

URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at: http://www.cityofmadison.com/planning/documents/UDCapplication.pdf

215 Martin Luther King Jr. Blvd; Room LL-100 PO Box 2985; Madison, Wisconsin 53701-2985 Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: 7-28-17 UDC Meeting Date: 8-16-17	☐ Informational Presentation☐ Initial Approval				
Combined Schedule Plan Commission Date (if applicable):	Final Approval				
1. Project Address: LOT #159 (ARDINAL Project Title (if any): LEADERS 9-UNIT TOU	GLEN, 301 CROSS BAK DRIVE				
2. This is an application for (Check all that apply to this UDC application New Development Alteration to an Existing or Pr	TOTAL HAND				
A. Project Type: Project in an Urban Design District* (public hearing \$300 fee) Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations) Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment District (EC) Planned Development (PD)					
☐ General Development Plan (GDP) 区 Specific Implementation Plan (SIP)	JUL 2 8 2017				
 ☐ Planned Multi-Use Site or Planned Residential Complete B. Signage: ☐ Comprehensive Design Review* (public hearing-\$300 fee) ☐ Signage Exception(s) in an Urban Design District (public) 	Planning & Community Planning & Community Development Street Graphics Variance & (Espinaring \$300 fee)				
C. Other: Please specify:	rearing 4500 recy				
3. Applicant, Agent & Property Owner Information:					
Applicant Name: STEVE SHULFER	Company: SHOUFER ARLY MEUTS, LLC City/State: MIDDLETON, WI Zip: 53562				
Street Address: 7780 ELMW & 0 AVE # 208 Telephone: (28) 836-7570 Fax: (1)	City/State: MIDSLETON, WI Zip: 530 180				
Part	Email: SSHULFER CSHULFER MACH ITECTS. COM				
Project Contact Person: VOSK BIEBEN- LEADERS LUSTOM	Heme's Company:				
Street Address: 3326 LEDPOLD WAY APT B.	City/State: FITCH BURG , W/ Zip: 537/3				
Telephone:(608) 772 7687 Fax:()	Email: VOSU C. LENDERS CUSTOM HUMB, COM				
CONTACT PERSON STEVE SHULFER.					
Street Address: (SAME)	City/State: Zip:				
Telephone:() Fax:()	Email:				
4. Applicant Declarations:	2				
A. Prior to submitting this application, the applicant is required to discuss the application was discussed with	Gate of meeting)				
B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.					
Name of Applicant SteVE SHULFER	Relationship to Property ARUHITE-UT				
Name of Applicant Steve SHULFER Authorized Signature	Date 7-28-17				

CARDINAL GLENN 9-UNIT TOWNHOMES

LOT #159 CARDINAL GLENN MADISON, WI

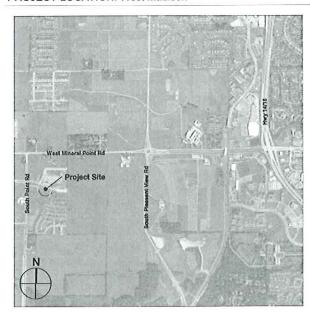
GENERAL PROJECT NOTES:

- DIMENSIONS ARE TO FACE OF WALL OR TO COLUMN CENTERLINE UNLESS NOTED OTHERWISE VERIFY ALL EXISTING CONDITIONS AND ADJUST WALL DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- 2. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERING ANY DISCREPANCIES OR CONFLICTING INFORMATION IN THESE DOCUMENTS. CONTRACTOR SHALL CARPILLY REVIEWAND COMPARE ALL DRAWNOS DURNO THE BIDDING PERIOD AND BEFORE INSTALLATION OF THEIR WORK, ANY INCONSISTENCIES IN THE DRAWNOS SHALL BE REPORTED PROMPTLY TO THE ARCHITECT AND ENGINEER(S) FOR CLARIFICATION.
- 3 DO NOT SCALE DRAWINGS THE DRAWINGS ARE NOT NECESSARILY TO SCALE USE GIVEN DIMENSIONS DIMENSIONS TAKE PRECEDENCE OVER SCALE CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- 4 CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED EXISTING SITE CONDITIONS AFFECTING THE EXECUTION OF THESE DOCUMENTS (SUCH AS HAZARDOUS MATERIALS, ETC.)
- 5. CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS GOVERNING THIS PROJECT.
- 6 JOB SITE SHALL BE BROOM SWEPT AND CLEAN AT THE END OF EACH DAY, ALL DEBRIS SHALL BE PICKED UP AND DISPOSED OF PROPERLY INTO APPROVED CONTAINER.
- 7. MAINTAIN DESIGNATED EGRESS ROUTES DURING CONSTRUCTION BY KEEPING CLEAR OF CONSTRUCTION DESRIS AND CLEARLY MARKING THE PATH OF EGRESS TRAVEL.
- A ALL MECHANICAL (HYAC), ELECTRICAL, AND PLUMBING (MEP) DESIGN AND CONSTRUCTION TO BE BY A DESIGN BUILD DELIVERY METHOD AND ARE SUBSEQUENTLY NOT PART OF THESE DOCUMENTS. IT IS THE MEP CONTRACTOR RESPONSIBILITY TO COOKINATE WITH THE GENERAL CONTRACTOR AND WITH THESE DRAWNYSS THE FINAL DESIGN, RETROFIT AND INSTALLATION OF THESE SYSTEMS NOTHY THE ARCHITECT PRIOR TO MAKING ANY REVISIONS TO THE STRUCTURE OR ARCHITECT PRIOR TO MAKING ANY REVISIONS TO THE STRUCTURE OR
- 9 ELECTRICIAN TO VERIFY NEW LIGHT FIXTURE LAYOUT AND SUBMIT LIGHTING ENERGY CALC'S AS REQUIRED PER CODE. REVIEW PLAN AND LIGHTING FIXTURE SELECTION WITH ARCHITECT.
- 10. HVAC CONTRACTOR SHALL SUBMIT PROPER DESIGN DRAWINGS AS NEEDED FOR PLAN APPROVAL AND BUILDING PERMITS.
- 11. ENSURE A CLEAR PATHWAY TO ALL EXISTS IS MAINTAINED AND SUSTAINED.
- 12 WITHIN THIS DOCUMENT "NORTH, SOUTH, EAST, WEST" ARE REFERRED TO AS PROJECT NORTH AND NOT TRUE NORTH
- 13 ALL EXPOSED WOOD, OR IN CONTACT WITH CONC, OR MASONRY, SHALL BE PRESSURE TREATED
- 14. VERIFY ALL ROUGH OPENIGNS WITH RESPECTIVE MFG
- 15 PROVIDE SOUND BATT INSULATION AT ALL DEMISING WALLS, SEPARATION WALLS, AND AT BEDROOM, LAUNDRY ROOM, BATHROOM, AND MECHANICAL ROOM WALLS
- 16. PROVIDE MOISTURE RESISTANT GWB AT ALL PLUMBING WALLS 17. PROVIDE GFI OUTLETS NEAR WATER SOURCES AND AS REQUIRED BY CODE
- 18. VERIFY SELECTED APPLIANCES IN TYPE "A" UNITS, AND COMMON ROOM MEET ACCESSIBILITY CODE ANSI A 117.1 2009
- 22 PROVIDE 2X BLOCKING AT ALL GRAB BAR LOCATIONS IN ALL UNITS PER ANSI A117.1 2009
 21. FIELD VERIFY ALL CABINET LAYOUTS AND CORROINATE DIMENSIONS WITH SELECTED APPLIANCES AND FIXTURES, PROVIDE END PANELS AT ALL EXPOSED CABINET FLOX.
- 22 PROVIDE FIRE BLOCKING THROUGHOUT ENTIRE BUILDING PER ISC 717.2

