 • Email: Office@aaenv.com • Fax: (608) 635-9717 INSPECTION

March 18, 2022

Mike Schuchardt City of Madison

City-County Bld., Room 115 210 Martin Luther King Jr Blvd Madison, WI 53703-3342

(608) 261-9249, Fax (608) 264-9275, Cell (608) 345-8993 mschuchardt@cityofmadison.com

RE: 120 Fairchild Street, Madison, WI

On March 2, 2022 an inspection for potential renovation was completed on materials identified as potentially being disturbed during work.

### **Asbestos Inspection**

Bulk samples were collected and analyzed for asbestos content by polarized light microscopy (PLM). The following materials were reported > 1% asbestos or are assumed to contain friable asbestos (RACM) or asbestos that will become friable while disturbing these materials.

- Window glazing, Sample 2 all exterior windows • Drywall joint compound, Sample 7 – All drywall through out the building
- Brown 9x9 floor tile in laundry room, Sample 9 245 Sq Ft
- Window boarding on front of building, sample 26 60 Sq Ft • Airocell insulation in lower parking garage, assumed – 9 Lin Ft
- Boiler packing, Assumed • Electrical panels, assumed – 27 panels
- The following building materials were bulk sampled and reported as **no asbestos detected**:
- Canvas on boiler breaching Drywall
- Vibration damper Ceiling tile
- Floor tile mastic
- Wall tile

(4) XTG Hazardous Material Report - Not to Scale

Hazardous Material Notes: 1. Read and understand the hazardous material report to understand all hazardous material locations and types
2. Plans will show many of the locations mentioned in the report, but may not be all inclusive.

a. Elements containing hazardous material will be colored. Not all elements will be shown - read report for details
3. All electrical panels are assumed to contain asbestos (not shown on plans) Wall tile mastic

- Ceramic tile grout Ceramic tile thinset
- Pyro block
- Plaster top coat Plaster base coat

• 12x12 floor tile

 Exterior window caulking Lead inspection

The building was sampled for lead. The dark brown paint in the lower parking garage was found to be positive for lead.

**Building Information:** 52,000 Total Sq Ft 1 Buildings 0 Living Units 90 Years Old 2 Stories

Dane County

A&A Environmental Inc.'s inspectors are only able to inspect open, safe, and accessible areas inside and outside of the building. Inaccessible suspect material may be hidden throughout this building. Any additional suspect materials discovered during the course of abatement/demolition/remodeling must be assumed to be ACM until sampled by and EPA/State of Wisconsin certified asbestos inspector and proven negative.

If you have any questions concerning this report or the sampling performed please feel free to contact me.

Sincerely,

Ryan Sopha President/Inspector #AII14676

Encl

RAS/bls

Facilites Management
City-County Building, Room 115 210 Martin Luther King Jr. Boulevard Madison, WI 53703

