



CENTRO

Cypress Way
Madison, WI 53713



WYSER
ENGINEERING

Findorff

LAND USE APPLICATION

SEPTEMBER 09, 2022

PROJECT NUMBER: 21259-00

ABBREVIATIONS

A AC air conditioning AE Architect/Engineer ACT acoustical ceiling tile ADDL additional ADDM addendum ADJ adjustable AFC above finished counter AFF above finished floor AFG above finished grade AFS above finished slab ALT alternate ALUM aluminum APRD approved APT apartment AP acoustical panel ASC above suspended ceiling	C CLR clear CM construction management CMU construction manager concrete masonry unit CO clearout COL column CONC concrete CORR corridor CPT carpet CSWK casework CTR ceramic tile CW cast water ceramic tile base	F F female F filter FA fire alarm FAB fire applied fabric FC file cabinet FD floor drain FE fire extinguisher FEC fire extinguisher cabinet FHC fire hose cabinet FIN finish FLR floor FM factory mutual floor mat FO finished opening FP fire protection FRP fiberglass FRP fiberglass reinforced plastic FRT fire retardant treated foam FTO	I ID inside diameter INSUL insulation INT interior J JS janitor sink L LAM laminate LAV lavatory LF linear foot LL live load M MAX maximum MC mechanical MECH mechanical MFR manufacturer MICRO microwave MIN minimum MIN minute MISC miscellaneous MJ movement joint MO masonry opening MS mop sink MTL metal N N north NA not applicable NIC not in contract number NO nominal NS no scale NTS not to scale O OA overall OC on center OD outside diameter OGL single OFCI owner furnished, contractor installed owner furnished, contractor installed OFVI owner furnished, vendor installed overhead door OH DR hot water OPH opposite hand OPNG opening	P PJ panel joint PLAM glass laminate PLYWD plywood PML panel PREFAB prefabricated PREFIN prefinished PSI pounds per square inch PT paint PTN partition Q QT quarry tile QTB quarry tile base QTY quantity QTZ quartz R RB resilient base RCP reflected ceiling plan RD roof drain REBAR reinforcing steel bars RESB mosaic REF reference REF resilient flooring RF resilient flooring REV revision RFS room finish schedule RO rough opening S S south SAN sanitary SC sealed concrete SC solid core NS no scale SCHED scheduled SF square foot SIM sim SLI scribe SNGL single SS solid surface SST stainless steel ST stair STC sound transmission coefficient steel STN stone STNB stone base STRUCT structure	T TBM time & materials TEMP temperature TEMP temporary TER terrazzo TERR terrazzo base TFF top of finished floor TKDD top of deck TO top of beam TOC top of concrete TOU top of joist TOPO topography TOS top of slab TOS top of steel TRANS transition TYP typical U UNO unless noted otherwise V VERT vertical VENDOR vendor furnished, contractor installed vendor furnished, owner installed VFCI vendor furnished, contractor installed VFN vendor furnished, vendor installed VNR veneer VRF verify in field W W west WJ with W/O without WD water closet WC wall covering WD wood WDB wood base WVJ wood veneer WH water heater WP wall protection WP work point WT window treatment X XPS extruded polystyrene board
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PROJECT TEAM

OWNER CENTRO HISPANO

810 W Badger Rd
Madison, WI 53713
PHONE: (608) 255-3018
www.micentro.org

PROJECT CONTACT: Karen Menendez Collier
DIRECT PHONE: Karen Menendez Collier
EMAIL ADDRESS: karen@micentro.org

GENERAL CONTRACTOR FINDORFF

300 South Bedford Street
Madison, WI 53703
PHONE: (608) 257-5321
www.findorff.com

PROJECT CONTACT: Eric Plautz, PM
DIRECT PHONE: (608) 442-7370
EMAIL ADDRESS: eplautz@findorff.com

ARCHITECTURAL EPPSTEIN UHEN ARCHITECTS, INC.

333 East Chicago Street
Milwaukee, WI 53202
PHONE: (414) 271-5350
www.eua.com

PROJECT CONTACT: Colleen O'Meara, PM
DIRECT PHONE: (608) 442-6687
EMAIL ADDRESS: colleeno@eua.com

CIVIL WYSER ENGINEERING

300 E Front St
Mt Horeb, WI 53572
PHONE: (608) 431-1980
www.wyserengineering.com

PROJECT CONTACT: Wade Wyse, Principal - PM
DIRECT PHONE: Wade Wyse
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LANDSCAPE SAIKI DESIGN

1110 South Park Street
Madison, WI 53715
PHONE: (608) 251-3600
www.saiki.design

PROJECT CONTACT: Ken Saiki, PM
DIRECT PHONE: Ken Saiki
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STRUCTURAL EPPSTEIN UHEN ARCHITECTS, INC.