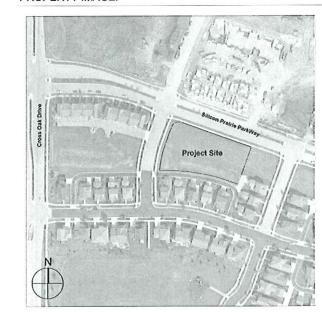
CITY PLAN REVIEW 05/10/2017

SHEET LIST				
Sheet Number	Sheet Name			
A0.1	COVER SHEET			
	SITE SURVEY			
C0.1	GRADING EROSION CONTROL PLAN			
L1.1	LANDSCAPE PLAN			
LE 1	SITE LIGHTING			
A1.1	PROPOSED SITE PLAN			
A2.0	OVERALL ROOF PLAN			
A2.1	OVERALL BASEMENT FLOOR PLAN			
A2.2	OVERALL FIRST FLOOR PLAN			
A2 3	OVERALL SECOND FLOOR PLAN			
A3.1	EXTERIOR ELEVATIONS			
A3.2	EXTERIOR RENDERINGS - COLOR SCHEME			
A3.3	EXTERIOR RENDERINGS - PERSPECTIVES			
A4.1	BUILDING SECTIONS			

PROJECT LOCATION: West Madison



PROPERTY IMAGE:





9-Unit Apartment Building Lot #159 Cardinal Glenn Madison, Wisconsin

COVER SHEET

o. Description | Price Set 11/04/201 | Price Set 11/04/201 | Const. Document (03/05/20) | Cety Plan Review (05/10/20)1

PROJECT CONTACTS:

OWNER: JOSH BIEBER LEADERS CUSTOM HOMES, LLC MADISON, WI ARCHITECT: STEVE SHULFER, AIA SHULFER ARCHITECTS, LLC 7780 ELMWOOD AVE., SUITE #208 MIDDLETON, WI 53562 STRUCTURAL ENGINEER:
MARK LINDLOFF, PE
MP-SQUARED, LLC
583 D'ONOFRIO DR, STE 201
MADISON, WI 53719

GENERAL CONTRACTOR:
JOSH BIEBER
LEADERS CUSTOM HOMES, LLC

SURVEYOR'S CERTIFICATE

TO: E3development LL.C. Preferred Title

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 "Minimum Standard Detail Requirements for ALTA/ACSM Lond Title Surveys", jointly established and accepted by ALTA and NSPS, and includes items 1, 3, 4, 5, 11(b), 16 & 18 of Table A thereof. The field work was completed on April 14, 2014.

Dated this 1st day of May, 2014.

Brett T. Stoffregon, Registered Lond Surveyor S-2742

- 1. Gruss land area: 38,671 square feet (0.688 cores)
- 2. No buildings existing on the subject parcel.
- Flood Zone Designation: The property is not located in a flood prone area, flood hazard area or in a flood plain or floodway district. Based upon the Flood Insurance Rate Map (FIRV), Dane County, Misconsin, Map No. 55025003959.
- At the time of the survey there was no observable evidence of earth moving work or building additions within recent months.
- At the time of the survey there was no observable evidence of site use as a solid maste dump, sump or sonitary landfil.
- 6. Contours were created by ground survey using NAVD88 vertical datum.

Surveyed for: Chris Ehlers 2980 Edenberry Street Fitchburg, W 53711

LEGAL DESCRIPTION

Lot 159, Cardinal Genn, in the City of Madison, Dane County, Alexansin.

TITLE COMMITMENT

Disposition of Exceptions Identified in Schedule B — Part II Commitment for Ittle Insurance Insued by Preferred Ittle Commitment date December 26,2013
Title Insurance Commitment No. 113120193 And 1