Designed by: City of Madison

Engineering

Fairchild Building Improvement -Design Development

Location: 120 S. Fairchild St. Madison, WI 53703

Contract: 9135 Project: 11078

Revisions

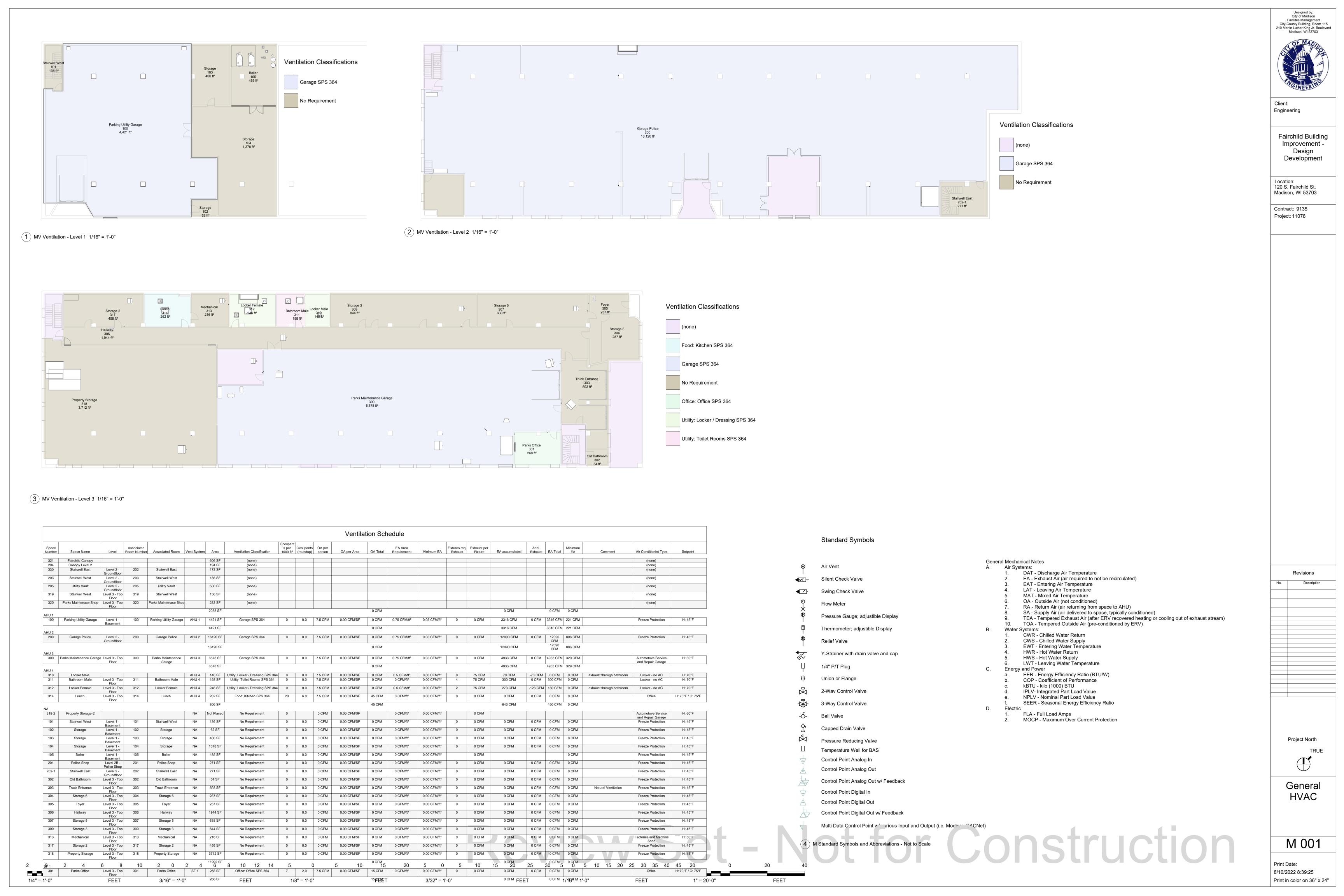
Project North

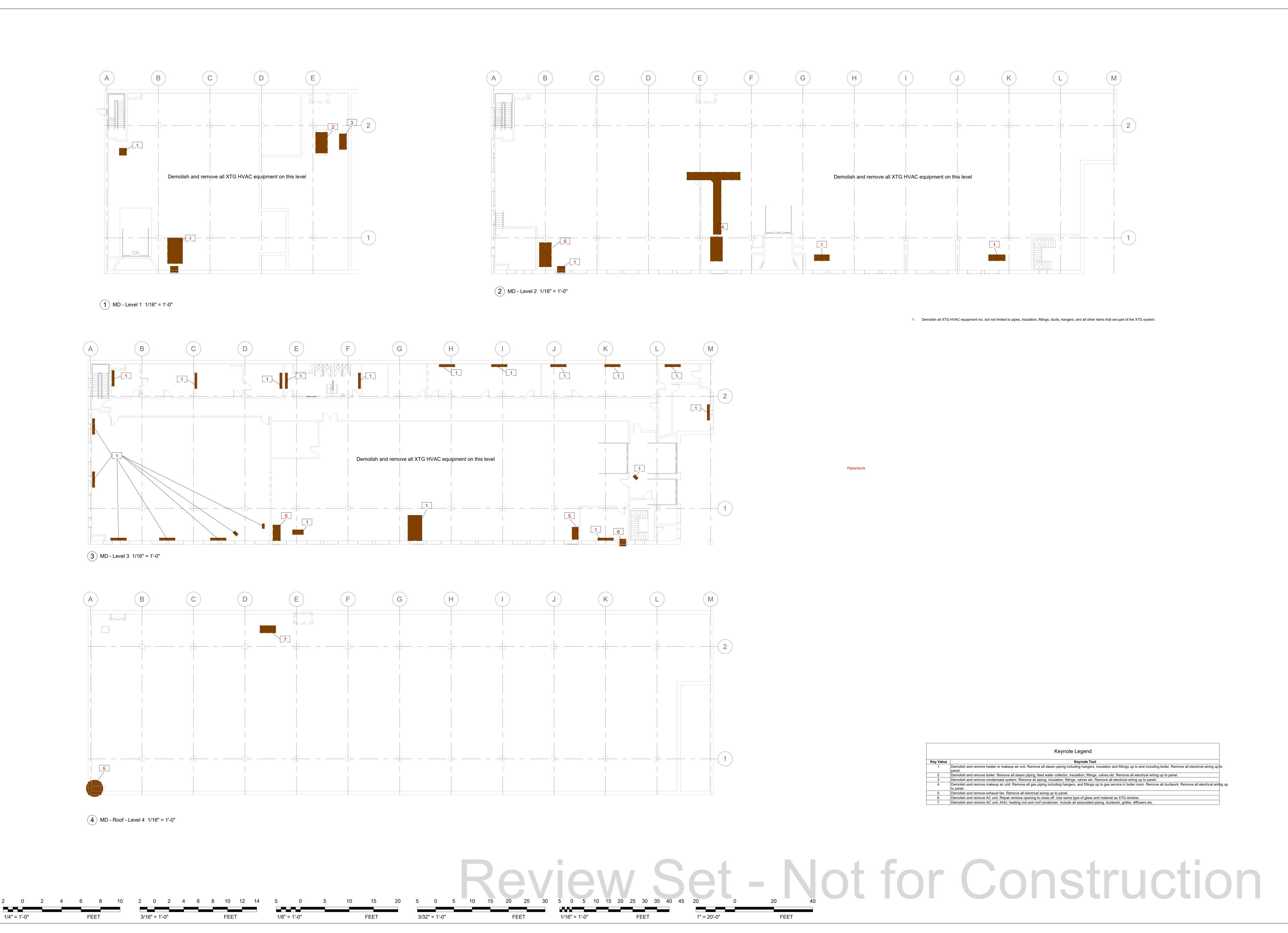
Hazardous Material

H 200

8/10/2022 8:39:23 Print in color on 36" x 24"

Set - Not for Construction





Designed by:
City of Madison
Facilites Management
City-County Building, Room 115
210 Martin Luther King Jr. Boulevard
Madison, WI 53703