1401 Peachtree Street NE, Suite 300
Atlanta, GA 30309
PHONE: (404) 596-8006
www.eua.com

PROJECT CONTACT: First and Last Name, Role or Title
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EMAIL ADDRESS: xxx@xxx.com

PROJECT MANAGEMENT URBAN ASSETS

807 East Johnson Street
Madison, WI 53703
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PROJECT CONTACT: Melissa Huggins, Principal - PM
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SHEET INDEX

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milwaukee | madison | green bay | deerfield | atlanta

SYMBOL LEGEND

CALLOUTS

A1 TITLE
VIEW NUMBER
VIEW NAME
VIEW SCALE
1/2" = 1'-0"

Level
ELEVATION DATUM
0'-0"

SIM BUILDING SECTIONS
A000

OTHER SECTIONS
A2 A0 A4 A6 A8 A1000

ELEVATIONS
A0 A2 A4 A6 A8 A1000

DETAILS
A000 A1000

TAGS

XXX XX PARTITION TYPE
000 DOOR
000-00 KEYNOTE
000 FURNITURE
000 EQUIPMENT
XX 000 WINDOW
000 CASEWORK
W' x H' x D' FLOOR
BASE
REMARKS
TYPE
HEIGHT
NAME
0000 ROOM

GRAPHICS

NORTH ARROW
PLAN TRUE

DIMENSION REFERENCES
EQ EQ EQ
TO OBJECT CENTER TO OBJECT FACE OR OTHER GEOMETRY
9'-0" 4'-0"

CONSTRUCTION PHASES
EXISTING DEMOLITION NEW

GRID AND GRID IDENTIFICATION
NEW EXISTING
B B
A A
1 2 1 2

VICINITY MAP



PROJECT INFORMATION

CENTRO

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ISSUANCE AND REVISIONS

DATE	DESCRIPTION
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KEY PLAN

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PROJECT MANAGER	CO
PROJECT NUMBER	21259-00

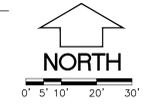
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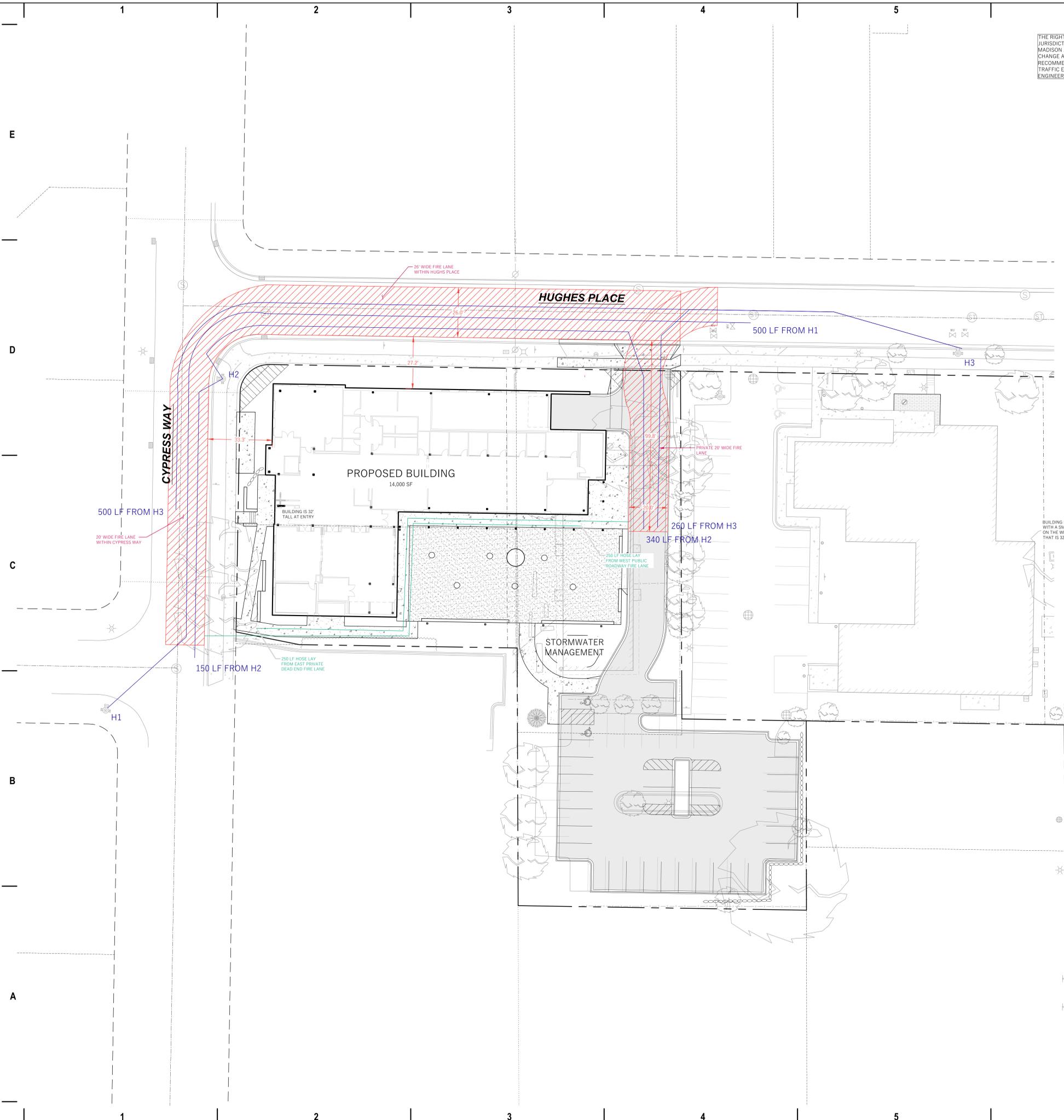
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LEGEND (PROPOSED)