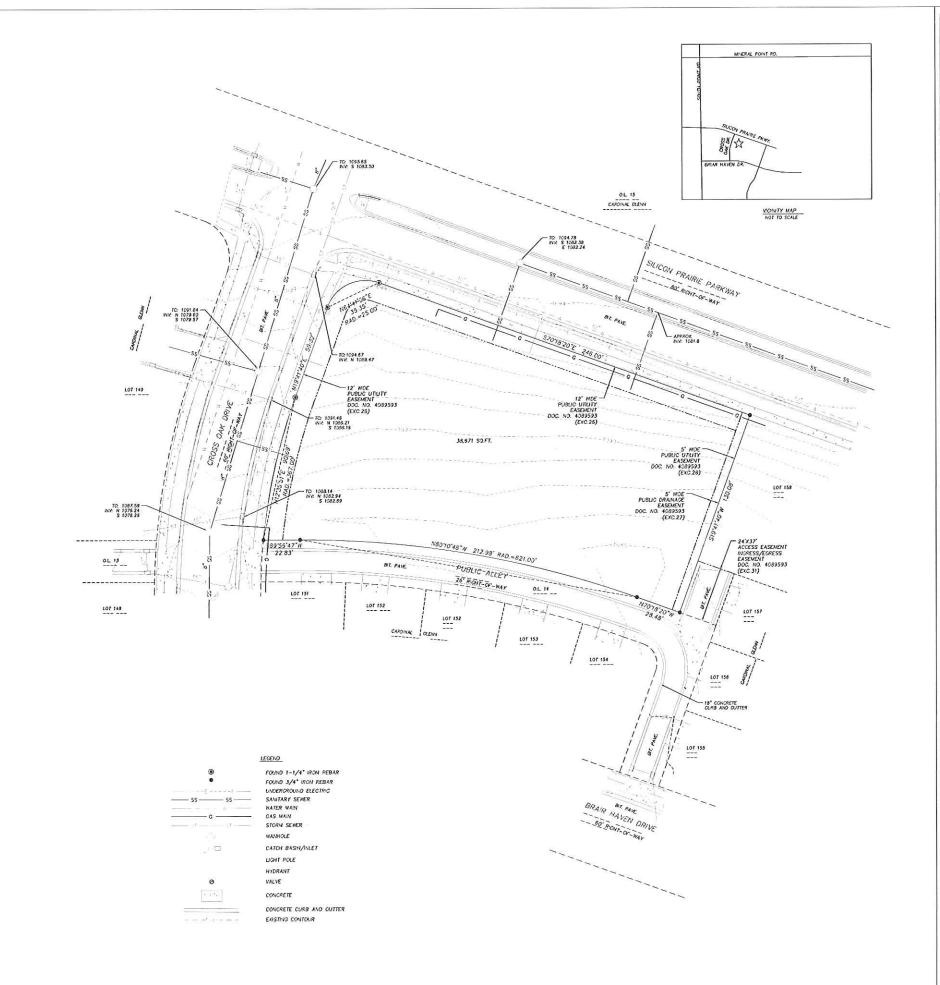
- 1-13. —Are standard exceptions, statements or financial matters which can not be plotted on this survey.
- Essement to Misconsin Power and Light Company recorded in Vol. 90 of Misc., page 255, as #512425.
 Does not affect subject parcel.
- Permanent Essement for Public Sanitary Sever and Water Main Purposes to the City of Madison recorded as #3485293.

 —Does not affect subject parcel. Located north of subject parcel along Wineral Point Road.
- Controlled Access Highway Regulations recorded in Vol. 447 of Records, page 483, as \$1388501.
 Does not affect subject parcel. Subject parcel is not located along a County Trunk Highway.
- Droinage and Utility Easement over the Westerly 12 feet as shown on Cartified Survey Map 4523.
 Does not affect subject parcel.
- For building alle information refer to the Dane County Soit Survey as shown on Certified Survey Map No. 4523.
 —Does not offset subject parcel.
- 19. Plans PCD (GOP) recorded as #4107395.
 -Affects subject parcel, not plottable.
- Declaration of Conditions and Covenants recorded as #4111573.
 —Affects subject parcel, not plottable.
- Declaration of Conditions and Covenants recorded as #4111674.
 Affects subject parcel, not plottable.
- Declaration of Protective Coverants, Conditions and Restrictions recorded as #137864; amended as #134509; amended as #1361457; amended as #4473575; amended as #4739220, amended as #4897623. —Affects subject pence, not plottobids.
- Land Use Restriction Inclusionary Zoning recorded as #124994; modified as #1255397; modified as #1289771; modified as #430232; modified as #4430233; modified as #430234; modified as #4430235.
 Does not affect subject parcel. Subject parcel was not named in Dos. No. 4214994
- Declaration of Conditions, Covenants and Restrictions recorded as #138032; modified as #1227339; modified as #330855; modified as #317829.
 Does not affect adulged pared, Suglect pared was released from DOCR in Doc. No. 4317820.
- Declaration of Conditions and Covenants recorded as #4303523.
 —Affects subject parcel, not plottable.
- Public Utility Ecsements as shown on the plat.
 Affect subject parcel. Shown on survey.
- 27. All lots within this plot are subject to a non-evolutive essement for drainage purposes which shall be a minimum of 5 feet in width measured from this property line to the interior of each lot, except that the essement shall be 10 feet in width on the perimiter of the pot Leasurest's shall not be required on property lines shared with greanlys or public streets as sharen on the plot.

 Affect subject parts. From on surger.
- 28. The intra-block drainage easements shall be graded with the construction of each principal structure in occordance with the approved Stammatter Drainage Plan on the with the City Engineer and the Zoniny Administrator, as amended in occordance with the Madson General Ordinances as shawn on the pict.
 —Affect subject parts, not plottable.
- 22. At streets/roods (Ang within the plot boundary are dedicated to the public, unless otherwise noted as shown on the plot.

 —Affects subject parcel, not plottable.
- 30. The city will not install lighting in the alleys, but the developer or property owners may request the City to approve a private light(s) in the alley right-of-ray. Such private light(s) to be operated and monitolened by private interests or shown on the plot.

 —Affects subject parcel, not plottable.
- Access essement for ingress/egress as shown on the plat
 —Located on Lot 158, Cardinal Clenn east of subject parcel. Shown on survey.
- 32. Notes as shown on the plat.
 Shown as exceptions 27—30 above.



D'ONOFRIO KOTTKE AND ASSOCIATES,

GLENN CARDINAL 59, \vdash 0

SURVEY

TITLE

LAND

ALTA/ACSM

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SCALE: 1"= 30

30

DATE: 05-01-14 REVISED:

> DRAWN BY: BTS FN: 14-02-109

Sheet Number: 1 of 1

LEGEND



PROPOSED CONTOUR

EXISTING CONTOUR

FLOW ARROW



SPOT ELEVATION
EP - EDGE OF PAVEMENT
FFE - FINSHED FLOOR ELEVATION
TC - TOP OF CURB
TW - TOP OF WALL (GROUND ELEVATION)
BW - BOTTOM OF WALL (GROUND ELEVATION)
P - HIGHPOINT

