



City of Madison

Proposed Rezoning

Location

2405 Vondron Road

Applicant

Scott Zimmerman-Terra Eng. & Construction/
Kory Anderson-General Engineering Co.

From: Temp A To: IL

Existing Use

Storage shed

Proposed Use

Provide zoning for recently attached
property to be developed with an
office building

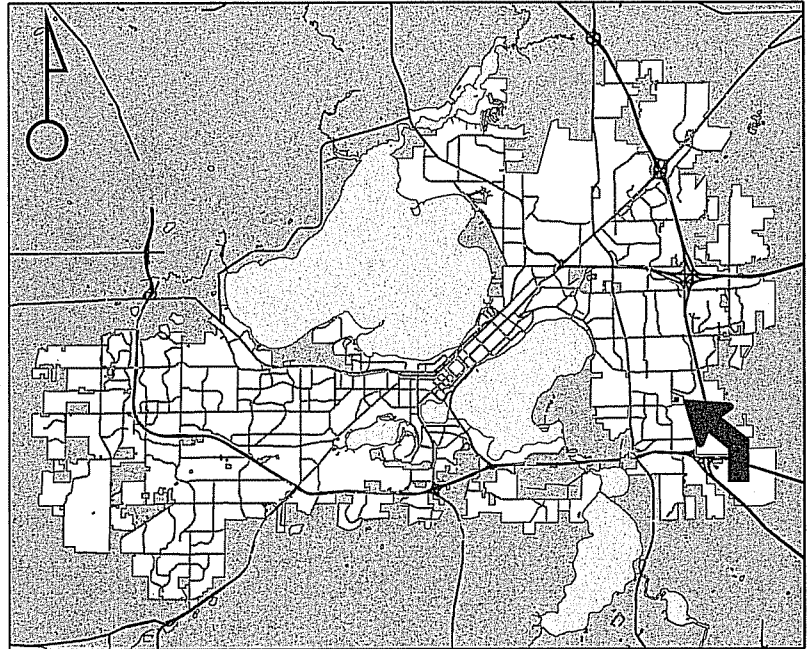
Public Hearing Date

Plan Commission

10 February 2014

Common Council

25 February 2014

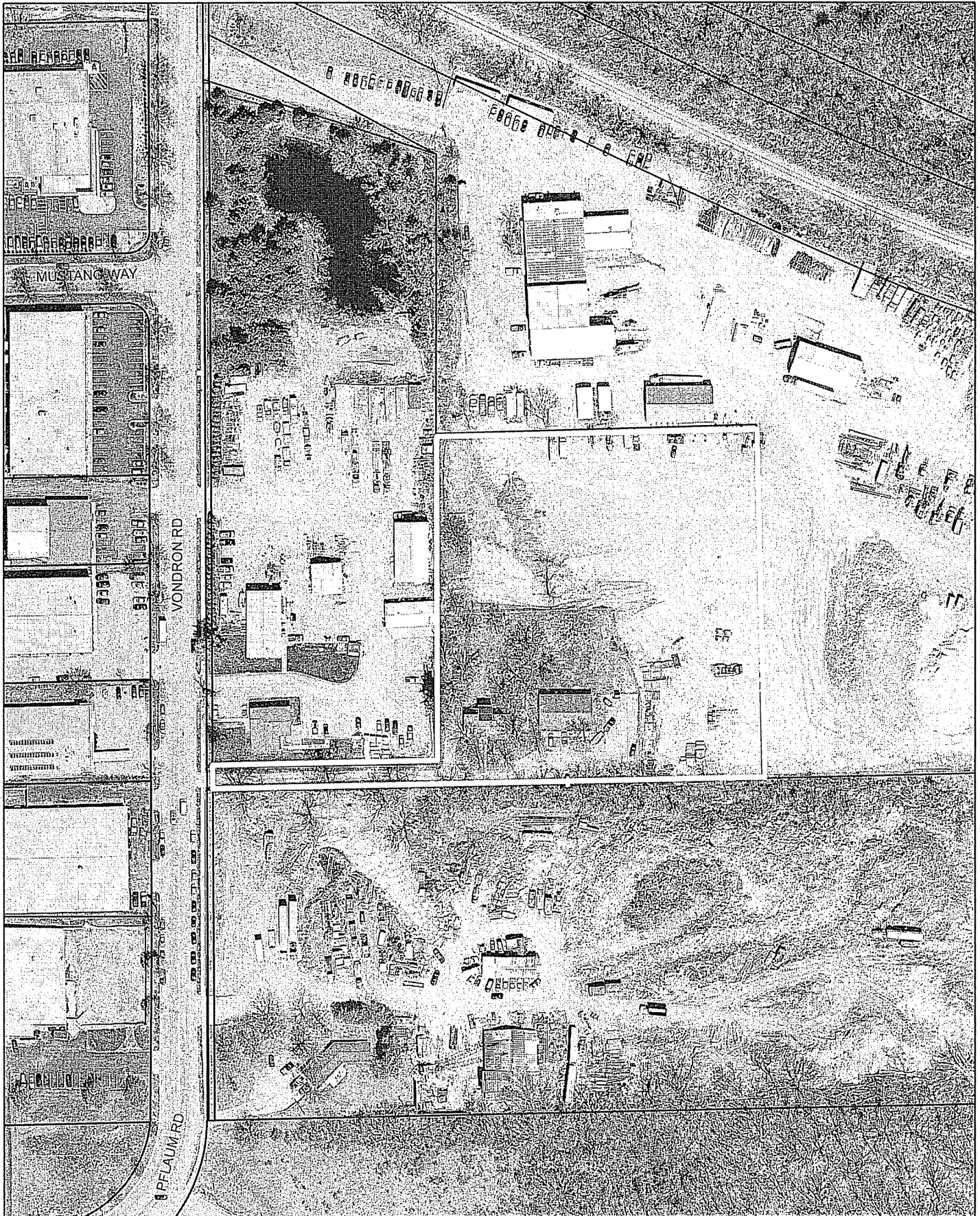


For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 05 February 2014





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:

Amt. Paid _____ Receipt No. _____
Date Received 12/18/13
Received By PDA
Parcel No. 0710-154-1001-3
Aldermanic District 16
Zoning District A
Special Requirements _____
Review Required By:
☐ Urban Design Commission ☐ Plan Commission
☐ Common Council ☐ Other: _____

Form Effective: February 21, 2013

1. Project Address: 2405 Vondron Road
Project Title (if any): Terra Construction & Engineering Office Building

2. This is an application for (Check all that apply to your Land Use Application):

- ☒ Zoning Map Amendment from Ag to Industrial Limited
- ☐ Major Amendment to Approved PD-GDP Zoning ☐ Major Amendment to Approved PD-SIP Zoning
- ☐ Review of Alteration to Planned Development (By Plan Commission)
- ☐ Conditional Use, or Major Alteration to an Approved Conditional Use
- ☐ Demolition Permit
- ☐ Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Scott Zimmerman, PE Company: Terra Engineering & Construction
Street Address: 2201 Vondron Road City/State: Madison, WI Zip: 53718
Telephone: (608) 210-3919 Fax: (608) 221-4075 Email: szimmerman@whyterra.com

Project Contact Person: Kory Anderson, PE Company: General Engineering Company
Street Address: 916 Silver Lake Drive, PO Box 340 City/State: Portage, WI Zip: 53901
Telephone: (608) 742-2169 Fax: (608) 742-2592 Email: kanderson@generalengineering.net

Property Owner (if not applicant): _____
Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: Terra Engineering is building an office building at this location as shown on the attached plans. An existing storage shed will remain.