- PROPOSED PROPERTY BOUNDARY
- EASEMENT
- FIRE LANE
- HOSE LENGTH FROM FIRE LANE
- HOSE LENGTH FROM HYDRANT



PROJECT INFORMATION
CENTRO



City of Madison Fire Department
314 W Dayton Street, Madison, WI 53703-2506
Phone: 608-266-4420 • Fax: 608-267-1510 • E-mail: fire@cityofmadison.com

Project Address: 837 HUGHES PLACE
Contact Name & Phone #: COLLEEN O'MEARA - 608-444-6687

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 11 or 13R automatic fire sprinkler system?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall?			
If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?			
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the fire lane a minimum unobstructed width of at least 20-feet?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is the fire lane a minimum unobstructed width with a vertical clearance of at least 13½-feet?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Is the minimum inside turning radius of the fire lane at least 28-feet?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Is the grade of the fire lane not more than a slope of 8%?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
e) Is the fire lane posted as fire lane? (Provide detail of signage.)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
f) Is a rollable curb used as part of the fire lane? (Provide detail of curb.)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes:	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the gate a minimum of 20-feet clear opening?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4. Is the fire lane dead-ended with a length greater than 150-feet?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, does the area for turning around fire apparatus comply with IFC 1309.7?			
<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A	
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, see IFC 3206.6 for further requirements.			
6. Is any part of the building greater than 30-feet above the grade plane?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, answer the following questions:			
a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is the rear edge of the aerial apparatus fire lane between 15' and 30' from the building?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Are there any trees or canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
f) Is the space between the aerial lane and the building free of trees exceeding 20' in height?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.			
a) Is the fire lane at least 20' wide for at least 20-feet on each side of the hydrants?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is there at least 40' between a hydrant and the building?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Are the hydrants setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts, boards, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A

Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.083 and IFC 2015 Edition Chapter 5 and Appendix D, please see the codes for further information.

Revised 10/2016

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
7/14/2022	SCHEMATIC DESIGN
9/09/2022	LAND USE

KEY PLAN

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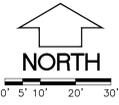
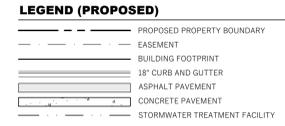
FIRE APPARATUS
PLAN

C000



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- GENERAL NOTES**
- UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON THE WEEK OF MAY 09, 2022. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
 - THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
 - CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
 - WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
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 - ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLETS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.



PROJECT INFORMATION
CENTRO

SITE INFORMATION BLOCK:
 SITE ADDRESS: CYPRESS WAY AND HUGHES PLACE
 SITE ACREAGE: 51,085 SQ. FT. (1.17 AC)
 USE OF PROPERTY: COMMUNITY CENTER
 ZONING: SUBURBAN RESIDENTIAL - VARIED DISTRICT 1 (SR-V1) TO COMMERCIAL CORRIDOR - TRANSITIONAL DISTRICT (CC-T)

SETBACKS:
 FRONT YARD: 5 FEET
 REAR YARD: 20 FEET / 6 FEET
 SIDE YARD: 5 FEET

NUMBER OF EMPLOYEES: 40
 NUMBER OF CLASSROOMS: 3
 OFFICE SPACE: 16,111 SQ. FT.

TOTAL NUMBER OF PARKING STALLS: 53
 EXTERIOR: 32
 INTERIOR: 21 (1 EV STALL)
 NUMBER OF STALLS DESIGNATED ACCESSIBLE: 3
 EXTERIOR: 2
 INTERIOR: 1

TOTAL NUMBER OF BIKE STALLS: 24
 EXTERIOR: 16
 INTERIOR: 8

EXISTING IMPERVIOUS SURFACE AREA (AS OF 2001): 29,700 SQ. FT.
 ROOFTOP: 10,931 SQ. FT.
 PAVED: 18,769 SQ. FT.

NEW IMPERVIOUS SURFACE AREA: 33,440 SQ. FT. (38,665 SQ. FT. INCLUDING POROUS PAVERS)
 ROOFTOP: 14,000 SQ. FT.
 PAVED SIDEWALK: 3,940 SQ. FT.
 PAVED ROADWAY: 15,500 SQ. FT.
 POROUS PAVERS: 5,225 SQ. FT.

DISTURBANCE LIMITS: 51,000 SQ. FT.
 IMPERVIOUS SURFACE AREA WITHIN DISTURBANCE LIMITS: 33,440 SQ. FT. (65.56%)
 PERCENT IMPERVIOUS WITHIN DISTURBANCE LIMITS: 65.56% (75.7%)
 MAXIMUM PERCENT IMPERVIOUS: 85%