SILT FENCE/SILT SOCK

GRADING AND EROSION CONTROL NOTES

- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DAR TECHNICAL STANDARDS IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS
- 2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAIN MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WONR TECHNICAL STANDARDS
- 3 EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. IF DETERMINED INCESSARY DURING CONSTRUCTION THE COUNTY OR TOWN WILL REQUIRE ADDITIONAL MEASURES TO BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- 4. INSPECTIONS AND WAINTENANCE OF ALL EROSION CONTROL WEASURES SHALL BE ROUTINE (ONCE PER WEEK MINMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- 5. INSPECT EROSION CONTROL WEASURES AFTER EACH 1/2' OR GREATER RAINFALL REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION
- 6 NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
- EROSION CONTROL MEASURES SHALL BE REMOVED ONLY
 AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL
 SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER
- INSTALL INLET PROTECTION IN ALL STORM SEWER INLETS
 AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM
 DISTURBED AREAS
- 9 CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3.1
- 10 SLOPES EXCEEDING 4.1 SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING
- 11.ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED UP AND REMOYED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS
- 12 ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY STABILIZATION METHODS SUCH AS TEMPORARY SEEDING, SOIL TREATMENT, EROSION MATTING, OR MULCH
- 13 PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS
- 14 INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES
- 15 AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL FERTILIZER, SEED AND MULCH SEE MIXTURE SHALL BE WIS CONSIN DOT SEED MIX 440 OR SOUND ALL DISTURBED AREAS, ANNUAL RYEGRASS AT A RATE OF 1 1, POUNDS PER 1000 SOFT ON ALL DISTURBED AREAS, ANNUAL RYEGRASS AT A RATE OF 1, 1, POUNDS PER 1000 SOFT SHALL BE ADDED TO THE MIXTURE, FERTILIZER SHALL BE PLACED PER A SOIL TEST, SEE LANDSCAPE PLAN FOR A WORE DETAILED PLANTING PLAN AND LANDSCAPE DETAILS
- 16 DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WONR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.



9-Unit Apartment Building Lot #159 Cardinal Glenn Madison, Wisconsin

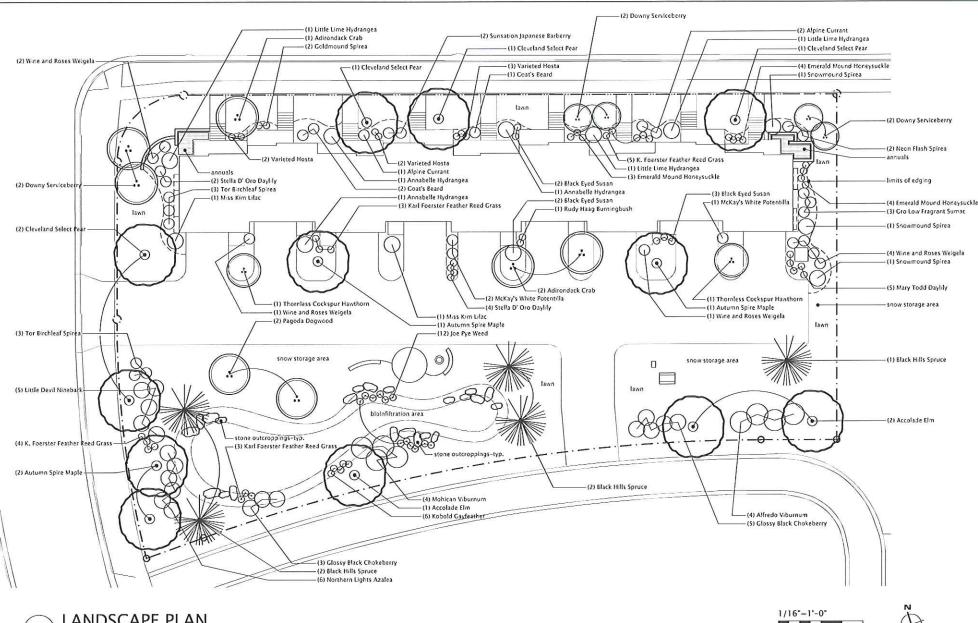
GRADING □ EROSION CONTROL PLAN

> 03/08/2017 site change

No.	Description	Date
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_		-

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.

7530 Westward Way, Madison, WI 53717 Phone: 608.833.7530 • Fax: 608.833.1089 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT FN: 16-05-130 C-1



LANDSCAPE PLAN

Notes:
I. Individual tree and shrub groupings found within lawn areas are to receive wood mulch rings and/or wood mulch beds consisting of a mixture of recycled brown dyed wood mulch spread to a 3° min, depth over a pre-emergent herbicide.

2. "Edging" to be professional grade polyethylene lawn edging available in 20' flat strips. Basis of Design Valley View Black Diamond. Valley View Industries. (www.valleyviewind.com/professional/)

3. "Lawn" areas shall be finish graded and seeded at a rate of 4 lbs, per 1,000 sg, ft. Basis of Design: Madison Parks Lawn Seed Mix. EarthCarpet Corporation. (www.seedsolutions.com)

4. Unless otherwise indicated, plant beds to receive locally available, clean washed 1 ½" - 2 ½" durable landscape stone spread to a 3" min, depth over a commercial grade weed barrier fabric.

5. Perennials in mass bed plantings to be planted in staggered rows.

6. Contractor is responsible for repairing any and all damage to the adj. properties. Planted areas shall be replanted, damaged lawn areas shall be repaired with sod and adjacent curbs and pavement shall be

7. Maintenance, watering and warranty of plants to extend for 12 months after project completion/acceptance. Maintenance, watering and warranty period for seed to extend 60 days from project completion/acceptance of installation.