Development Schedule: Commencement March 2014 Completion November 2014

5. Required Submittal Information

All Land Use applications are required to include the following:

☒ **Project Plans including:***

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/alterd buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

☒ **Letter of Intent: Provide one (1) Copy per Plan Set** describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

☒ **Filing Fee:** Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

☒ **Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

☐ **Additional Information** may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

☒ **Pre-application Notification:** The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:
Alderperson DeMarb was emailed on November 1, 2013 - see attached

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

☒ **Pre-application Meeting with Staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

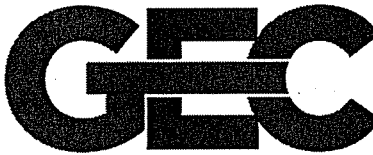
Planning Staff: Tim Parks Date: 9/5/13 Zoning Staff: Various Date: 9/5/13

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Scott Zimmerman Relationship to Property: Owner

Authorizing Signature of Property Owner [Signature] Date 12/16/13

General Engineering Company
P.O. Box 340
916 Silver Lake Drive
Portage, WI 53901



608-742-2169 (Office)
608-742-2592 (Fax)
gec@generalengineering.net
www.generalengineering.net

Engineers • Consultants • Inspectors

December 18, 2013

City of Madison Planning Commission
Room LL-100, PO Box 2985
215 Martin Luther King Jr. Blvd.
Madison, WI 53701-2985

RE: Letter of Intent – Land Use Application
Terra Engineering and Construction Office Building
2405 Vondron Road, City of Madison
GEC#: 2-0513-164

To Whom It May Concern:

On behalf of Terra Engineering and Construction, we are enclosing the following documents for a proposed office building on their property located at 2405 Vondron Road in the City of Madison:

- One (1) copy of the City of Madison Planning Commission Land Use Application
- Seven (7) copies of the full-size project plans
- Twenty-Five (25) copies of the 11" x 17" project plans
- One (1) copy reduced to 8-1/2" x 11"
- Thirty-Three (33) copies of the Letter of Intent (one per plan set)
- One (1) copy of the Lighting Specifications
- Filing Fee (\$1250 for Zoning Map Amendment and \$250 for Site Plan Review = \$1500)
- One (1) copy of Email of Pre-Application Notification
- One (1) copy of the Parking Lot/Site Plan Approval Application Checklist
- One (1) copy of the Fire Apparatus Access and Fire Hydrant Worksheet
- One (1) copy of the legal description for the property
- One (1) copy of the proposed CSM to combine parcels for the property submitted under separate cover on 12/4/13
- CD with electronic version of all documents

The existing site was attached into the City of Madison in November and contains an existing 2,400 square foot storage shed. A CSM was submitted earlier this month to the Planning Commission and was necessary to combine the tax parcels so that a proposed office building for the site can meet the required setbacks. The attached "Land Use Application" for the rezoning of the property as well as detailed civil site plans and architectural building plans are attached. It is the intent of the owners of the property, Terra Engineering and Construction c/o Scott Zimmerman (CEO), to use the proposed office building for their construction company that has existing operations on the adjacent properties to the north and east. They are exceeding the use of the available office space in the current building at that location (2201 Vondron Road).

Portage •

Black River Falls •

La Crosse



Consulting Engineering • Structural Engineering • Building Design • Environmental Services • Building Inspection • GIS Services
Grant Procurement & Administration • Land Surveying • Zoning Administration • Mechanical, Electrical, & Plumbing Services



As requested on the Land Use Application, here is pertinent information for the project:

Project Team:

Owner Terra Engineering & Construction
Scott Zimmerman, PE, CEO
2201 Vondron Road
Madison, WI 53718
Phone: (608) 210-3919

Engineer General Engineering Company
Kory D. Anderson, PE, Project Engineer
PO Box 340, 916 Silver Lake Drive
Portage, WI 53901
Phone: (608) 742-2169

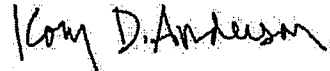
General Contractor Harmony Construction Management, Inc.
Paul Reed, President
906 Jonathon Drive
Madison, WI 53713
Phone: (608) 224-3310

Existing Conditions: Vacant except for existing storage shed and driveway.
Project Schedule: Construction would begin in March 2014 and end in November 2014.
Proposed Uses: Business Office (11,408 sq. ft.)
Hours of Operation: Monday through Friday, 7am-5pm
Building Square Footage: 11,408 sq. ft. (2 levels)
Number of Dwelling Units: None
Auto and Bike Parking Stalls: 36 Auto Stalls, 6 Bike Stalls
Lot Coverage & Usable Open Space Calculations: refer to the attached spreadsheet
Value of Land: \$141,100
Estimated Project Cost: \$1,300,000
Number of Construction & Full-Time Equivalent Jobs Created: None
Public Subsidy Requested: None

If you have any questions or need any additional information, please do not hesitate to contact us.

Sincerely,

GENERAL ENGINEERING COMPANY



Kory D. Anderson, P.E.
Project Engineer

Enclosures

cc: Scott Zimmerman, CEO, Terra Engineering and Construction
Paul Reed, President, Harmony Construction Management, Inc.

G:\Current Files E-K\Harmony Const. Mgm\2-0513-164 Terra Property Development\CAD 2-0513-164_Architectural\FP_2-0513-164.rvt

SECTION NO.
SHEET NO.

BUILDING
SECTION

SECTION NO.
SHEET NO.

WALL SECTION

DETAIL NO.
SHEET NO.

ENLARGED DETAIL

DETAIL NO.
SHEET NO.

ELEVATION
DETAIL

LABEL NO.

WINDOW LABEL

LABEL NO.

WALL LABEL

LABEL NO.

DOOR LABEL

DETAIL NO.
TITLE PAGE
SCALE AS SHOWN

SHEET TITLE

ROOM LABEL
ROOM NO.
VESTIBULE
8'-0" x 9'-0"

ROOM LABEL

VERTICAL ELEV.

COMBO EXIT SIGN &
EMERGENCY LIGHT

EMERGENCY LIGHT

EXIT DIRECTION

*FE
FIRE EXTINGUISHER

CIVIL LEGEND

EXISTING MANHOLE

PROPOSED MANHOLE

EXISTING HYDRANT

PROPOSED HYDRANT

VALVE

CURB STOP

WELL

PROPERTY CORNER

LIGHT POLE

POWER/TELEPHONE
POLE GUY WIRE

UTILITY PEDESTAL

SIGN

SOIL BORING

MONITORING WELL

MAILBOX

POTENTIAL HAZARD

BENCH MARK

DECIDUOUS TREE

CONIFEROUS TREE

ACCESSIBILITY SYMBOL

DIGGERS HOTLINE NOTE

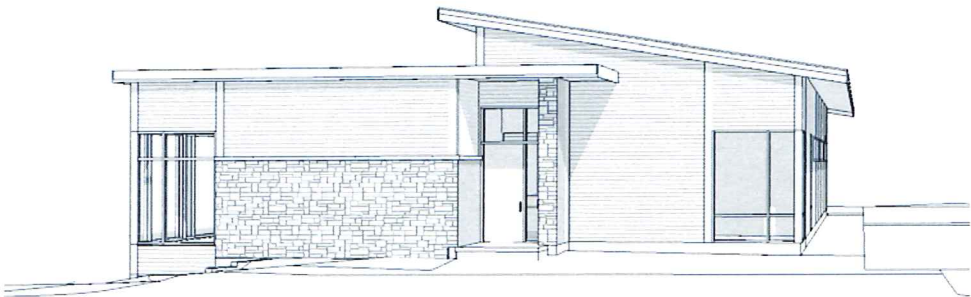
To Obtain Location of
Participants Underground
Facilities Before You
Dig in Wisconsin
CALL DIGGERS HOTLINE
1-800-242-8511
Requires Min. 3 Work Days
Notice Before You Excavate