Client: Engineering

> Fairchild Building Improvement -Design Development

Location: 120 S. Fairchild St. Madison, WI 53703

Contract: 9135 Project: 11078

Revisions

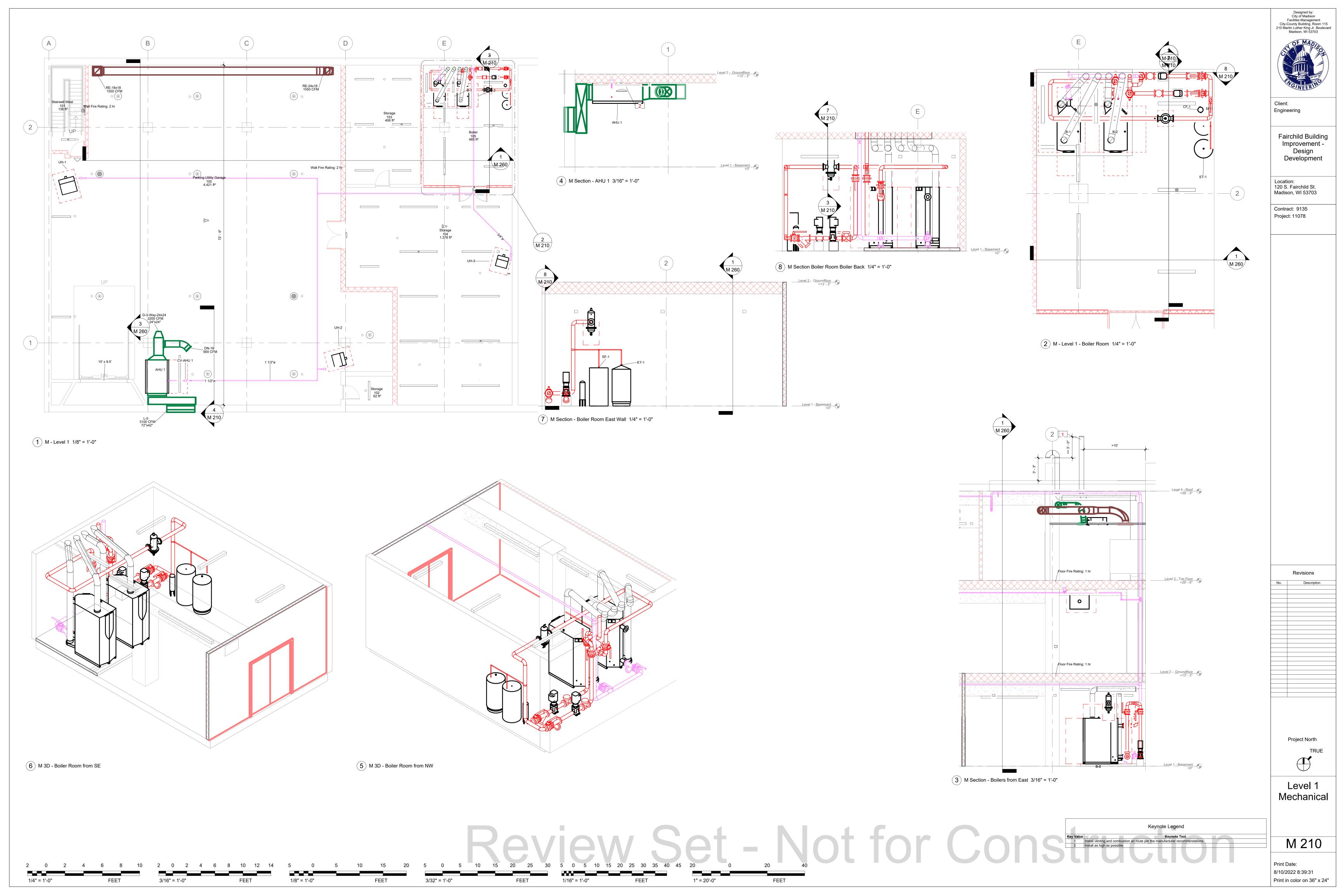
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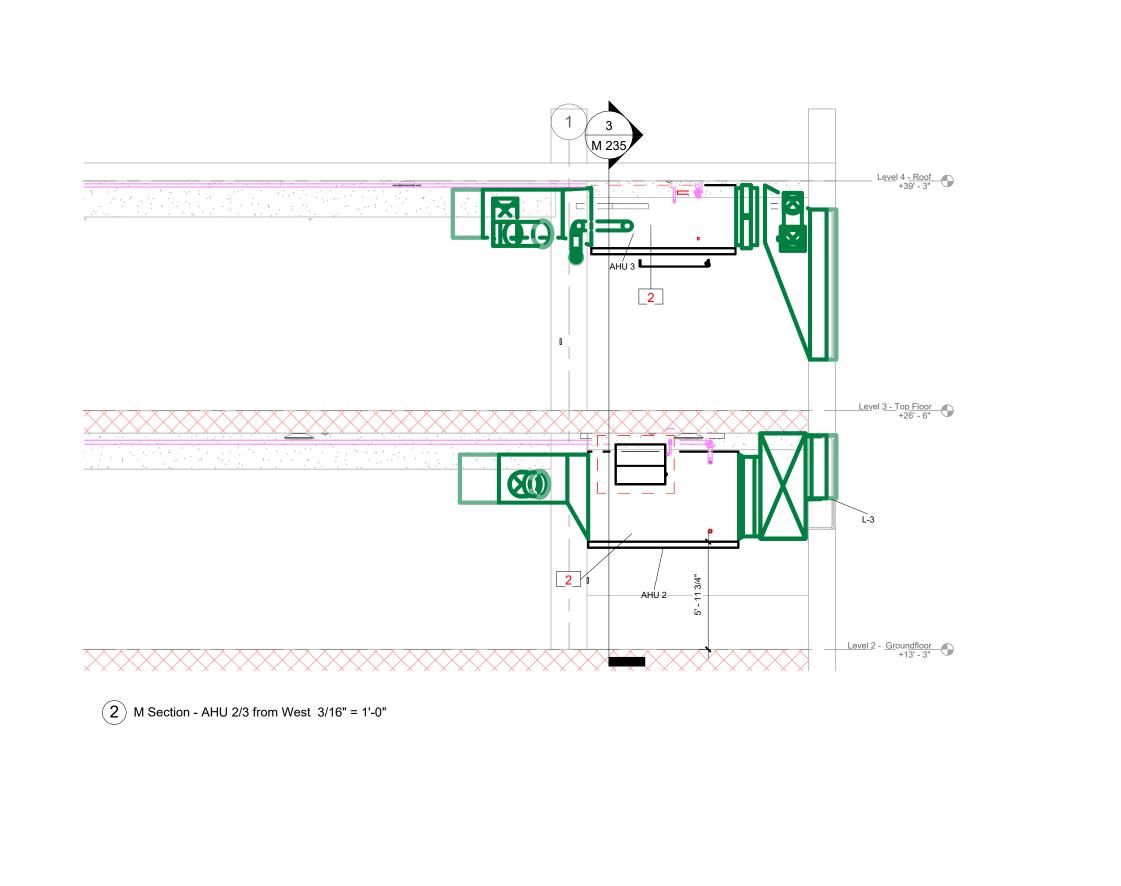
Project North