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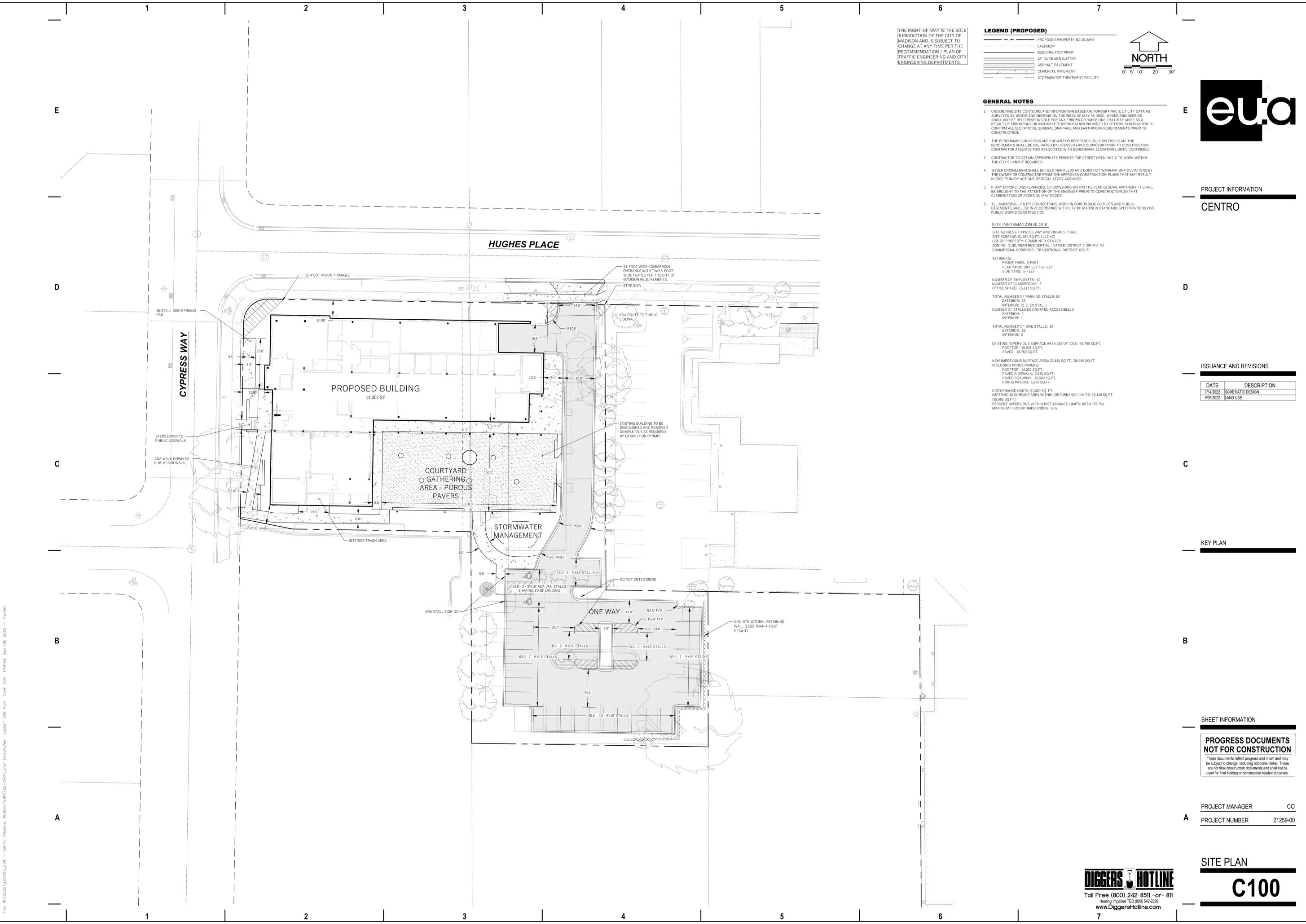
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SITE PLAN
C100

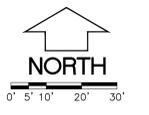


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NOTE:
 SPOT GRADES ARE AS FOLLOWS:
 FFE - FINISHED FLOOR GRADE
 EP - EDGE OF ASPHALT PAVEMENT
 EC - EDGE OF CONCRETE PAVEMENT
 BC - BACK OF CURB
 SW - EDGE OF SIDEWALK
 FG - FINISH GRADE
 TW - FINISH GRADE ADJACENT TOP OF WALL
 BW - FINISH GRADE ADJACENT BOTTOM OF WALL (NOT FOOTING)

- LEGEND (PROPOSED)**
- PROPERTY BOUNDARY
 - EASEMENT
 - BUILDING FOOTPRINT
 - 18" CURB AND GUTTER
 - ASPHALT PAVEMENT
 - CONCRETE PAVEMENT
 - PROPOSED MAJOR CONTOUR
 - 1100' --- PROPOSED MINOR CONTOUR
 - STM --- PROPOSED STORM SEWER
 - SILT FENCE
 - INLET PROTECTION
 - DITCH CHECK
 - SPOT GRADE
 - DRAINAGE GRADE BREAK
 - DRAINAGE ARROW