TERRA ENGINEERING OFFICE

CITY OF MADISON
DANE COUNTY, WI

DECEMBER 2013

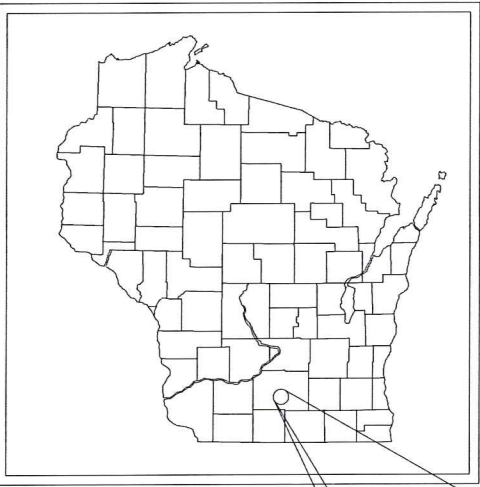
CITY SUBMITTAL PLANS



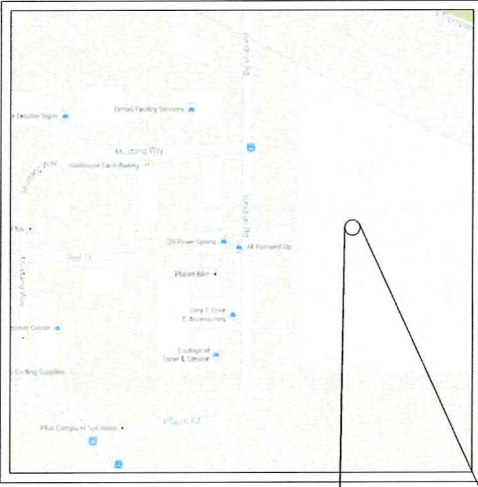
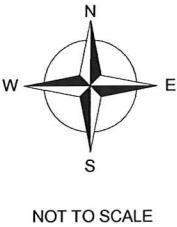
PROPOSED COMPLETED ELEVATION

SUBMITTAL TYPE	NEW
PRIMARY OCCUPANCY TYPE	B
SECONDARY OCCUPANCY TYPE	NONE
OCCUPANCY SEPARATIONS	NONE

PROJECT AREA	1ST FLR = 5,953 SQ. FT. LL FLR = 5,452 SQ. FT. TOTAL = 11,408 SQ. FT.
FLOOR LEVELS	1 + LOWER LEVEL
CONSTRUCTION CLASS	VB
SPRINKLER PROTECTION	COMPLETE NFPA 13



LOCATION PLAN
DANE COUNTY, WI



LOCATION PLAN
CITY OF MADISON

UTILITIES	
ELECTRIC MADISON GAS & ELEC. 133 S. BLAIR ST MADISON, WI 53703 PHONE: 608-252-7379 RICH PARKER	GAS MADISON GAS & ELEC. 133 S. BLAIR ST MADISON, WI 53703 PHONE: 608-252-5618 DON MCCLAIN
TELEPHONE XXXXXXX XXXXXXXXXXXXX PHONE: XXX-XXX-XXXX	WATER WATER & UTILITIES XXXXXXXXXXXXX XXXXXXXXXXXXX PHONE: XXXXXXXX
CABLE CHARTER COMMUNICATIONS 2701 DANIELS ST. MADISON, WI 53718 PHONE: 608-209-3202 GLEN JAKUSZ	MUNICIPALITY CITY OF MADISON 210 MARTIN LUTHER KING, JR. BLVD. MADISON, WI 53716

ABBREVIATIONS	
EOP = EDGE OF PAVEMENT BOC = BACK OF CURB EOSW = EDGE OF SIDEWALK TOF = TOP OF FOOTING FFE = FIRST FLOOR ELEVATION TOW = TOP OF WALL SFE = SECOND FLOOR ELEVATION ELEV. = ELEVATION RO = ROUGH OPENING BM = BENCHMARK SQ. FT. = SQUARE FEET DIA. = DIAMETER TYP. = TYPICAL HM = HOLLOW METAL SS = STAINLESS STEEL ALUM. = ALUMINUM IBC = INTERNATIONAL BUILDING CODE WD = WOOD MTL. = METAL HSS = HOLLOW STEEL STRUCTURE STL. = STEEL OFOI - OWNER FURNISHED OWNER INSTALLED	MFG. = MANUFACTURER DIM. = DIMENSION SPF = SPRUCE PINE FUR DF = DOUGLAS FIR SP = SOUTHERN PINE CONC. = CONCRETE WWF = WIRE WELDED FABRIC OC = ON CENTER EW = EACH WAY EF = EACH FACE WH = WATER HEATER DW = DISHWASHER REF. = REFRIGERATOR FRZ. = FREEZER FTG. = FOOTING PC = PRECAST OHD = OVERHEAD DOOR T/O = TOP OF GALV. = GALVANIZED BRG. = BEARING OH = OVERHANG

SEAL

OWNER
TERRA ENGINEERING & CONSTRUCTION MADISON, WI

DESIGN TEAM
ENGINEER OF RECORD GENERAL ENGINEERING COMPANY CONTACT: KORY ANDERSON 916 JONATHON DRIVE PORTAGE, WI 53901 PH: 608-742-2169 FX: 608-742-2592 GENERAL CONTRACTOR HARMONY CONSTRUCTION MANAGEMENT, INC. CONTACT: PAUL REED 906 JONATHON DRIVE MADISON, WI 53713 PH: 608-224-3310 FX: 608-223-4392

BUILDING DESIGN CRITERIA
- CODE COMPLIANCE PER 2011 WISCONSIN COMMERCIAL BUILDING CODE (WCBC) (2009 I - CODES) - OCCUPANCY TYPE B - BUSINESS - CONSTRUCTION CLASSIFICATION - VB WOOD FRAMED UNPROTECTED - ALLOWABLE AREA 9000 SQ. FT. (TABLE 503) - OCCUPANT LOAD 83 - TOTAL - BUILDING IS PROTECTED BY A COMPLETE FIRE SPRINKLER SYSTEM

INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
GENERAL -	
G1.0	TITLE SHEET
CIVIL -	
C1.0	EXISTING SITE PLAN
C2.0	PROPOSED SITE PLAN
C3.0	PROPOSED GRADING & EC PLAN
C4.0	PROPOSED UTILITIES PLAN
C4.1	UTILITY PLAN PROFILE
C5.0	WET POND DETAILS
C5.1	INFILTRATION BASIN DETAILS
C6.0 - 6.6	PROJECT DETAILS
C7.0	DRIVEWAY CROSS SECTION
C8.0 - C8.1	PROPOSED LANDSCAPING PLAN
C9.0	LIGHTING PLAN
ARCHITECTURAL -	
A1.0	FIRST FLOOR PLAN
A1.1	LOWER LEVEL FLOOR PLAN
A4.0	EXTERIOR ELEVATIONS
A12.0	PERSPECTIVE VIEWS

General Engineering Company
916 SILVER LAKE DRIVE
P.O. BOX 340
PORTAGE, WI 53901
608-742-2169
608-742-2592 Fax

Harmony Construction Management, Inc.
906 JONATHON DRIVE
MADISON, WI 53713
PHONE: 608-224-3310
FAX: 608-223-4392

SARA INVESTMENT REAL ESTATE LLC
6264 NESBITT ROAD
MADISON, WI 53719
PHONE: 608-852-8777
FAX: 608-237-7695

REVISIONS	NO.	BY	DATE
City Submittal	1	JEO	12/18/2013

TITLE SHEET

TERRA ENGINEERING OFFICE FACILITY

City of Madison
Dane County, WI

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DATE

12/13/2013

BY

JEO

GEC FILE NO.

2-0513-164

SHEET NO.

