

FGC FLEX BUILDING

4921 FEMRITE DR.
MADISON, WI 53716

PROJECT DATA

LOCATION:
4921 FEMRITE DR
MADISON, WI

REGULATING MUNICIPALITIES:
CITY OF MADISON
DANE COUNTY
STATE OF WISCONSIN

BUILDING CODE:
CITY OF MADISON ZONING ORDINANCES
DANE COUNTY ZONING ORDINANCES
WISCONSIN ADMINISTRATIVE CODE
2015 INTERNATIONAL BUILDING CODE
ACCESSIBILITY ANSI A117.1 - 2009

PROJECT DESCRIPTION:
NEW 86,400 SF SINGLE STORY SPECULATIVE INDUSTRIAL BUILDING ON AN EMPTY LOT

OCCUPANCY TYPE:
PRIMARY: STORAGE
SECONDARY: BUSINESS

CONSTRUCTION TYPE:
IIB - NON-COMBUSTIBLE

ALLOWABLE BUILDING AREA & HEIGHT:
(IBC TABLE 504.3) MAXIMUM HEIGHT ABOVE GRADE PLANE = [XX] FEET
(IBC TABLE 504.4) MAXIMUM STORIES ALLOWED = [XX] STORIES
(IBC TABLE 504.4) MAXIMUM AREA ALLOWED PER FLOOR = [XX,XXX] SF
(IBC TABLE 506.2) AREA MODIFICATIONS = [XX,XXX] SF
(IBC SECTION 506) TOTAL MAXIMUM ALLOWABLE AREA PER FLOOR = [XX,XXX] SF

ACTUAL BUILDING AREA & HEIGHT:
HEIGHT ABOVE GRADE PLANE = 24 FEET
STORIES = 1 STORIES
TOTAL BUILDING AREA = 86,400 SF

NUMBER OF OCCUPANTS (TABLE 1004.1.2):
TBD BY INDIVIDUAL TENANTS

PLUMBING:
TBD BY INDIVIDUAL TENANTS

FIRE CONTROL:
FULLY SPRINKLERED BUILDING: NFPA 13
PORTABLE FIRE EXTINGUISHERS (IBC SECTION 906.3.1)
HAZARD TYPE = [LOW, MOD, HIGH]
MAXIMUM AREA = [XX] SF PER "A"
MAXIMUM DISTANCE (TYPE [A OR B]) = [XX] FEET
EXTINGUISHER RATING = [X-A-X-B-C]
NUMBER REQUIRED AT ABOVE RATING = [X]

EXITS:
(2) EXITS PROVIDED AT EACH TENANT BAY

ACCESSIBILITY:
FOLLOW IBC 2015 AND ANSI 117.1 (2009)

PROJECT GENERAL NOTES:

- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERING ANY DISCREPANCIES OR CONFLICTING INFORMATION IN THESE DOCUMENTS. CONTRACTOR SHALL CAREFULLY REVIEW AND COMPARE ALL DRAWINGS DURING THE BIDDING PERIOD AND BEFORE INSTALLATION OF THEIR WORK. ANY INCONSISTENCIES IN THE DRAWINGS SHALL BE REPORTED PROMPTLY TO THE ARCHITECT AND ENGINEER(S) FOR CLARIFICATION.
- DO NOT SCALE DRAWINGS. THE DRAWINGS ARE NOT NECESSARILY TO SCALE - USE GIVEN DIMENSIONS. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED EXISTING SITE CONDITIONS AFFECTING THE EXECUTION OF THESE DOCUMENTS (SUCH AS HAZARDOUS MATERIALS, ETC.).
- CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS GOVERNING THIS PROJECT.
- JOB SITE SHALL BE BROOM SWEEPED AND CLEAN AT THE END OF EACH DAY. ALL DEBRIS SHALL BE PICKED UP AND DISPOSED OF PROPERLY INTO APPROVED CONTAINER.
- MAINTAIN DESIGNATED EGRESS ROUTES DURING CONSTRUCTION BY KEEPING CLEAR OF CONSTRUCTION DEBRIS AND CLEARLY MARKING THE PATH OF EGRESS TRAVEL.
- ALL MECHANICAL (HVAC), ELECTRICAL, PLUMBING AND FIRE PROTECTION (MEP & FP) DESIGN AND CONSTRUCTION TO BE BY A DESIGN-BUILD DELIVERY METHOD AND ARE SUBSEQUENTLY NOT PART OF THESE DOCUMENTS. IT IS THE MEP CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE GENERAL CONTRACTOR AND WITH THESE DRAWINGS THE FINAL DESIGN, RETROFIT AND INSTALLATION OF THESE SYSTEMS. NOTIFY THE ARCHITECT PRIOR TO MAKING ANY REVISIONS TO THE STRUCTURE OR ARCHITECTURAL FEATURES.
- HVAC CONTRACTOR SHALL SUBMIT PROPER DESIGN DRAWINGS AS NEEDED FOR PLAN APPROVAL AND BUILDING PERMITS.
- WITHIN THIS DOCUMENT "NORTH, SOUTH, EAST, WEST" ARE REFERRED TO AS PROJECT NORTH AND MAY NOT BE TRUE NORTH.
- ALL EXPOSED WOOD AND/OR WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- PROVIDE GFI OUTLETS NEAR WATER SOURCES AND AS REQUIRED BY IEC.
- PROVIDE FIRE BLOCKING THROUGHOUT BUILDING PER IBC 717.2.
- SUBMIT ALL FIXTURES, APPLIANCES, MATERIALS, SHOP DRAWINGS, PLAN MODIFICATIONS TO THE ARCHITECT FOR REVIEW AND APPROVAL.