Demolition

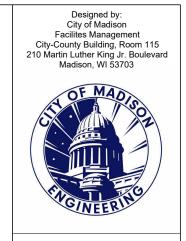
M 200

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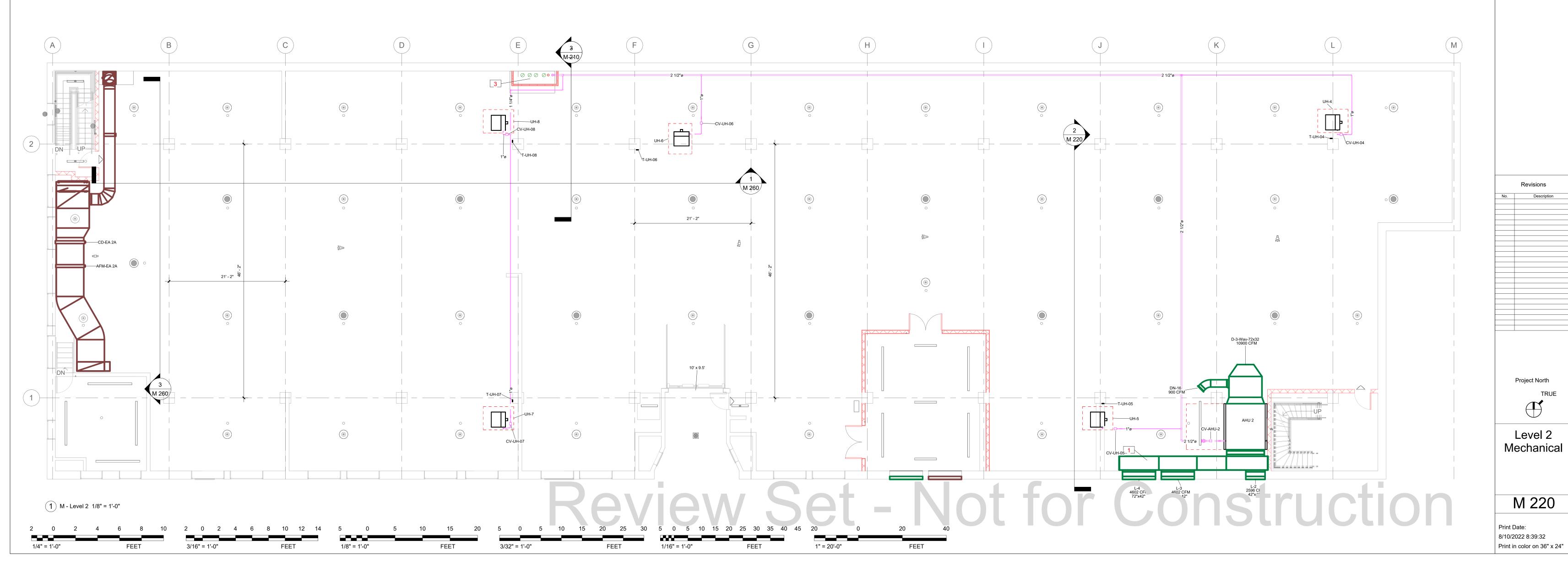