G1.0

Member

Wisconsin Diggers Hotline

To Obtain Location of
Participant's Underground
Facilities Before You
Dig in Wisconsin

CALL DIGGERS HOTLINE
1-800-242-8511

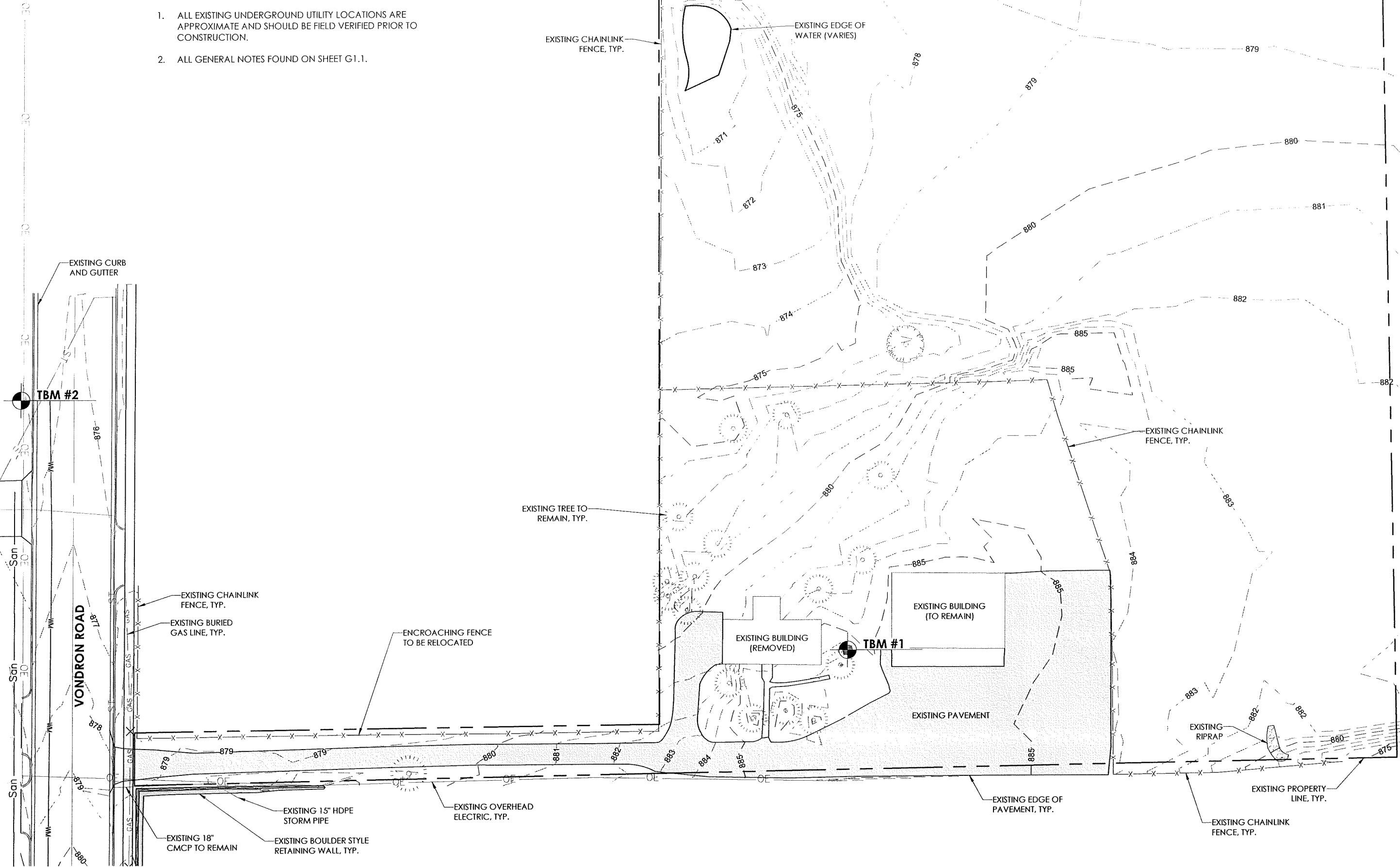
Wis Statute 182.0175 (1974)
Requires Min. 3 Work Days
Notice Before You Excavate

BENCHMARK TABLE

BENCHMARK	DESCRIPTION	ELEVATION
TBM #1	WELL COVER, WEST OF EXISTING STORAGE BUILDING TO REMAIN	886.35'
TBM #2	TOP NUT ON HYDRANT, WEST SIDE OF VONDRON ROAD, NORTH OF DRIVEWAY TO SITE	878.94'

NOTES:

- ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- ALL GENERAL NOTES FOUND ON SHEET G1.1.



General Engineering Company

P.O. Box 340 • 916 Silver Lake Dr. • Portage, WI 53901
608-742-2169 (Office) • 608-742-2592 (Fax)
www.generalengineering.net

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EXISTING SITE PLAN

Harmony Construction Management
Terra Construction Site Development

City of Madison
Dane County, WI

REVISIONS	NO.	BY	DATE
CITY SUBMITTAL	1	EDB	12/18/2013

0 25' 50'
SCALE

DRAWN BY EDB

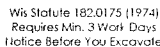
DATE 12/18/2013

GEC FILE NO. 2-0513-164

SHEET NO.

C1.0

C2.0



To Obtain Location of
Participants Underground
Facilities Before You
Dig in Wisconsin

CALL DIGGERS HOTLINE
1-800-242-8511

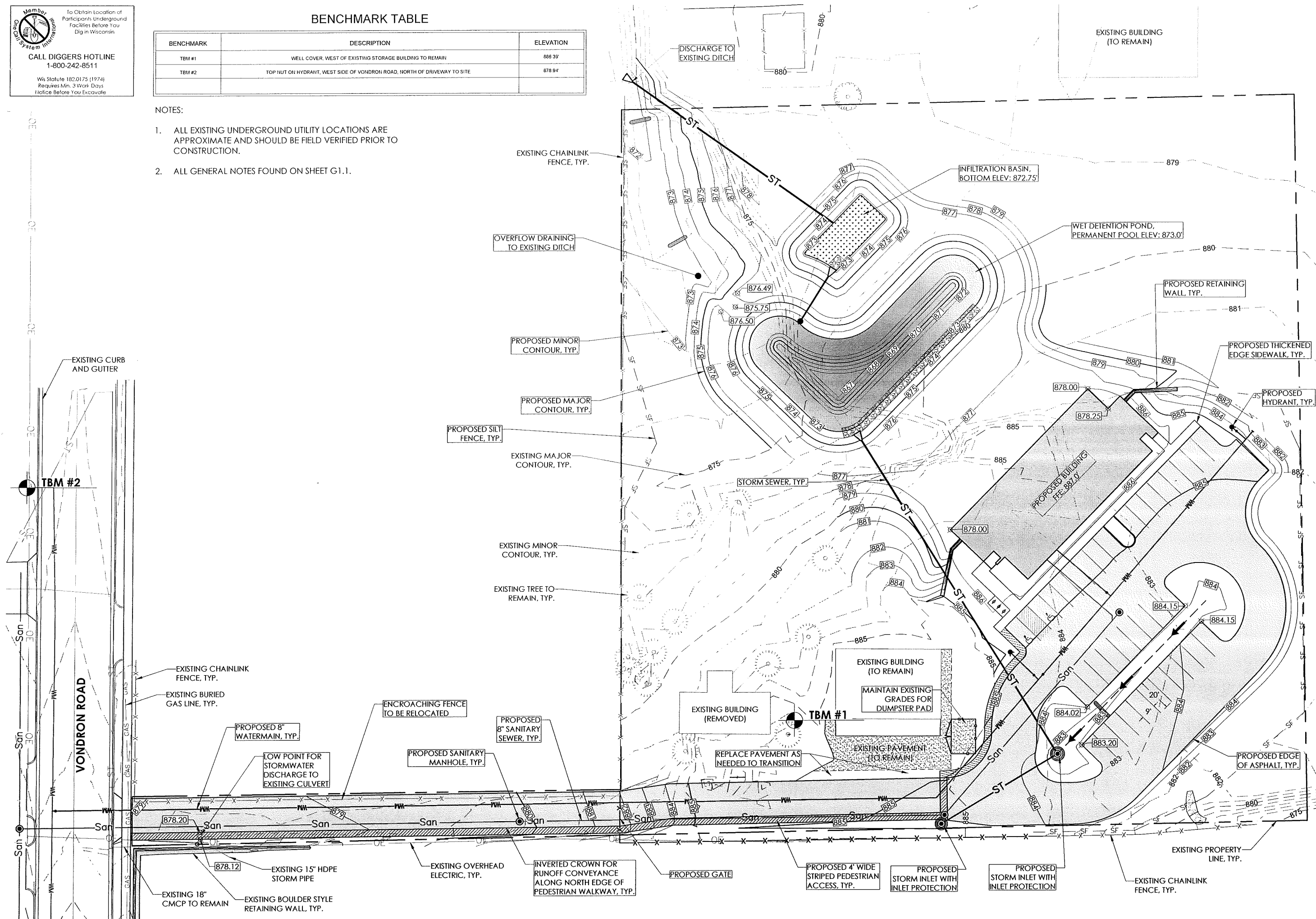
Wis Statute 182.0175 (1974)
Requires Min. 3 Work Days
Notice Before You Excavate

BENCHMARK TABLE

BENCHMARK	DESCRIPTION	ELEVATION
TBM #1	WELL COVER, WEST OF EXISTING STORAGE BUILDING TO REMAIN	866.39'
TBM #2	TOP NUT ON HYDRANT, WEST SIDE OF VONDRON ROAD, NORTH OF DRIVEWAY TO SITE	878.94'

NOTES:

1. ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
2. ALL GENERAL NOTES FOUND ON SHEET G1.1.