Landscape Calculations and Distribution

(a) One (1) landscape unit for each (300) sf developed area Total sf of developed area = 13,125 sf Developed area divided by (300) = 44 Landscape Units

(b) Within (IL) and (IG) districts, one (1) landscape unit for each (600) of developed area Total of developed area = NA

Developed area divided by (600) = NA Landscape Units

(c) One landscape unit = 5 landscape points Landscape units (44) x 5 landscape points = 220 Total points Required

Development Frontage Landscaping:

Provide (1) overstory deciduous tree and five (5) shrubs per (30) If of lot frontage Existing Lot frontage = 435 If (15) trees required (15) proposed (74) proposed

Tabulation of Points and Cred ts:

(73) shrubs required

		Froposed	
Min. size	Points	Qty.	Poin
2 1/2° cal.	35	2	70
1 1/2° cal.	15	6	90
5-6 feet tall	35	=	=
18" or 3 gal.	3	7	21
18" or 3 gal.	4	2	200
1 gal.	2	30	60
			241
			220
	2 1/2" cal. 1 1/2" cal. 5-6 feet tall 18" or 3 gal. 18" or 3 gal.	2 1/2" cal. 35 1 1/2" cal. 15 5-6 feet tall 35 18" or 3 gal. 3 18" or 3 gal. 4	Min. size Points Qty. 2 1/2' cal. 35 2 1 1/2' cal. 15 6 5-6 feet tall 35 - 18' or 3 gal. 3 7 18' or 3 gal. 4 -

DECIDUOUS and EVERGREEN TREES Autumn Spire Maple (50't x 20'w) Autumn Spire Maple (50't x 20'w)
Adirondack Crab (18't x 10'w)
Downy Serviceberry (15't x 12'w)
Cleveland Select Pear (30't x 20'w)
Accolade Elm (50t' x 40'w)
Black Hills Spruce (25't x 15'w) Thornless Cockspur Hawthorn (15x15)

Glossy Black Chokeberry (4't x 4'w) GJossy Black Chokeberry (4't x 4'w)
Gro Low Fragrant Sumac (2't x 5'w)
Neon Flash Spirea (3't x 3'w)
Little Lime Hydrangea (4't x 4'w)
Wine and Roses Weigela (4't x 4'w)
Tor Birchleaf Spirea (2't x 2't)
Snowmound Spirea (4't x 4'w)
Little Deal Kinsheld (4't x 4'w) Little Devil Ninebark (4't x 4'w) Mohican Viburnum (6't x 6'w) Miss Kim Lilac (5't x 5'w) Miss Kim Lilac (5't x 5'w)
Alfredo Viburnum (5't x 5'w)
McKay's White Potentilla (4't x 4'w)
Pagoda Dogwood (20't x 20'w)
Nothern Lights Azalea (4't x 4'w)
Goldmound Spirea (3't x 3'w) Emerald Mound Honeysuckle (2't x 2'w) Annabelle Hydrangea (5't x 4'w) Sunsation Jap. Barberry (4't x 4'w) Alpine Currant (4't x 4'w) Rudy Haag Burningbush (4't x 4'w)

PERENNIALS K. Foerster Feather Reed Grass Mary Todd Daylily (24"t x 24"w) Stella D' Oro Daylily (24"t x 24"w) Black Eyed Susan (24"t x 24"w) Kobold Gavfeather (24"t x 24" w) Biokovo Geranium (12°t x 24" w) Variegated Hosta (2't x 2'w)

Acer rubrum 'Autumn Spire'
Malus 'Adirondack'
Amelanchier arborea
Pyrus calleryana 'Cleveland Select
Ulmus 'Morton'
Picea glauca var, 'densata' 6' tall 2" 8&8 2" 8&8 6' tall 6' tall Crataegus crus-galli var. Inermis Aronia melanocarpa Rhus aromatica 'Gro Low' Rhus aromatica 'Gro Low' Spiraea japonica 'Neon Flash' Hydrangea paniculata 'Limeloght' Weigela florida 'Wine and Roses' Spiraea beutifolia 'Tor' Spiraea nipponica 'Snowmound' Psyocarpus opulifolius Viburuum lantana 'Mohican' 18' tall Syringa 'Miss Kim' Syringa 'Miss Kim'
Viburnum triloba 'Alfredo'
Potentilla Fruticosa 'McKay's White'
Cornus alternifolia
Rhododendron 'Northern Lights'
Spiraea japonica 'Cold Mound'
Lonicera xylosteum 'Emerald Mound'
Middanan abbertras' (Acapabilis' 18" tall 18" tall 4" ht. 18" tall 18" tall 18" tall 18" tall Hydrangea arborescens 'Annabelle' Berberis thunbergii 'Monry'

2 1/2° B&B

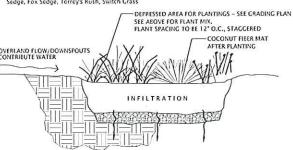
18° tall

Acer rubrum 'Autumn Spire'

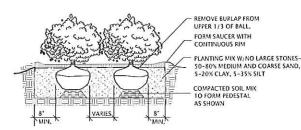
Ribes alpinum

Eunymus alatus 'Rudy Haag' 18' tall Calamagrostis acutiflora 'Karl Foer Hemerocallis 'Mary Todd' Hemerocallis 'Stella D' Oro' Rudbeckia fulgida 'Goldsturm' #1 CONT Liatris spicata 'Kobold' Geranium x cantabrigiense 'Biokovo' Hosta 'Blue Angel' #1 CONT.

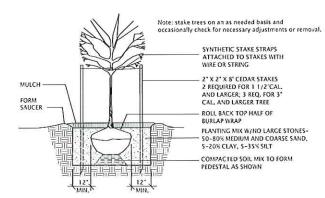
PLANTS; EQUAL MIX 2 1/2" FLUGS, RANDOM PLANT, Butterfly Weed, Blue False Indigo, White False Indigo, Purple Coneflower, Blue Flag Iris, Cardinal Flower, Marsh Blazingstar, Brown Eyed Susan, Stiff Goldenrod, Bottlebrush Sedge, Fox Sedge, Torrey's Rush, Switch Grass