Engineering

Fairchild Building Improvement -Design Development

Location: 120 S. Fairchild St. Madison, WI 53703

Contract: 9135 Project: 11078

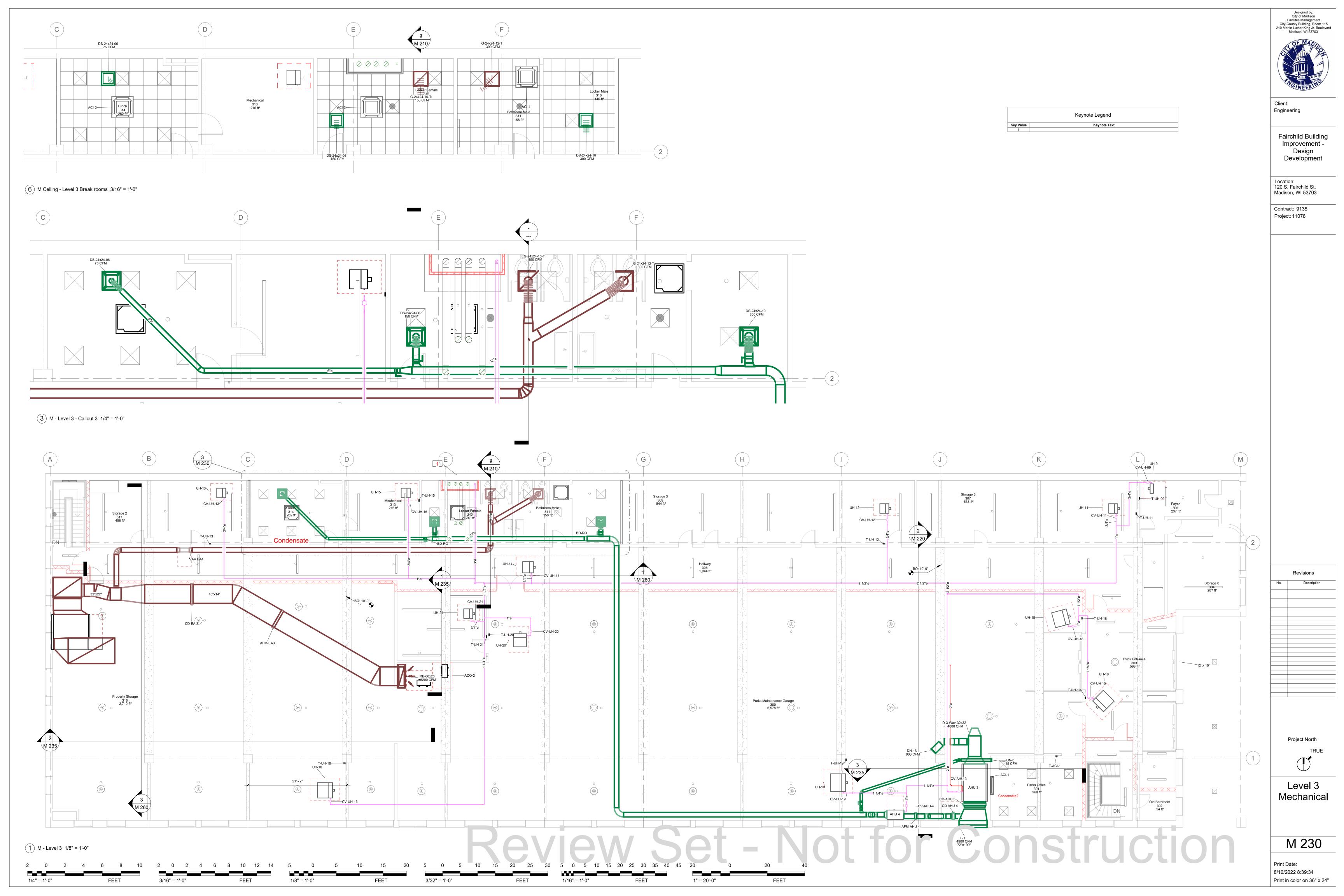


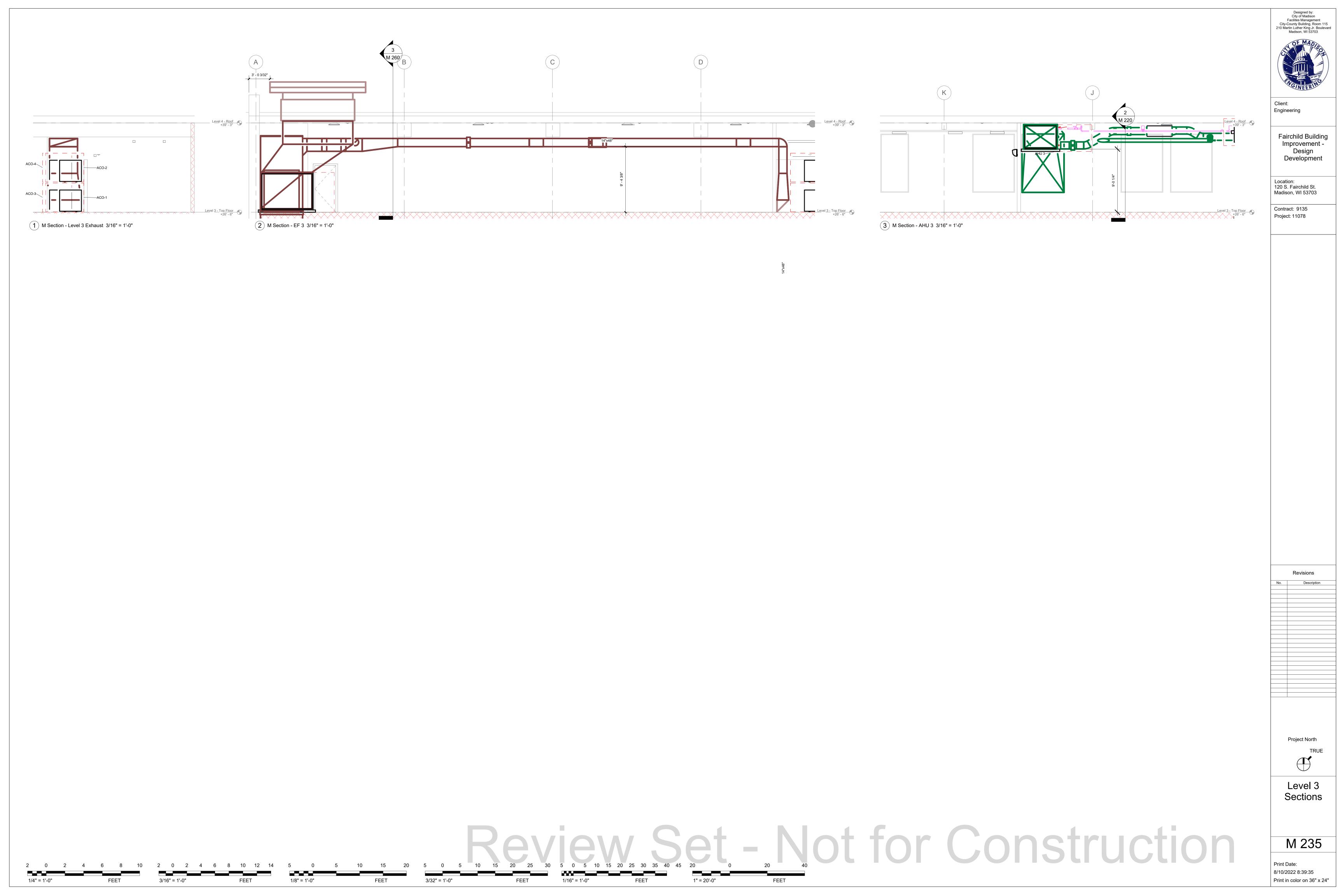
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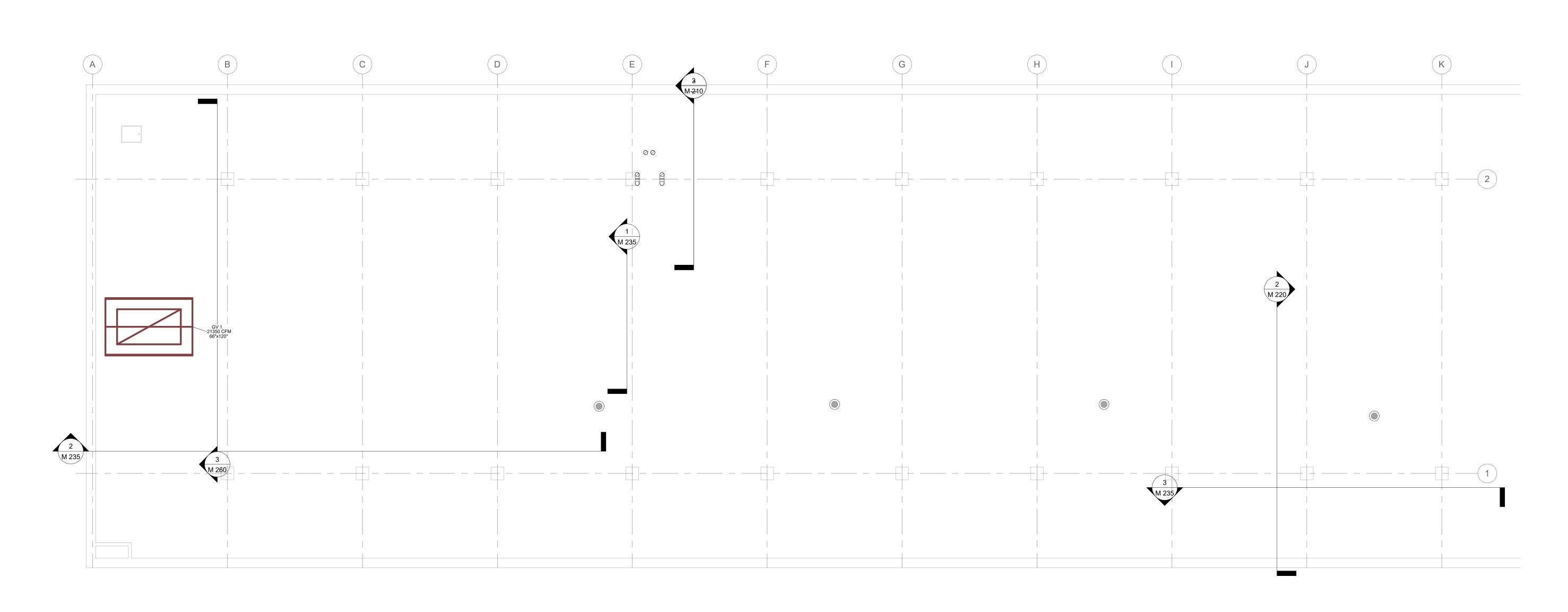
Level 2