General Engineering Company

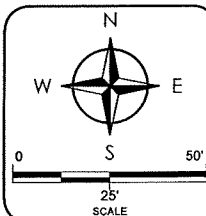
P.O. Box 340 • 916 Silver Lake Dr. • Portage, WI 53901
608-742-2169 (Office) • 608-742-2592 (Fax)

www.generalengineering.net

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PROPOSED GRADING & EC PLAN
Harmony Construction Management
Terra Construction Site Development

**City of Madison
Dane County, WI**

[illegible]

DRAWN BY	EDB
DATE	12/18/2013
GEC FILE NO.	2-0513-164
SHEET NO.	

C3.0

C8.0

PLANT LIST

KEY	COMMON NAME (BOTANICAL NAME)	PLANTING SIZE (Inches)	COMMENTS
SHRUBS			
AP	ABBOTSWOOD FLOWERING POTENTILLA (POTENTILLA FRUTICOSA 'ABBOTSWOOD')	18-24	3 ½' O/C WHITE FLOWER
BD	BAILEY DOGWOOD (CORNUS SERICEA 'BAILEY')	24-30	6½' O/C
GF	GOLDFLAME SPIREA (SPRAEA x BUMALDA 'GOLDFLAME')	18-24	3½' O/C
GN	GOLDEN NINEBARK 'GOLDEN DARTS' (PHYSOCARPUS OPULIFOLIUS 'DARTS GOLD')	18-24	5½' O/C
GS	GLOBE BLUE SPRUCE (PICEA PUNGENS 'GLAUCA GLOBOSA')	18-24	4' O/C
JC	BLUE CHIP JUNIPER (JUNIPERUS HORIZONTALIS 'BLUE CHIP')	18-24	6' O/C
JS	BLUE STAR JUNIPER (JUNIPERUS SQUMATA 'BLUE STAR')	18-24	3½' O/C, BLUE-GREEN NEEDLES
JU	MOUNTBATTEN UPRIGHT JUNIPER (JUNIPERUS CHINENSIS 'MOUNTBATTEN')	3'-4' HT	4' O/C, GRAY-GREEN NEEDLES
ND	DIABLO NINEBARK (PHYSOCARPUS OPULIFOLIUS 'MONLO')	18-24	5 O/C, RED-PURPLE FOLIAGE SUMMER CREAMY-WHITE FLOWERS
RH	'PJM-HYBRID' RHODODENDRON (RHODODENDRON 'PJM-HYBRID')	18-24	4' O/C, BROADLEAF EVERGREEN, FLOWERS
WH	'HAKURO NISHIKI' DWARF WILLOW (SALIX INTEGRA 'HAKURO HISHIKI')	30-36	7' O/C, TRICOLOR LEAVES

* Shrubs shown in container root ball condition at time of planting.

TREES

CH	'PRAIRIE PRIDE' COMMON HACKBERRY (CELTIS OCCIDENTALIS 'PRAIRIE PRIDE')	2½" CAL.	YELLOW FALL COLOR
CS	'CLEVELAND SELECT' ORNAMENTAL PEAR (PYRUS CALLERYANA 'CLEVELAND SELECT')	2"-CAL.	WHITE FLOWER, RED FALL COLOR
FC	'CELEBRATION' FREEMAN MAPLE (ACER x FREEMANII 'CELEBRATION')	2½"-CAL.	ORANGE FALL COLOR
FW	WHITE FIR (ABIES CONCOLOR)	4'-5' HT.	14' O/C
FM	'AUTUMN BLAZE' FREEMAN MAPLE (ACER x FREEMANII 'AUTUMN BLAZE')	2½ "-CAL.	ORANGE-RED FALL COLOR
GO	GINKGO (MALE PLANT) (GINKGO BILOBA var. 'AUTUMN GOLD')	2½"-CAL.	GOLDEN YELLOW FALL COLOR
IH	IMPERIAL HONEYLOCUST (GLEDTISIA TRIACANTHOS INERMIS 'IMPERIAL')	2½"-CAL.	YELLOW FALL COLOR
MA	'AUTUMN FLAME' RED MAPLE (ACER RUBRUM 'AUTUMN FLAME')	2½"-CAL.	EARLY RED FALL COLOR
MO	'OCTOBER GLORY' RED MAPLE (ACER RUBRUM 'OCTOBER GLORY')	2½"-CAL.	DP. RED TO REDDISH PURPLE FALL COLOR
MP	'PRAIRIFIRE' FLOWERING CRABAPPLE (MALUS x 'PRAIRIFIRE')	2"-CAL.	ROSE FLOWER-LATE, REDDISH FALL COLOR
PW	WHITE PINE (PINUS STROBUS)	5'-6' HT.	15' O/C
RB	'HERITAGE' RIVER BIRCH (BETULA NIGRA 'HERITAGE')	8'-10' HT.	MULTI (3+) TRUNK
SS	'SPRING SNOW' FLOWERING CRABAPPLE (MALUS x 'SPRING SNOW')	2"-CAL.	WHITE FLOWERS, NO FRUITS

* Trees shown in B&B (balled and Burlapped) root condition at time of planting.

ORNAMENTAL GRASSES

Key	Common Name	(Botanical Name)	Spacing (Inches O/C)	Comments
BOG	BLUE OAT GRASS	(HELICTOTRICHON SEMPERVIRENS)	30	LEAVES-2' HT., SPIKES OF SILVERY BLUE LEAVES
KFR	'KARL FOERSTER' FEATHER REED GRASS	(CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER')	30	5'-6' HT. SEED HEADS GOLD TO SILVER
LTB	LITTLE BLUESTEM 'THE BLUES'	(SCHIZACHYRIUM SCOPARIUM 'THE BLUES')	30	2'-3' HT, CRIMSON-RED FALL COLOR
PRD	PRAIRIE DROPSEED (SPOROBOLUS HETEROLEPIS)	(PENNISETUM SETACEUM 'RUBRUM')	24	2' HT

* Ornamental grasses shown as gallon container size at time of planting.

LANDSCAPING POINTS:

Foundation Plantings: 163 pts.

Interior Parking Lot Plantings: 230 pts.

Site 'Green Space' Development: 350 pts.
(This area primarily utilized as screening along east property line.)

LANDSCAPE SPECIFICATIONS

A. QUALITY ASSURANCE

1. All trees, shrubs and planting material shall meet or exceed the specifications of Federal, State, and County laws requiring inspection for plant disease and insect control.
2. Quality and size shall conform to the current edition of "horticultural Standards" for number one grade nursery stock as adopted by the American Association of Nurserymen.
3. All plants shall be true to name. In all cases, botanical names shall take precedence over common names.
4. All plant materials shall conform to varieties and sizes listed on plant "Key" list. Trees and shrubs of larger size may be used if acceptable to the owner, and if sizes of roots or balls are increased proportionately.
5. No substitutions without written approval of owner.
6. Trees and shrubs shall be grown in a recognized nursery in accordance with standard horticultural practice. Provide healthy, vigorous stock free of disease, insects, eggs, larvae, and defects such as knots, sunscald, injuries, abrasions, or disfigurement.
7. The owner, or owner's representative, reserves the right to inspect trees and shrubs at site before planting, for compliance with requirements for name, variety, size, and quality. Maintain labels and/or plant identification tags on all plants at time of planting. Do not remove tags after planting.
8. Landscaping work shall be performed by personnel familiar and experienced with planting procedures. Work shall be carried out under the supervision of a qualified planting foreman.