BIOINFILTRATION DETAIL



SHRUB PLANTING



TREE PLANTING



02/13/2017



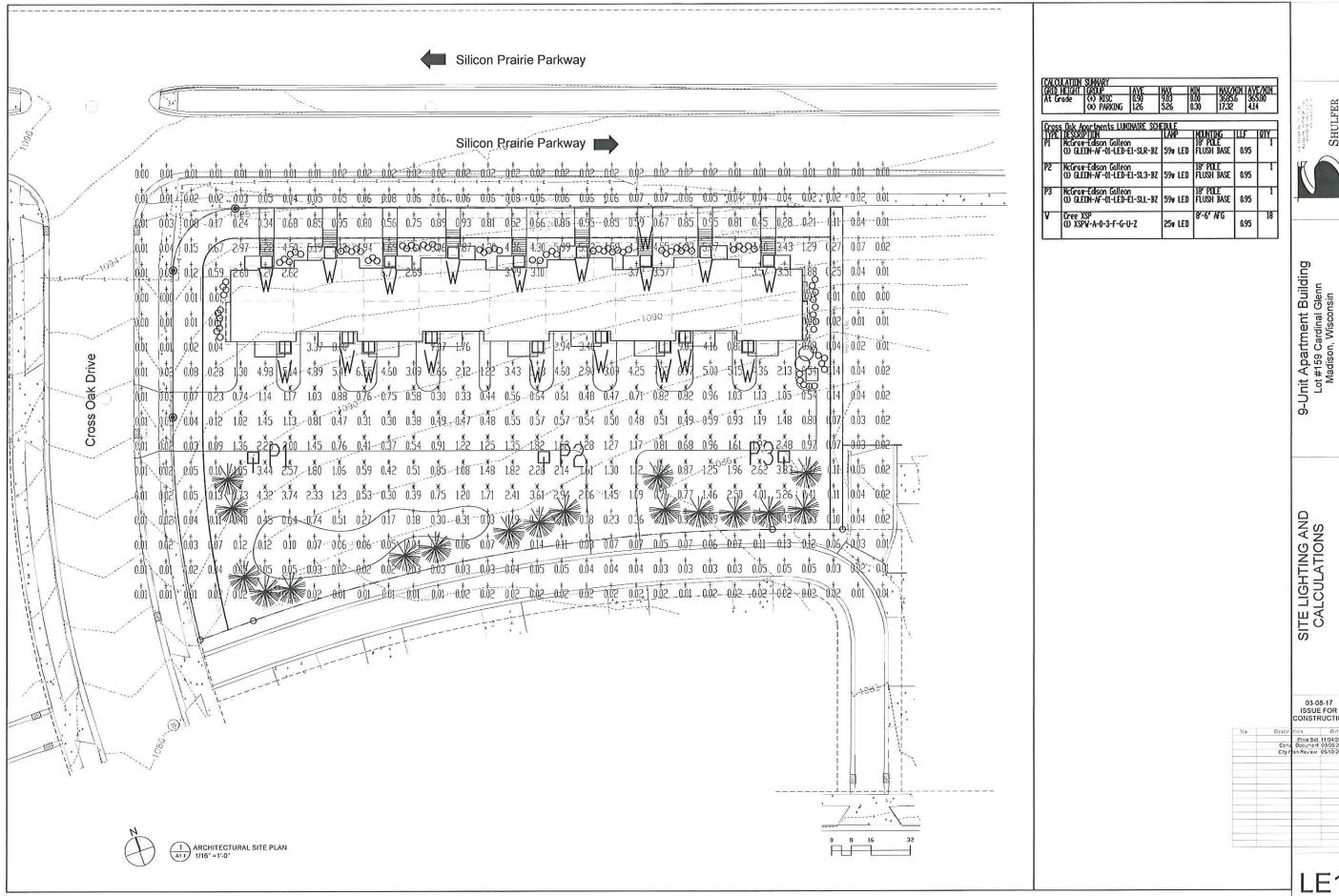




9-Unit Apartment Building Lot #159 Cardinal Glenn Madison, Wisconsin

PLAN Ш LANDSCAP

L1.1



03-08-17 ISSUE FOR CONSTRUCTION

LE1

GENERAL SITE NOTES:

- REFER TO CIVIL ENGINEERING SITE PLANS FOR INFORMATION REGARDING PAVING, GRADING, EROSION CONTROL, AND STORWWATER MANAGEMENT.
- 2 REFER TO LANDSCAPE PLAN FOR ALL REQUIRED PLANTINGS
- SEE SITE LIGHTING PLAN FOR LIGHTING, FIXTURES, AND PHOTOMETRICS
- CONDUCT ALL WORK IN ACCORDANCE WITH CITY OF MADISON REGULATIONS AND PERMITTING
- NOTIFY ARCHITECT OF ANY UNFORSEEN SITE CONDITIONS, INCLUDING BUT NOT LUMIED OF UTILITIES, BURIED SUB-SURFACE STRUCTURES OR SOIL CONDITIONS, PRESENCE OF HAZARDOUS MATERIUS OR SUBSURFACE WATER OR WETLAND CONDITIONS, ETC.
- CONTRACTOR TO ENGAGE SERVICES OF SURVEYOR TO VERIFY ALL FROFERTY UMITS AND ENSURE COUPATIBILITY WITH FROFOSED ALTERATIONS CONTRACTOR SHALL NOTHY ARCHITECT INMEDIATELY UPON DISCOVERING ANY DISCREPANCIES OR CONFLICTING INFORMATION WITH FROFOSED ALTERATIONS
- EXISTING ADJACENT BUILDINGS TO BE PROTECTED FROM DAMAGE DURING ALL DEMOLITION AND CONSTRUCTION WORK
- CITY SIDEWALKS, UTILITIES AND LANDSCAPE TO REMAIN INTACT AND UNDISTURBED WHERE POSSIBLE. IF MODIFICATION IS NECESSARY, RESTORE TO EXISTING CONDITIONS AND CURRENT ACCESSIBILITY STANDARDS.
- 10 PROTECT ALL CITY PROPERTY, INCLUDING STREET TREES, WITH FENDING AND PROTECTIVE BARRIERS. REPLACE ANY DAMAGED MATERIALS OR LANDSCAPE TO EXISTING CONDITIONS

SITE STATISTICS:

LOT LEGAL DESCRIPTION LOT 159, CARDINAL GLENN, RECORDED IN VOLUME SEGRA OF PLATS PAGE 423 AS DOCUMENT NUMBER AC68593 DANE COUNTY REGISTRY, LOCATEO IN THE NY 114 AND THE SW114 OF THE NE 114 OF SECTION 28, 1714, R&E, CITY OF MADISON, DANE COUNTY, WISCONSIN

38,671 SF BUILDING FOOTPRINT 6,792 SF BUILDING GROSS AREA EXPOSED BASEMENT: FIRST FLOOR SECOND FLOOR

PAVING COVERAGE AREA 10,294 SF TOTAL IMPERVIOUS 19,367SF

TOTAL PERVIOUS
USEABLE OPEN SPACE PROVIDED
FRONT PORCH SPACE
BALCONY SPACE LOT COVERAGE 55% COVERAGE

AUTOMOBILE PARKING 18 SPACES TOTAL*
TWO PER UNIT/ GARAGE STALLS

BICYCLE PARKING 9 TOTAL SPACES (ONE PER UNIT) TWO STORIES AT SILICON PRAIRIE PARKWAY APPROX. 31' ABOVE STREET LEVEL BUILDING HEIGHT:

APARTMENT TOTALS 9 TOTAL UNITS, ALL TWO-BEDROOM

SITE KEYED NOTES:

- 1) HE POSSO OF CAR CASE AS TWO FIRST POTES

- \$ 1 KETSTON SELECT FLORITES
- TO THE PROPERTY OF THE PROPERT
- 8 | P. S. A. E. D. S. L. B. D.
- 19) ATTRIBUTED THE P. LIEA
- (10) of the other section of for street which risk

SHULFER

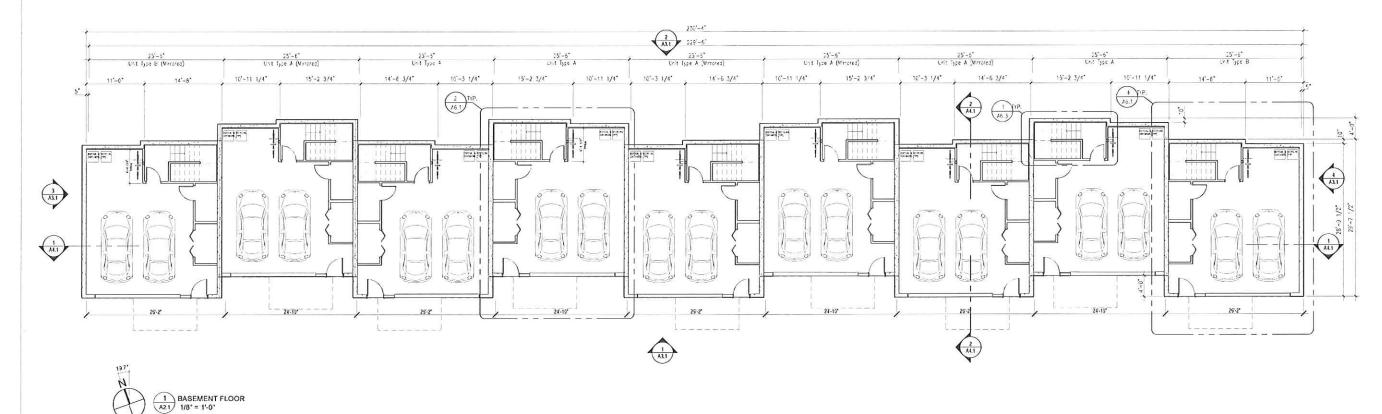
9-Unit Apartment Building Lot #159 Cardinal Glenn Madison, Wisconsin

PLAN PROPOSED SITE

03-08-17 ISSUE FOR CONSTRUCTION

No. Description Date
URBAN DESIGN COMMISSION 03-03-2017





GENERAL PLAN NOTES:

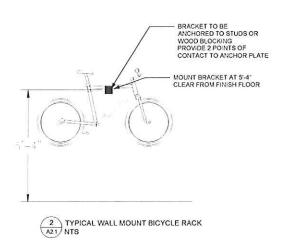
 MECHANICAL, ELECTRICAL AND PLUMBING TO BE DESIGN BUILD DESIGNED AS REQUIRED BY CURRENT BUILDING CODES MEP DESIGN BUILD CONTRACTOR(S) RESPONSIBLE FOR ENSURING CODE COMPLIANT CONSTRUCTION OF NEW SYSTEMS.

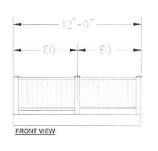
2 PROVIDE ACCESSIBLE TOILET ROOM FIXTURES AND ACCESSORIES I

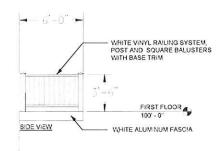
3 PROVIDE ADA APPROVED THRESHOLDS AT ALL NEW FLOOR TRANSITIONS AND DOORWAYS

4 WALLS TO BE PARTITION TYPE P-1 UNLESS OTHERWISE NOTED

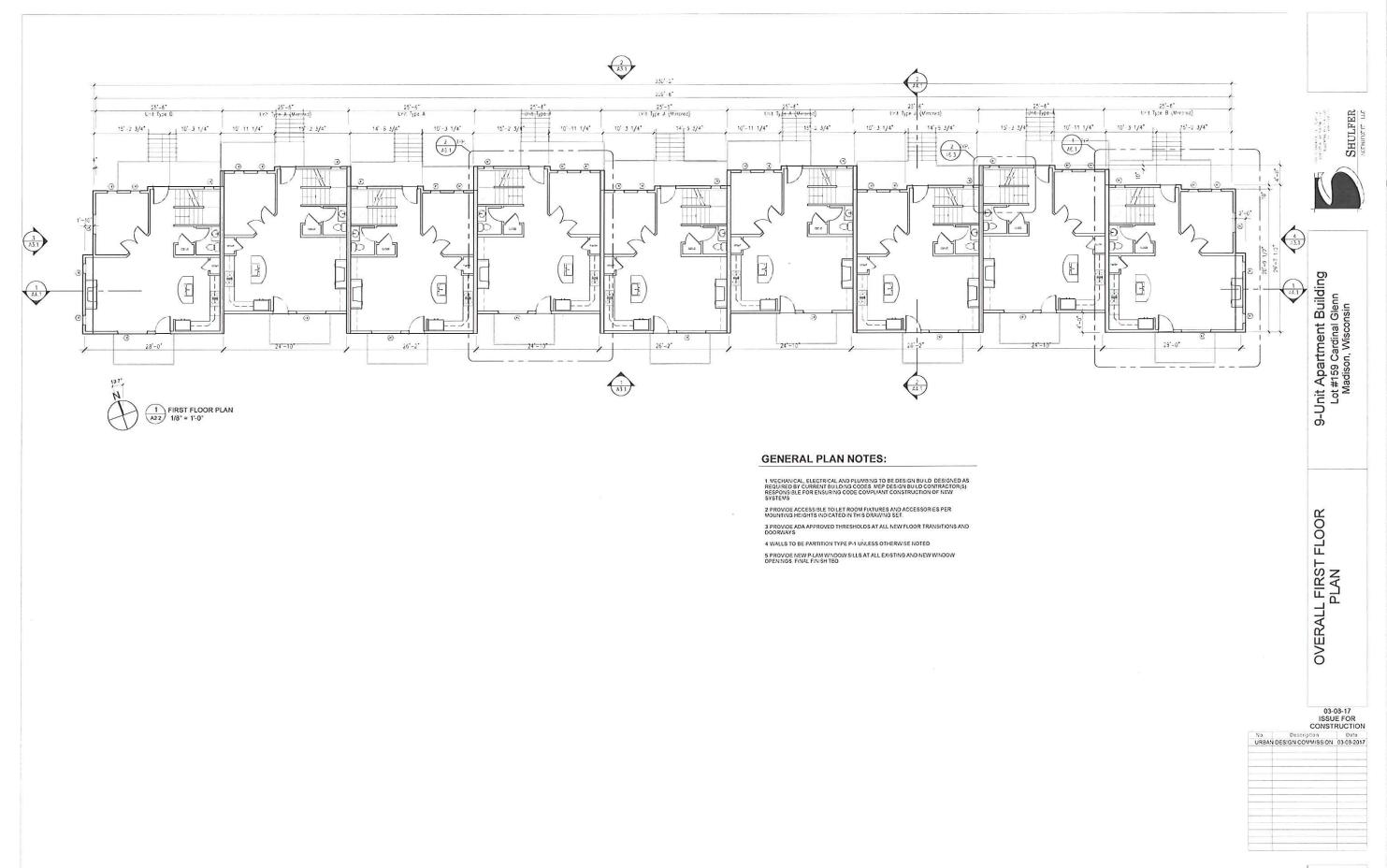
5 PROVIDE NEW P-LAM WINDOW SILLS AT ALL EXISTING AND NEW WINDOW OPENINGS. FINAL FINISH TBD.