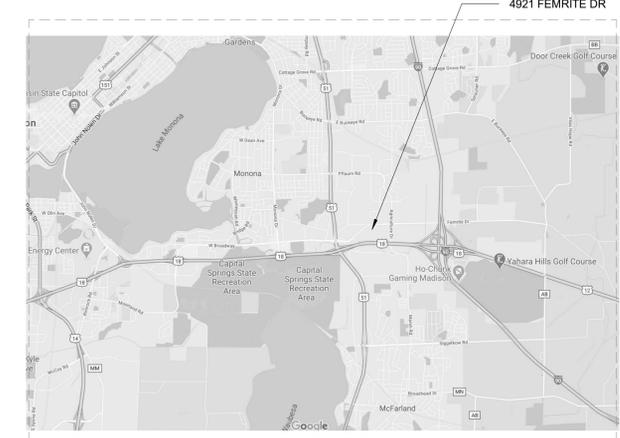
SHEET INDEX

SHEET NUMBER	SHEET NAME	REVISIONS	
		MARK	DATE
GENERAL			
G001	COVER SHEET		
CIVIL			
C201	SITE PLAN		
C301	GRADING PLAN		
LANDSCAPE			
L101	LANDSCAPING PLAN		
ARCHITECTURAL			
A101	OVERALL FLOOR AND ROOF PLANS		
A101A	FLOOR PLAN AREA A & D (REV A)		
A101B	FLOOR PLAN AREA B & C (REV B)		
A201	EXTERIOR ELEVATIONS		
A202	EXTERIOR ELEVATIONS		
A901	BUILDING 3D		
ELECTRICAL			
ES101	SITE LIGHTING PLAN		
Z0	DEPTH CUEING EXAMPLES		

ALTERNATE BIDS

#	SHEET NUMBER	DESCRIPTION
1	A103	ABC
3	A101	GHI
3	A102	GHI
4	A101	JKL
4	A102	JKL
5	A103	MNO

PROJECT LOCATION



BUILDING LOCATION



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11/25/2020	UDC REVIEW
12/09/2020	UDC REVISED

PROJ. #: 20001-01

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ARCHITECTURE 2020

COVER SHEET

G001

PRELIMINARY

PROJECT CONTACTS:

OWNER:
WISCONSIN DATA PARTNERS LLC
4916 E BROADWAY
MADISON, WI 53716

ARCHITECT:
SKETCHWORKS ARCHITECTURE, LLC
7780 ELMWOOD AVE., STE 208
MIDDLETON, WI 53562

GENERAL CONTRACTOR:
NEWCOMB CONSTRUCTION INC
999 FOURIER DR STE 102
MADISON, WI 53717

CIVIL ENGINEER:
WYSER ENGINEERING
312 EAST MAIN ST
MOUNT HOREB, WI 53572

LANDSCAPE ARCHITECT:
BRUCE COMPANY
2830 PARMENTER ST
MIDDLETON, WI 53562

CONTACT:
TYLER MARKS (OWNER)
866-432-1711

CONTACT:
STEVE SHULFER (ARCHITECT)
KIRK BIODROWSKI (PM)
608-836-7570

CONTACT:
BRET NEWCOMB (OWNER)
608-833-5220

CONTACT:
WADE WYSE (OWNER)
608-437-1980

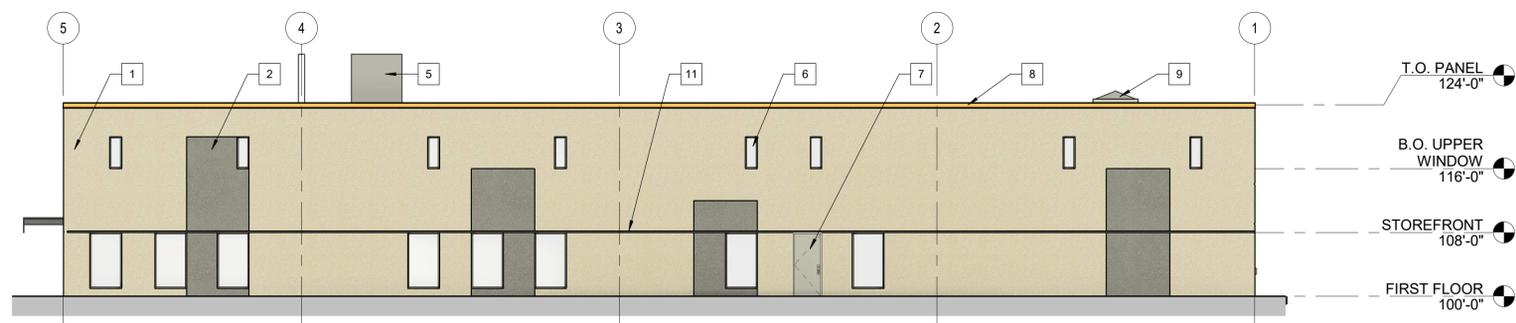
CONTACT:
RICH STROHMENGER (CONTACT)
608-410-2284

EXTERIOR MATERIAL SCHEDULE

#	DESCRIPTION	MANUFACTURE R	TYPE/STYLE	COLOR	HEIGHT	WIDTH	COMMENTS
1	CONCRETE TILT-UP SANDBLASTED	NA	SANDBLASTED	WHITE			
2	RECESSED BOARD FORMED CONCRETE PAINTED	NA	BOARD FORMED	GREY			PAINT TO MATCH PAC CLAD CHARCOAL
3	RECESSED BOARD FORMED CONCRETE SANDBLASTED	NA	SANDBLASTED	WHITE			
4	CONCRETE TILT-UP PAINTED	NA	PAINTED	GREY			PAINT TO MATCH PAC CLAD CHARCOAL
5	METAL PANEL	PAC CLAD	BOX RIB 1	GREY			CHARCOAL
6	ALUMINUM STOREFRONT WINDOWS/ DOORS	TBD	LOW-E	CLEAR			CLEAR ANNOXIDIZED FRAME
7	INSULATED METAL DOOR	TBD	INSULATED	GREY			PAINT TO MATCH PAC CLAD CHARCOAL
8	METAL ROOF EDGE	PAC CLAD		ORANGE			R=252, G=175, B=46
9	SKYLIGHT	FIRESTONE	SUNWAVE	FACTORY			INSULATED 5060
10	INSULATED OVERHEAD SECTIONAL DOOR	TBD	INSULATED	GREY			PAINT TO MATCH PAC CLAD CHARCOAL
11	PANEL JOINT	NA		VARIES			
12	METAL CANOPY	CUSTOM		ORANGE			R=252, G=175, B=46

D

C



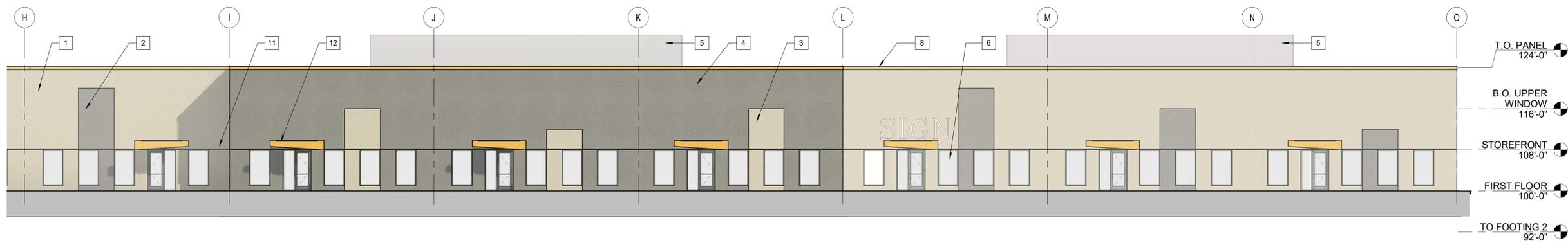
C1 NORTH ELEVATION
3/32" = 1'-0"

B



B1 NORTHWEST ELEVATION
3/32" = 1'-0"

A



A1 NORTHEAST ELEVATION
3/32" = 1'-0"