B. DELIVERY, STORAGE, AND HANDLING

1. Do not prune prior to delivery. Do not bed or bind-tie trees or shrubs in such a manner as to damage bark, break branches, or destroy the natural shape. Provide protective cover during delivery.
2. Deliver trees and shrubs only after preparations for planting have been completed and plant immediately. If planting is delayed more than 6 hours after delivery, set trees and shrubs in shade, protect from weather and mechanical damage, and keep roots moist.
3. Planting operations shall be conducted under favorable weather conditions.

C. SITE INVESTIGATION

1. Contractor shall be completely familiar with all conditions at site prior to the execution of Contractor's work.
2. Prior to all landscape work, Contractor will inspect the installed work of all other trades, and verify that all such work is complete prior to commencing installation.
3. Contractor will determine location of underground utilities and perform work in a manner, which will avoid possible damage.

D. RETAINING WALLS (IF APPLICABLE)

1. All measurements, locations, and figures shown are approximate, used as reference and are to field verified.
2. All retaining walls, unless shown otherwise, are to be constructed of boulder rock material, native to the area.
3. A previous soil retainer fabric, suitable for boulder wall construction, shall be installed behind boulder walls at all locations.
4. Contractor shall be proficient at boulder wall construction and have previous work experience at boulder wall construction.
5. Contractor shall provide references of site locations of boulder wall construction projects previously completed, to landscape architect, 30 days prior to commencement of boulder wall work.
6. Contractor to visit site prior to providing an estimate of installation costs.

E. INSTALLATION OF SHRUBS AND TREES

- Plant nursery stock upon delivery to the site. If this is not feasible, regularly water all nursery stock and place them in a cool area protected from sun and drying winds.
- Dig holes no deeper than the level on which the bottom of the root ball will set. Place trees and shrubs in planting pits with root collar slightly above grade when installing.
- Fertilize all trees and shrubs with a commercial slow-release fertilizer tablet or packet, installed to manufacturer's specifications.
- Backfill, to a minimum of 3-times the diameter of the root ball, all trees and shrubs with a soil mix rich in organic matter. Water in all plant material accordingly to provide sufficient moisture for plants during installation.
- Do not stake trees, unless exposure to windy conditions requires initial staking. Remove stakes within one year, or as conditions dictate.
- Where trees are located independently in lawn areas, provide a 5-foot diameter mulch bed around each tree. Mulch around trees with a 3-inch depth of shredded hardwood bark mulch, free of large chunks spread evenly. Keep mulch away from root collar of tree. Do not install a bed divider around tree nor weed barrier fabric under mulch.

F. SHRUB AND TREE PLANTING BEDS

1. Mulching material, for planting beds adjacent foundation and retaining walls, where shown, is to be **#1 multi-colored washed stone**, installed and spread evenly at a depth of 2 ½ to 3 inches.
2. Install **organic shredded hardwood bark mulch** in parking lot planting bed where "Prairie Dropseed" is located, free of large chunks, installed and spread evenly at a depth of 2½ to 3 inches. **Do not install weed barrier fabric in organic mulch areas.** Also install shredded hardwood bark mulch along and around "Bailey Dogwood", located to east of parking lot - width of mulch area at 5-feet.
3. A **pervious weed barrier fabric**, DeWitt Co. "Pro-5", or similar product of equal quality, shall be installed under washed stone mulch in all shrub planting bed areas shown.
4. Where applicable, planting bed edging to be **Valley View "Black Diamond"** polyethylene bed divider, installed to manufacturer's specifications.

G. PERENNIAL AND/OR ORNAMENTAL GRASSES PLANTINGS

1. If existing soil is inferior for sustainable plant growth, remove existing soil and replace with a rich organic soil, including peat moss, bone meal (5-6 pounds per 100 sq.ft.), and any necessary soil additives to insure rich organic matter for sustainable plant growth. Blend and mix soil, then spread evenly to final grade, providing sufficient depth for backfilling and spreading of organic mulch.
2. Sustainable perennial plant soil shall be installed at a minimum depth of 8-inches. For ornamental grasses, soil shall be backfilled at a minimum depth of 15-18 inches.

H. ANNUAL PLANTING BEDS (IF APPLICABLE)

1. Where existing soil is inferior for sustainable plant growth, remove existing soil and replace with a rich organic soil, at a minimum depth of 6-inches.
2. Install annuals according to spacing shown on plant list.
3. Prior to, or after planting annuals, apply a 5-10-5 or 10-10-10 commercial fertilizer to soil.
4. Water in all plants and apply under foliage.
5. After installation and watering, apply the pre-emergent herbicide "PREEN", by Greenview, according to manufacturer's specifications, around plants and throughout planting bed.

I. LAWN AREAS

1. Provide topsoil, if contract requires.
2. Topsoil shall be black loam native to the area, without subsoil, stones, lumps, clods of hard earth, plants, roots, sticks, and other extraneous materials.
3. Stockpiled topsoil meeting the requirements stated herein may be used.
4. Place topsoil and spread uniformly over all lawn areas to a minimum depth of 6 inches. Do not place topsoil while in a frozen or muddy condition.
5. Rake topsoil until surface is friable, smooth, and of uniformly fine texture immediately prior to sodding and/or seeding. Correct all soft spots and irregularities in grade.
6. Just prior to sodding and/or seeding, spread and rake lawn fertilizer into topsoil at a rate of 10 lbs. per 1,000 sq. ft.
Commercial lawn fertilizer shall be a complete fertilizer partially derived from organic sources and containing 10% nitrogen, 10% phosphoric acid, and 10% potash, all by weight as specified.
7. Blend in new soil to match existing grades of adjacent properties, where applicable.
8. **Seed all new and disturbed lawn areas**. If sod is called for in contract, apply the following:
9. **Sod:**
 - a. Sod shall be vigorous, dense, well-rooted, healthy turf, composed of a minimum of 50% Kentucky Bluegrass mix, grown in the general locality where it is to be used, approximately 2 inches in height. Sod shall be free of debris, free from disease, insect pests, stones, weeds, and other undesirable grasses.
 - b. Lay sod within 24 hours from time of stripping. Do not plant dormant sod or if ground is frozen.
 - c. Sod pieces shall be fitted together tightly and shall be firmed down by tamping or rolling lightly to ensure contact with subgrade. Sod joints shall alternate whenever possible.
 - d. Sod on slope steeper than 2 to 1 shall be held in place by wooden pins, about 1 square and 6 long, driven through the sod into the soil until they are flush with the top of the sod.
 - e. All sodded areas shall be watered adequately with a fine spray to prevent drying and shrinking of sod.
 - f. The completed sodded surfaces shall be true to finished grade, even and firm at all points.
 - g. Contractor is responsible to top dress and re-sod any excessive cracks which appear upon shrinkage, if and when applicable, during the initial growing season.

10. Seeding:

- a. Where seeding is required, seed blend shall be "Madison Parks Lawn Seed Mix", blended by Olds Seed Company of Madison, Wisconsin, or *similar blend of equal proportion and germination rate*.
 - b. Sow uniformly at a minimum rate of 6 lbs. per 1,000 sq. ft.
 - c. After seeding, apply mulch consisting of clean marsh hay, or straw, as free of weeds as possible, uniformly over all seeded areas.
11. Protect all sodded and/or seeded areas, as necessary, to prevent trampling and/or damage, by erecting temporary fences, barriers, signs, etc.