Mechanical

M 220







3/32" = 1'-0"

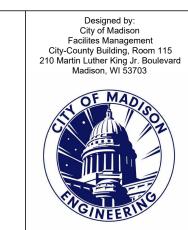
FEET

1 M - Roof - Level 4 1/8" = 1'-0"

3/16" = 1'-0"

1/8" = 1'-0"

1/4" = 1'-0"



Fairchild Building Improvement -Design Development

Location: 120 S. Fairchild St. Madison, WI 53703

Contract: 9135 Project: 11078

Revisions

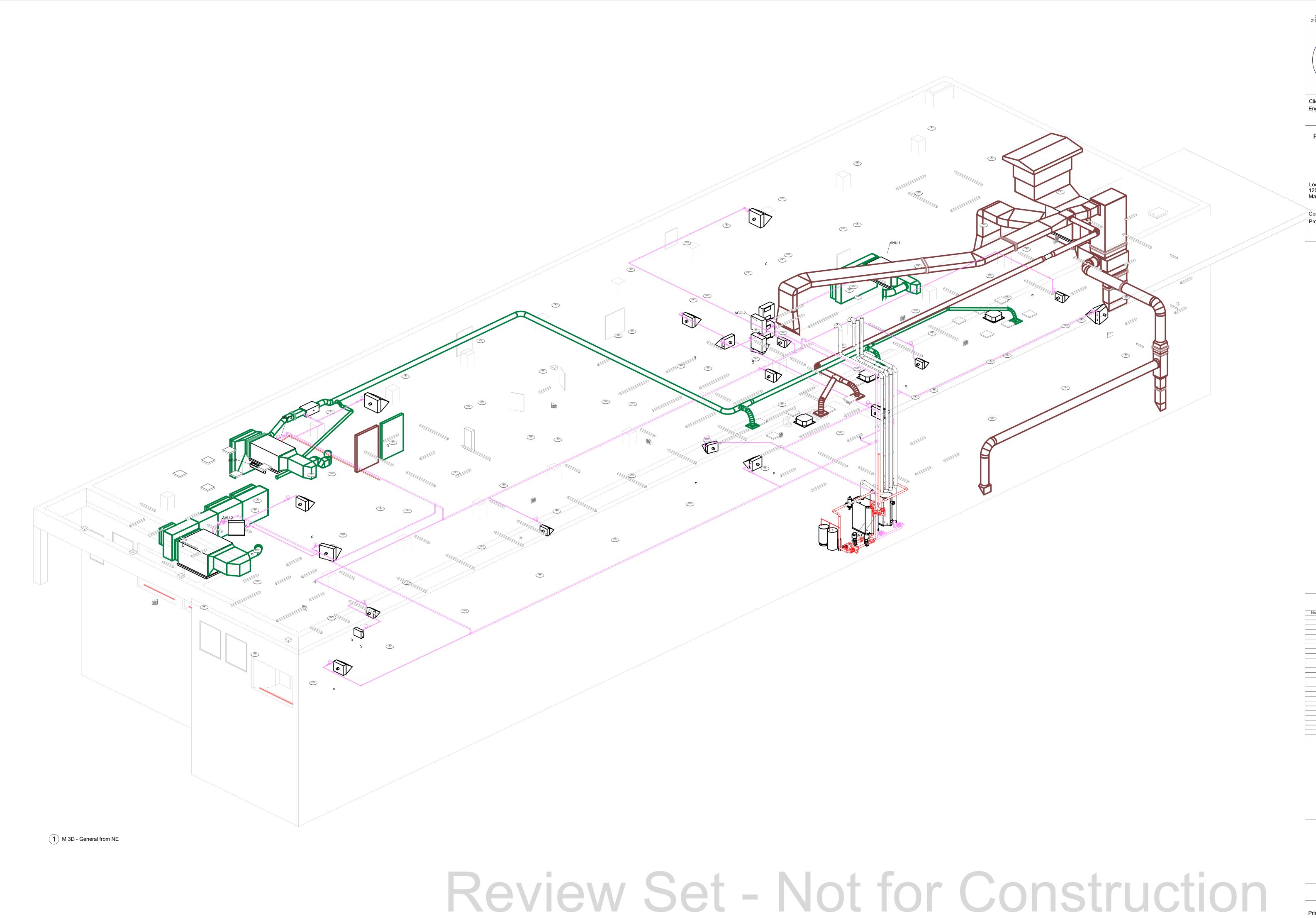
Project North

Roof

M 240

8/10/2022 8:39:35 Print in color on 36" x 24"

Review Set - Not for Construction 1" = 20'-0" 1/16" = 1'-0" FEET



Designed by:
City of Madison
Facilites Management
City-County Building, Room 115
210 Martin Luther King Jr. Boulevard
Madison, WI 53703

Fairchild Building Improvement -Design Development

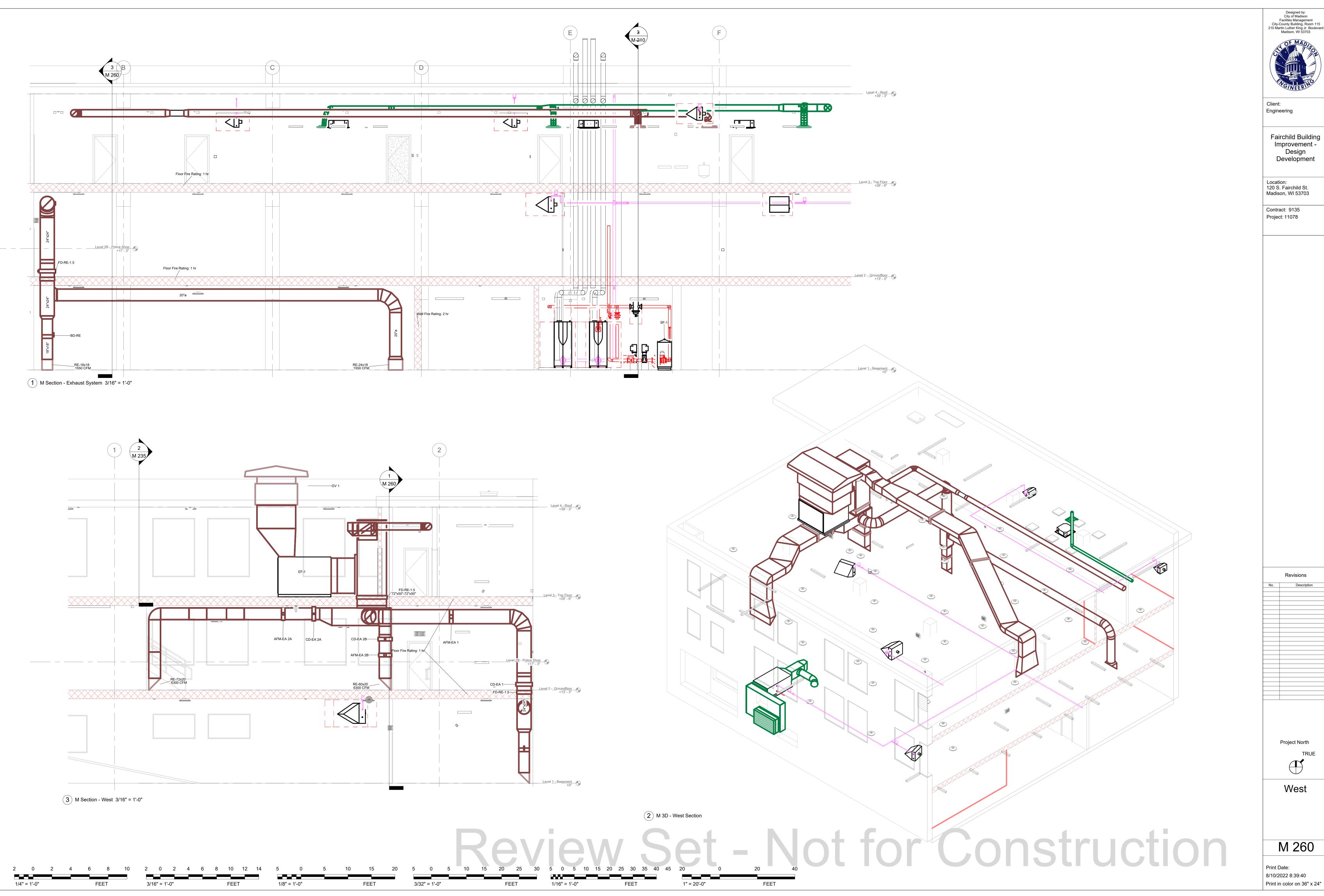
Location: 120 S. Fairchild St. Madison, WI 53703