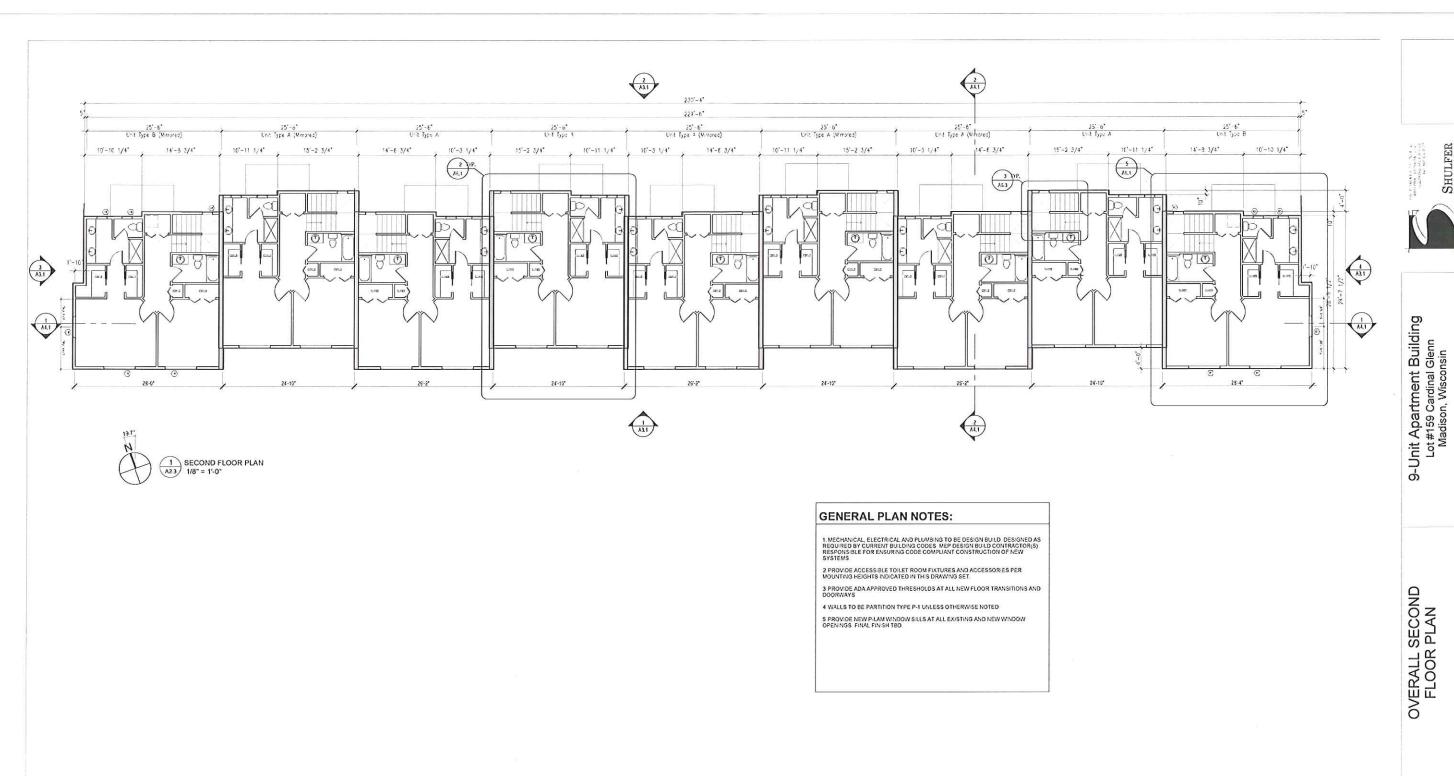






3 TYPICAL RAILING AT PATIO DECK A21 1/4"=1'-0"





03-08-17
ISSUE FOR
CONSTRUCTION
Description Date
ICOMMISSION 03-08-2017

No. Description Outs
URBAN DESIGN COUVISSION 03-08-2017



A3.1

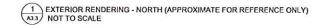


10/07/2016 Construction Documents



Pricing Set NOT FOR CONSTRUCTION

A3.2





 $\begin{picture}(60,0) \put(0,0) \put(0,0$



2 A33 EXTERIOR RENDERING - NORTH (APPROXIMATE FOR REFERENCE ONLY) NOT TO SCALE



 $\stackrel{4}{\stackrel{\text{\tiny A33}}}$ exterior rendering - south (approximate for reference only) not to scale





9-Unit Apartment Building Lot #159 Cardinal Glenn Madison, Wisconsin

EXTERIOR RENDERINGS (FOR REFERENCE ONLY)

09/07/2016 Schematic Design