J. PROJECT WARRANTY

1. **Trees and Shrubs:**
 - a. Guarantee trees and shrubs, for a period of one year after date of installation, against defect including death and unsatisfactory growth, except for abuse or damage by others.
 - d. Replace trees and shrubs, which are in doubtful condition, by the end of warranty period.
2. **Perennials and Ornamental Grasses:**
 - a. Guarantee all perennials and ornamental grasses for a period of 90 days following installation. Replace any dead plants by the end of warranty period.
3. **Annuals:**
 - a. Guarantee all annuals for a period of 60 days following installation. Replace any dead plants by the end of warranty period.
3. **Lawn Areas (Sodding and Seeding):**
 - a. Lawn areas placed during the spring planting season shall be guaranteed for ninety (90) days following final placement.
 - b. Lawn areas placed during fall planting season shall be guaranteed through July 1st of the following year.
 - c. Remove and replace all lawn areas found dead or not in satisfactory growth. Replace lawn areas with same turf grass blend as originally specified. Cost of replacement shall be born by the Contractor, except replacement required due to loss or damage from Owner occupancy, vandalism, or natural disaster.
 - d. Where maintenance is taken over by Owner during guarantee period, Contractor shall inspect, periodically, maintenance operation of Owner, and shall promptly report to Owner any method, practices, or operations which he or she considers unsatisfactory.



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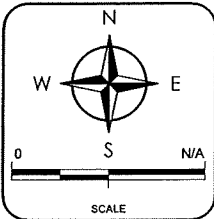
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LANDSCAPING SPECIFICATIONS

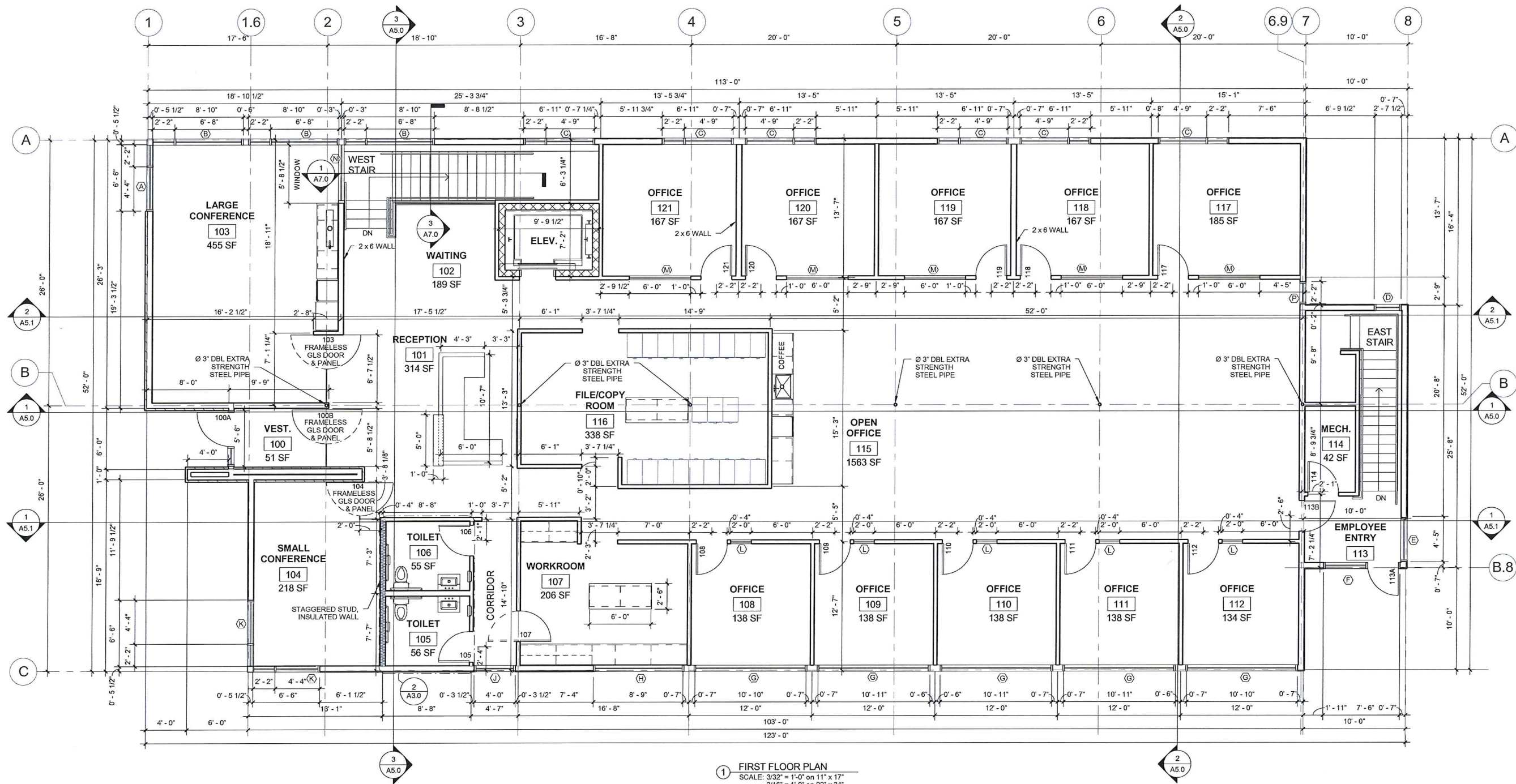
Harmony Construction Management
Terra Construction Site Development

City of Madison
Dane County, WI[illegible]

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DATE	12/18/2013
GEC FILE NO.	2-0513-164
SHEET NO.	

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1 FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0" on 11" x 17"
3/16" = 1'-0" on 22" x 34"

GENERAL NOTES:

- CONTRACTOR TO PROVIDE (2) FIRE EXTINGUISHERS PER IFC 906 AND OWNER TO MAINTAIN THEM IN ACCORDANCE WITH THIS SECTION & NFPA 10. THEY SHALL BE LOCATED IN CONSPICUOUS LOCATIONS ALONG NORMAL PATHS OF TRAVEL (CONTRACTOR TO COORDINATE WITH LOCAL FIRE INSPECTOR)
- PROVIDE EXIT SIGNS PER IBC 1011. EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL & SHALL BE CONTINUOUSLY ILLUMINATED FOR NOT LESS THAN 90 MINUTES IN CASE OF POWER LOSS.
- PROVIDE EMERGENCY LIGHTS PER IBC 1006. LIGHTS AT EXTERIOR EXIT DOORS SHALL BE PROVIDED & SHALL ILLUMINATE AT ALL TIMES WHILE THE BUILDING IS OCCUPIED IN THE EVENT OF POWER SUPPLY FAILURE.
- PROVIDE A SIGN STATING THE OCCUPANT LOAD PER IBC 1004.3. THE SIGN SHALL BE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE, THE SIGN SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN.
- PUBLIC RESTROOMS SHALL BE COVERED WITH SMOOTH, HARD, NONABSORBENT MATERIALS EXTENDING A MINIMUM OF 6" ABOVE FLOOR LEVEL. WALLS WITHIN 2 FT. OF URINALS OR WATER CLOSETS SHALL BE COVERED A MINIMUM OF 4 FT. ABOVE FLOOR LEVEL.
- ROOM(S) WITH A MOP BASIN OR UTILITY SINK SHALL HAVE AN EXHAUST FAN WHICH RUNS CONTINUOUSLY WHILE THE BUILDING IS OCCUPIED.
- ROOF TRUSS DESIGN BY OTHERS
- ALL DIMENSIONS ARE FROM OUTSIDE OF EXTERIOR WALL FRAMING TO CENTER OF INTERIOR WALLS.



FIRST FLOOR PLAN
TERRA ENGINEERING OFFICE FACILITY

DATE 12/13/2013
BY JEO
GEC FILE NO. 2-0513-164
SHEET NO.