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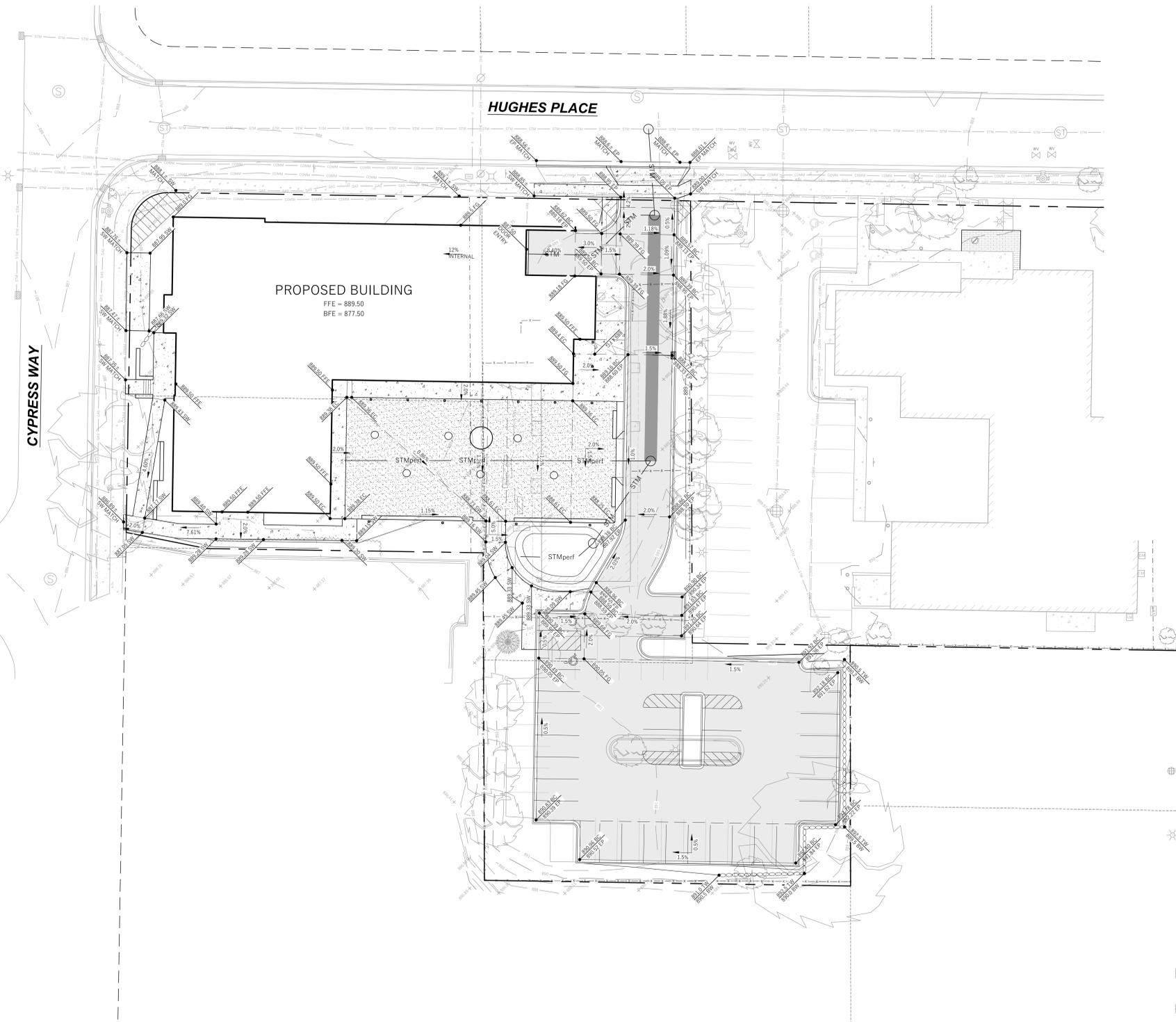
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CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS

1. POST WORK CERTIFICATE OF PERMIT COVERAGE AND MUNICIPAL EROSION CONTROL PERMITS ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED. THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH PERMITS.
2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
3. ENGINEER / CITY OF MADISON / WDMR HAS THE RIGHT TO REQUIRE CONTRACTOR TO IMPLEMENT ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY. CONTRACTOR MUST NOTIFY THE CITY OF MADISON BUILDING INSPECTOR TO COORDINATE A SITE MEETING A MINIMUM OF TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBANCE ACTIVITIES.
4. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDMR AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
5. THE SITE CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
6. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
7. WHEN POSSIBLE, PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
8. REFER TO THE WDMR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT http://dmr.wi.gov/topic/stormwater/standards/const_standards.html
9. INSTALL PERMETER EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCES PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDMR TECHNICAL STANDARD STONE TRACKING PAD AND THE WASHING #1007 FOR ROCK CONSTRUCTION ENTRANCES.
10. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDMR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1099 AND SAME COUNTY REQUIREMENTS FOR FRAMED INLET PROTECTION.
11. CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.
12. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL. PER WDMR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1087.
13. PERMITTING OF GROUNDWATER DOWNGRADE IS THE RESPONSIBILITY OF THE CONTRACTOR. GROUNDWATER DOWNGRADE IS SUBJECT TO A DNR WASTEWATER DISCHARGE PERMIT AND A DNR HIGH CAPACITY WELL APPROVAL IF CUMULATIVE PUMP CAPACITY IS 70 GPM OR MORE.
14. PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DOWNGRADE. PERFORM DOWNGRADE OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDMR TECHNICAL STANDARD DE WATERING #1095.
15. COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS OR WET PONDS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE. REFER TO WDMR CONSTRUCTION AND MAINTAIN THE SEDIMENT BASIN PER WDMR TECHNICAL STANDARD SEDIMENT BASIN #1094 AND SEDIMENT TRAP # 1082.
16. CONSTRUCT AND PROTECT THE BIOMITIGATION BASIN AND VEGETATION FROM RUNOFF AND SEDIMENT DURING CONSTRUCTION. REFERENCE THE WDMR TECHNICAL STANDARD BIOMITIGATION FOR INFILTRATION # 1004.
17. INSTALL AND MAINTAIN SILT FENCING PER WDMR TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
18. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDMR TECHNICAL STANDARD DITCH CHECKS #1062.
19. INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDMR TECHNICAL STANDARD INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE PROTECTION PRODUCTS # 1071.
20. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
21. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TADPOLES, AND A PERENNIAL SEED MIX WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH "COLD WEATHER": STABILIZE WITH POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
22. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
23. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE AUTHORITIES WITH JURISDICTION. SEPARATE SWEEPED MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
24. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDMR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES # 1068.
25. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
26. COORDINATE WITH THE AUTHORITIES WITH JURISDICTION TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HW BALES, FILTER SOCKS, OR COMPACTED CARBON BERMS).
27. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS CLASS I TYPE B EROSION CONTROL MATTING. INSTALL AND MAINTAIN PER WDMR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052.
28. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS II TYPE B EROSION CONTROL MATTING UNLESS OTHERWISE SPECIFIED ON THE PLAN. INSTALL AND MAINTAIN PER WDMR TECHNICAL STANDARD CHANNEL EROSION MAT #1053.
29. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 3 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
30. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WDMR REMEDIATION AND WASTE MANAGEMENT REQUIREMENTS FOR HANDLING AND DISPOSING OF CONTAMINATED MATERIALS. SITE-SPECIFIC INFORMATION FOR AREAS WITH KNOWN OR SUSPECTED SOIL AND/OR GROUNDWATER CONTAMINATION CAN BE FOUND ON WDMR'S BUREAU OF REMEDIATION AND REDEVELOPMENT TRACKING SYSTEM (BRTS) PUBLIC DATA PAGE AT: <https://dmr.wi.gov/brrts>
31. INSTALL AND MAINTAIN A CONCRETE WASHOUT BASIN PER EPA 833-F-11-006: <https://www3.epa.gov/epdcs/pubs/concretestwashout.pdf>. REQUIRE USE BY ALL CONCRETE CONTRACTORS. LIQUID MAY BE REUSED IN CONCRETE MIXING, EVAPORATED, OR DISPOSED OF AS WASTEWATER.