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EXTERIOR ELEVATIONS

A201

PRELIMINARY

EXTERIOR MATERIAL SCHEDULE

Sketch works

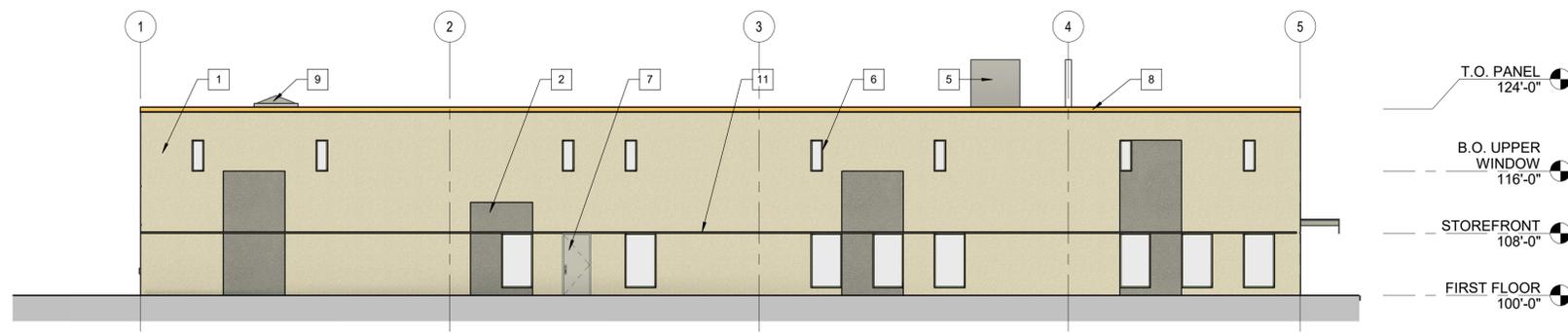
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D

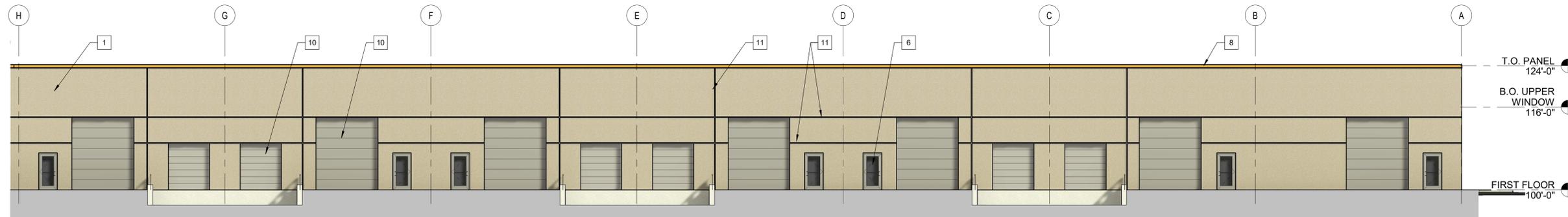
C

B

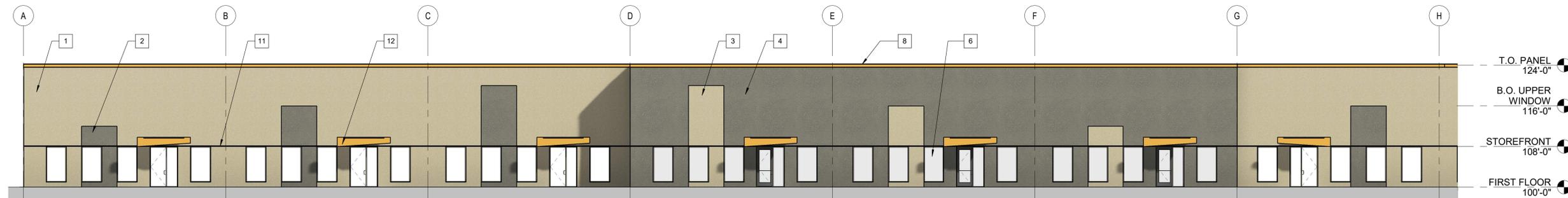
A



C1 SOUTH ELEVATION
3/32" = 1'-0"



B1 SOUTHWEST ELEVATION
3/32" = 1'-0"



A1 SOUTHEAST ELEVATION
3/32" = 1'-0"

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EXTERIOR ELEVATIONS

A202

PRELIMINARY



GREY PAINTED TILT-UP CONCRETE WALL (SHADE OF GREY MAY VARY)



SAND BLASTED TILT-UP CONCRETE WALL

12/10/20

FGC FLEX BUILDING MATERIALS



7780 Elmwood Ave., Suite 208 • Middleton, WI 53562 • 608.836.7570

D



SOUTHEAST VIEW



SOUTH VIEW



NORTHEAST VIEW

C



ENTRY VIEW



NORTHEAST CORNER



NORTH (FEMRITE)

B



MAIN FRONTAGE VIEW



LOADING DOCK VIEW

A

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BUILDING 3D

A901

PRELIMINARY