A1.0

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Dane County, WI
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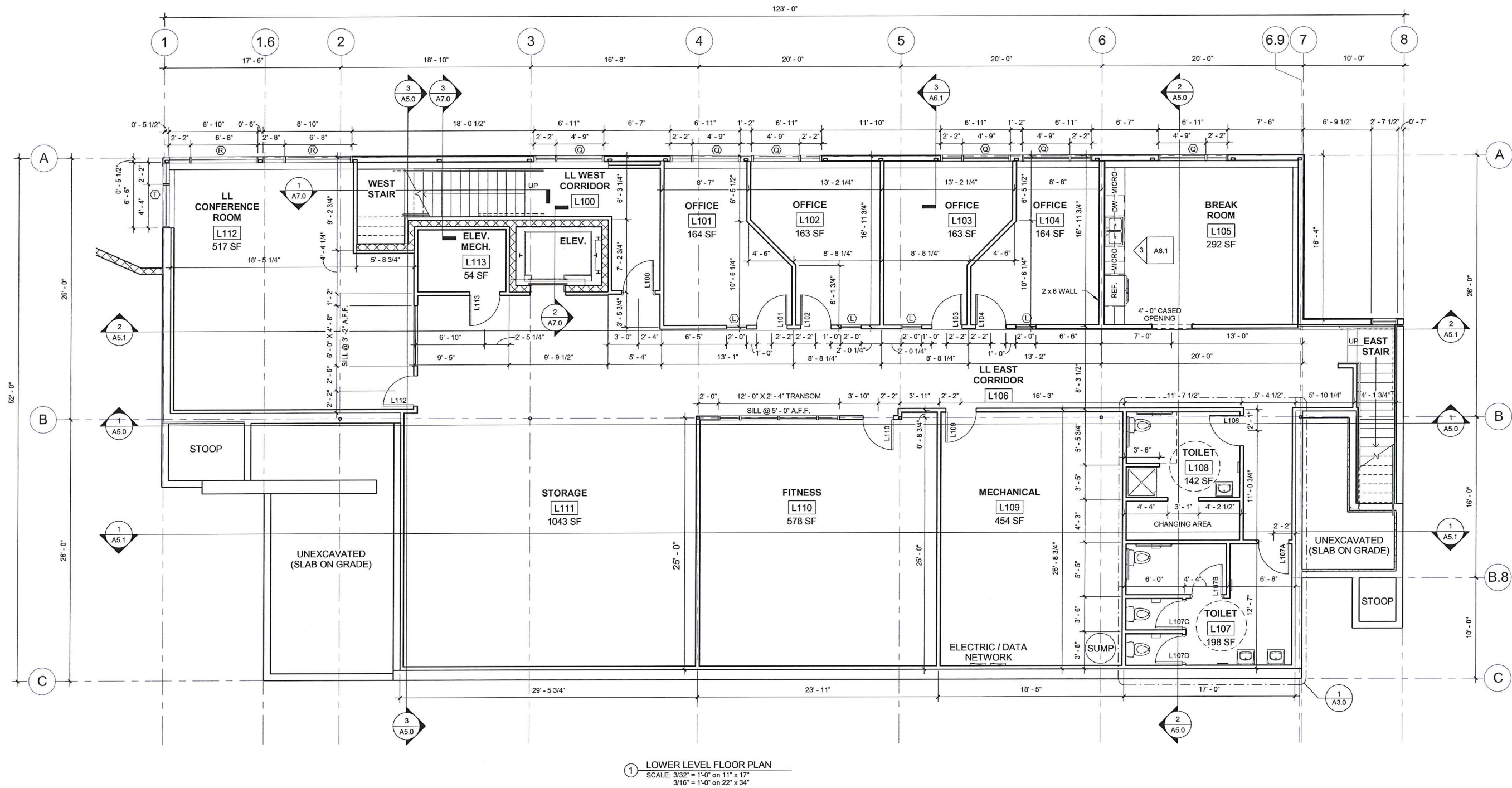
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City Submittal	1	JEO	12/18/2013

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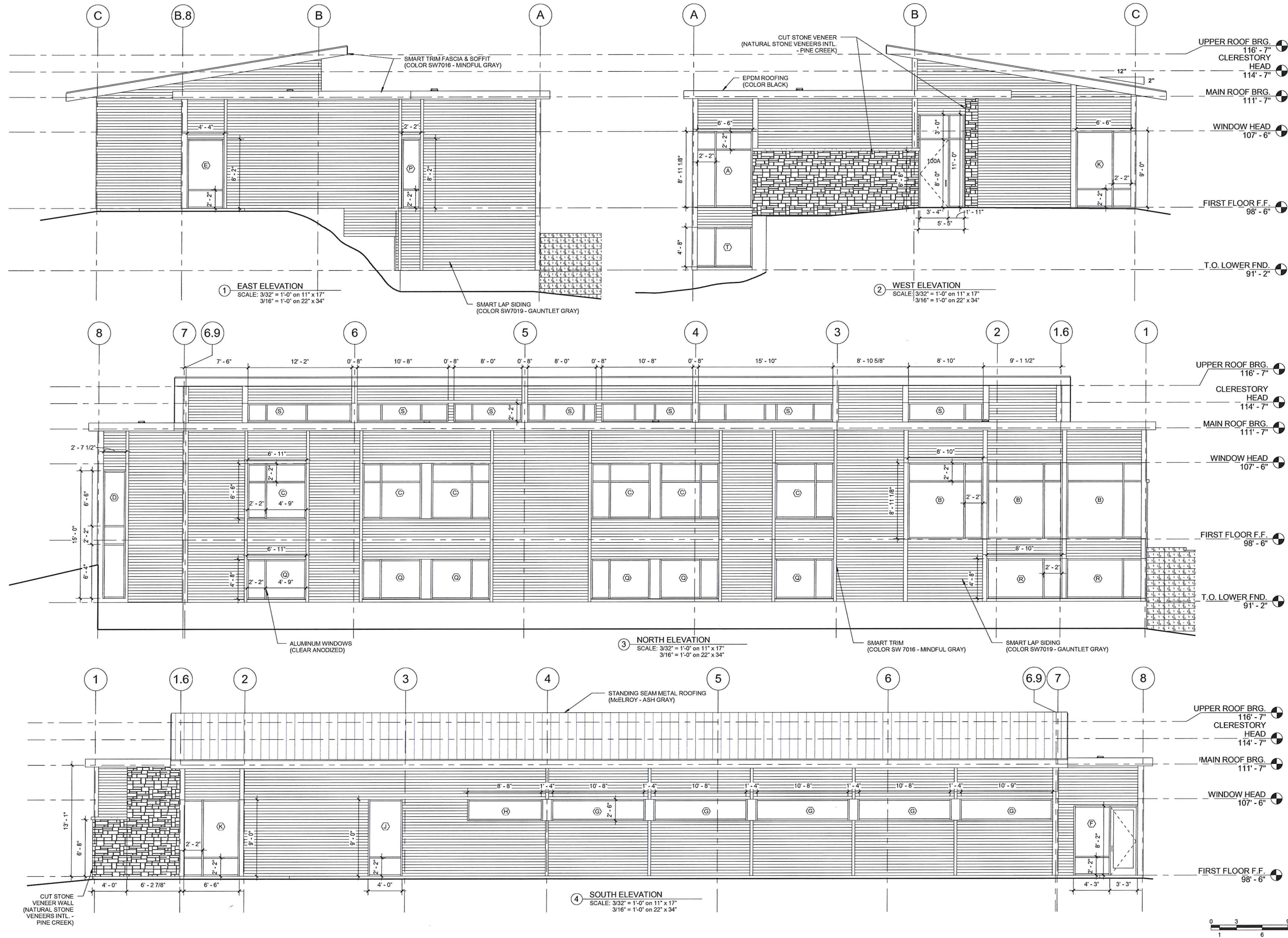


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LOWER LEVEL FLOOR PLAN
TERRA ENGINEERING OFFICE FACILITY
City of Madison
Dane County, WI
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EXTERIOR ELEVATIONS
TERRA ENGINEERING OFFICE FACILITY

City of Madison
Dane County, WI

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③ NORTH PERSPECTIVE



2 ENTRANCE PERSPECTIVE



1 WEST PERSPECTIVE