GRADING, SEEDING & RESTORATION NOTES

1. ALL GRADES SHOWN ARE FINAL FINISHED SURFACE GRADES.
2. AREAS TO BE SEEDED SHALL HAVE A MINIMUM 6 INCHES TOPSOIL UNLESS OTHERWISE NOTED.
3. AREAS NOT RESTORED WITH EROSION MATTING OR OTHER STABILIZATION MEASURES SHALL BE STABILIZED WITH MULCH.
4. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
5. MULCH SHALL BE WEED-FREE STRAW AND SHALL BE INSTALLED AT THE RATE OF 2 TONS PER ACRE PER SECTION 627 OF "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION" (WISDOT 2014).
6. PERMANENT SEEDING SHALL NOT OCCUR BETWEEN SEPTEMBER 15TH AND APRIL 15TH. ALTERNATE SEEDING/PLANTING METHODS AND/OR EROSION PROTECTION MAY BE NECESSARY FOR SEEDING/PLANTING THAT OCCURS DURING THAT TIME. COORDINATE WITH THE OWNER AS NECESSARY.
7. TEMPORARY STABILIZATION SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING OPTIONS:
 - a. TEMPORARY SEEDING CONSISTING OF ANNUAL RYE GRASS APPLIED AT A RATE OF 3.5 LBS PER 1000 SQUARE FEET.
 - b. WISDOT PAL CLASS I TYPE B URBAN EROSION CONTROL MAT.



PROJECT INFORMATION
CENTRO

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
7/14/2022	SCHEMATIC DESIGN
9/09/2022	LAND USE

KEY PLAN

SHEET INFORMATION

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION
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 PROJECT NUMBER 21259-00

GRADING PLAN

C200

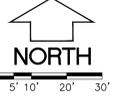


THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION / PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

LEGEND (PROPOSED)

- PROPOSED PROPERTY BOUNDARY
- EASEMENT
- BUILDING FOOTPRINT
- 18" CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- WAT --- PROPOSED WATER MAIN
- SAN --- PROPOSED SANITARY SEWER
- STM --- PROPOSED STORM SEWER
- GAS --- PROPOSED GAS SERVICE (DESIGN BY OTHERS)
- E --- PROPOSED ELECTRIC SERVICE (DESIGN BY OTHERS)
- STORMWATER TREATMENT FACILITY
- DRAINAGE GRADE BREAK
- DRAINAGE ARROW

1.0" = 1.0'



GENERAL NOTES

- UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON THE WEEK OF MAY 06, 2022. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EXISTING UTILITY REQUIREMENTS PRIOR TO CONSTRUCTION.
- THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
- CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
- WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLETS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