Contract: 9135 Project: 11078

3D Views

M 250

Print in color on 36" x 24"



Designed by:
City of Madison
Facilites Management
City-County Building, Room 115
210 Martin Luther King Jr. Boulevard
Madison, WI 53703

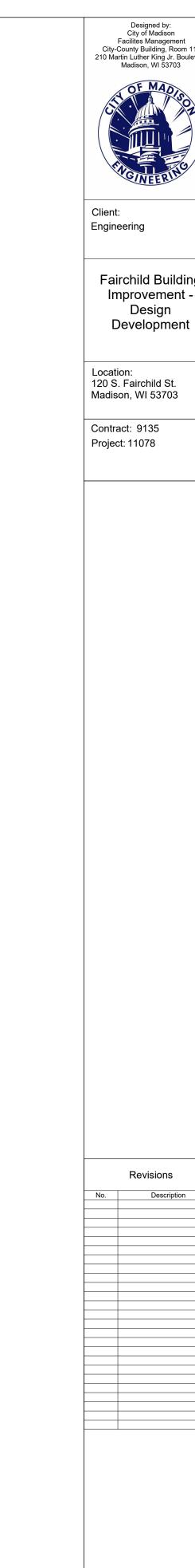
Fairchild Building Improvement -Design Development

Revisions

West

M 260

8/10/2022 8:39:40



Review Set - Not for Construction

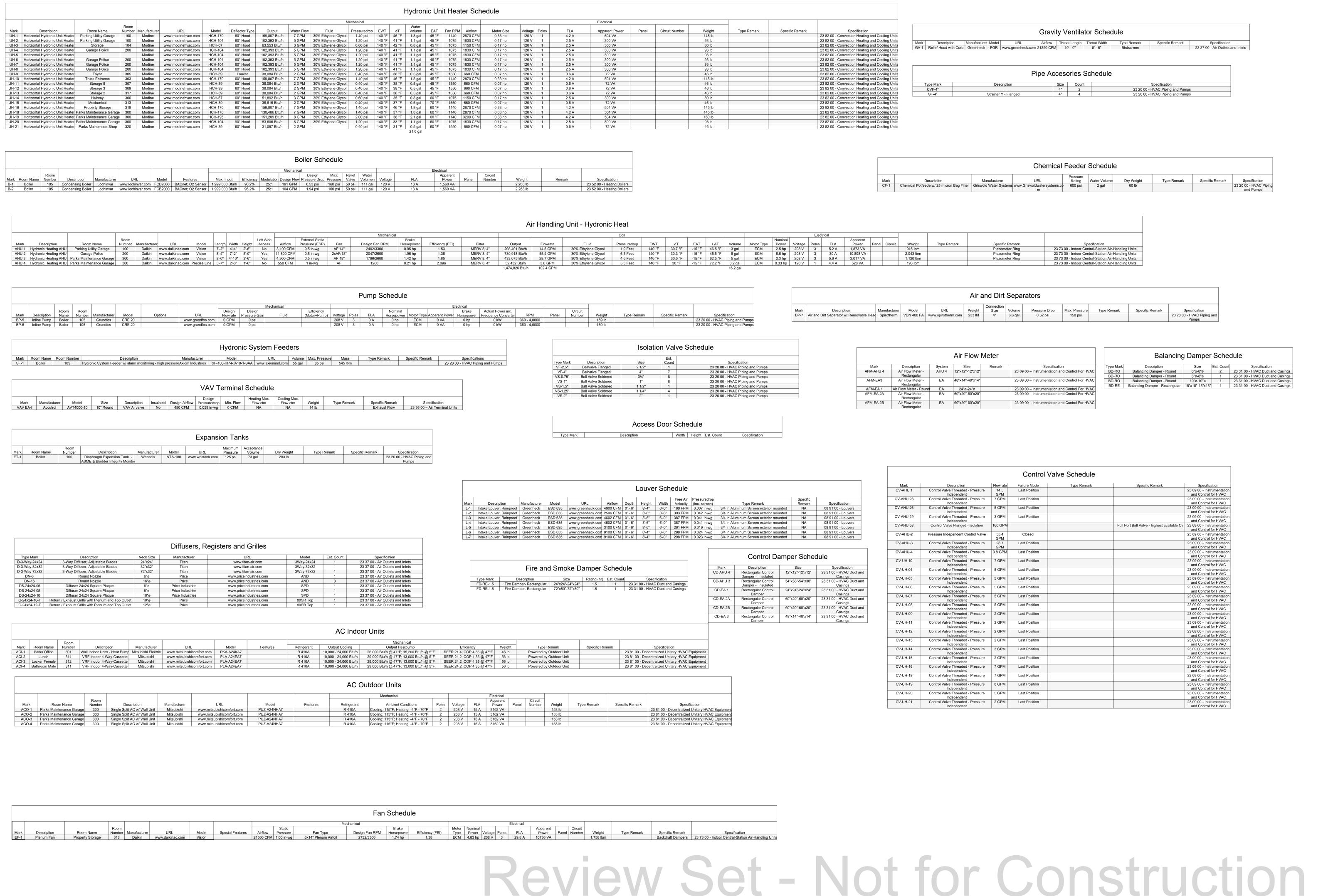


Fairchild Building Improvement -

Details

M 300

8/10/2022 8:39:40 Print in color on 36" x 24"



Client

Designed by:
City of Madison
Facilites Management
City-County Building, Room 115
10 Martin Luther King Jr. Bouleva
Madison, WI 53703

Client: Engineering

> Fairchild Building Improvement -Design Development

Location: 120 S. Fairchild St. Madison, WI 53703

Contract: 9135 Project: 11078

Schedules

Revisions

M 400

Print Date: 8/10/2022 8:39:40 Print in color on 36" x 24"