UTILITY NOTES

- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS, AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WISDPS, AND WDNR.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITES CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED. IF REQUIRED, ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTORS EXPENSE. NO BLASTING IS ALLOWED WITHIN 20 FEET OF EXISTING UTILITIES.
- ALL PRIVATE INTERCEPTOR WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 6" MINIMUM BURY. PROVIDE INSULATION ABOVE PIPES WITH LESS THAN 5' OF GROUND COVER.
- GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS UNLESS OTHERWISE SPECIFIED BY A GEOTECHNICAL ENGINEER. ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS. ALL PAVEMENT PATCHING SHALL COMPLY WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ADDITIONAL PAVEMENT MILLING AND OVERLAY MAY BE REQUIRED BY PERMIT.
- CONTRACTOR SHALL NOTIFY THE MUNICIPAL PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
- ALL NON-METALLIC BUILDING SEWER AND WATER SERVICES MUST BE ACCOMPANIED BY MEANS OF LOCATING UNDERGROUND PIPE, TRACER WIRE VALVE BOXES SHALL BE INSTALLED ON ALL LATERALS AND AS INDICATED ON THESE PLANS.
- ALL EXTERIOR CLEANOUTS SHALL BE PROVIDED WITH A FROST SLEEVE IN ACCORDANCE WITH SPS 382.34(5)(a) AND SPS 384.3(2)(c).
- ALL PRIVATE PLUMBING MATERIALS SHALL CONFORM TO SPS 384.30.
- ALL PRIVATE PIPE JOINTS SHALL BE INSTALLED PER SPS 384.40.
- ALL PRIVATE WATER PIPE, INCLUDING DEPTH AND SERRATION REQUIREMENTS, SHALL BE IN ACCORDANCE WITH SPS 382.40(8).
- THE CONTRACTOR SHALL ALLOW 10 WORKING DAYS FOR THE CONSTRUCTION OF GAS MAINS WHEN SCHEDULING THE WORK AND SHALL NOT RESTRICT ACCESS TO THE GAS MAIN CONTRACTOR OR OTHER UTILITY COMPANIES.
- INLET CASTINGS SHALL BE SET TO GRADE PRIOR TO AND SEPARATE FROM THE POURING OF THE CONCRETE CURB AND GUTTER. IS IS REQUIRED THAT THREE FEET OF CONCRETE CURB AND GUTTER ON EACH SIDE OF THE INLET SHALL BE POURED BY HAND, NOT THROUGH THE USE OF A CURB MACHINE. THE INLET CASTINGS SHALL BE SET TO GRADE ON A BED OF MORTAR WHICH SHALL BE A MINIMUM OF TWO INCHES THICK. THE INLET SHALL BE PLACED ON THE MORTAR BED AND SHALL BE ADJUSTED TO GRADE BY APPLYING DIRECT PRESSURE TO THE CASTING. ONCE THE CASTING ADJUSTMENT IS COMPLETE, THREE FEET OF CURB AND GUTTER ON EACH SIDE OF THE CASTING SHALL BE POURED BY HAND.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL UTILITY CONNECTIONS WITH THE BUILDING PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS SO AS TO BE IN CONFORMANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE, AND DNR ADMINISTRATIVE RULE NR215 AT ALL TIMES.

PROJECT INFORMATION

CENTRO

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
7/14/2022	SCHEMATIC DESIGN
9/09/2022	LAND USE

KEY PLAN

SHEET INFORMATION

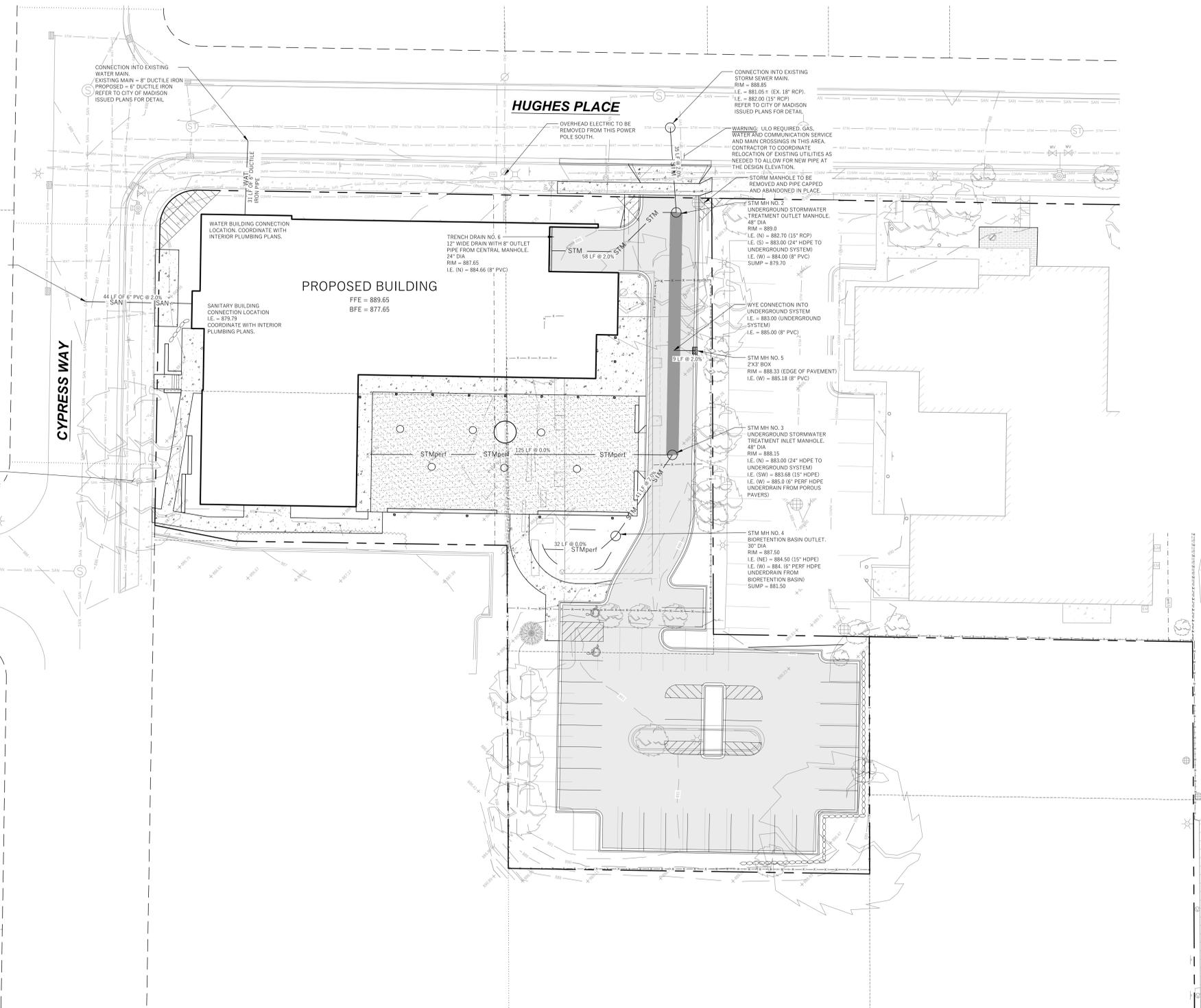
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PROJECT NUMBER 21259-00

UTILITY PLAN

C300



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ISSUANCE AND REVISIONS

DATE	DESCRIPTION
07/14/2022	SCHEMATIC DESIGN
09/08/2022	LAND USE

KEY PLAN

SHEET INFORMATION

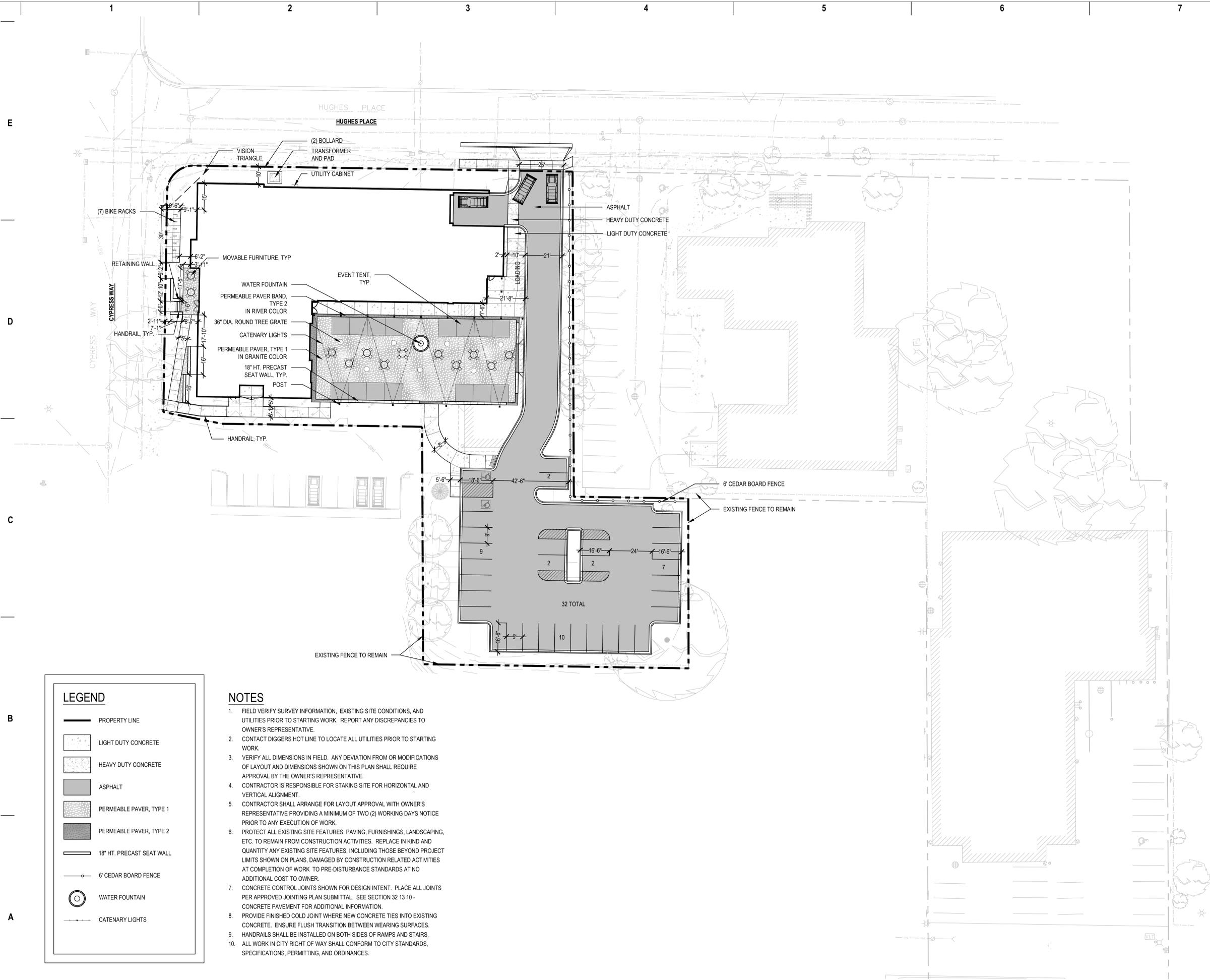
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PROJECT NUMBER 21259-00

SITE LAYOUT
PLAN

L100



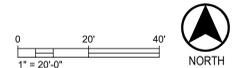
LEGEND

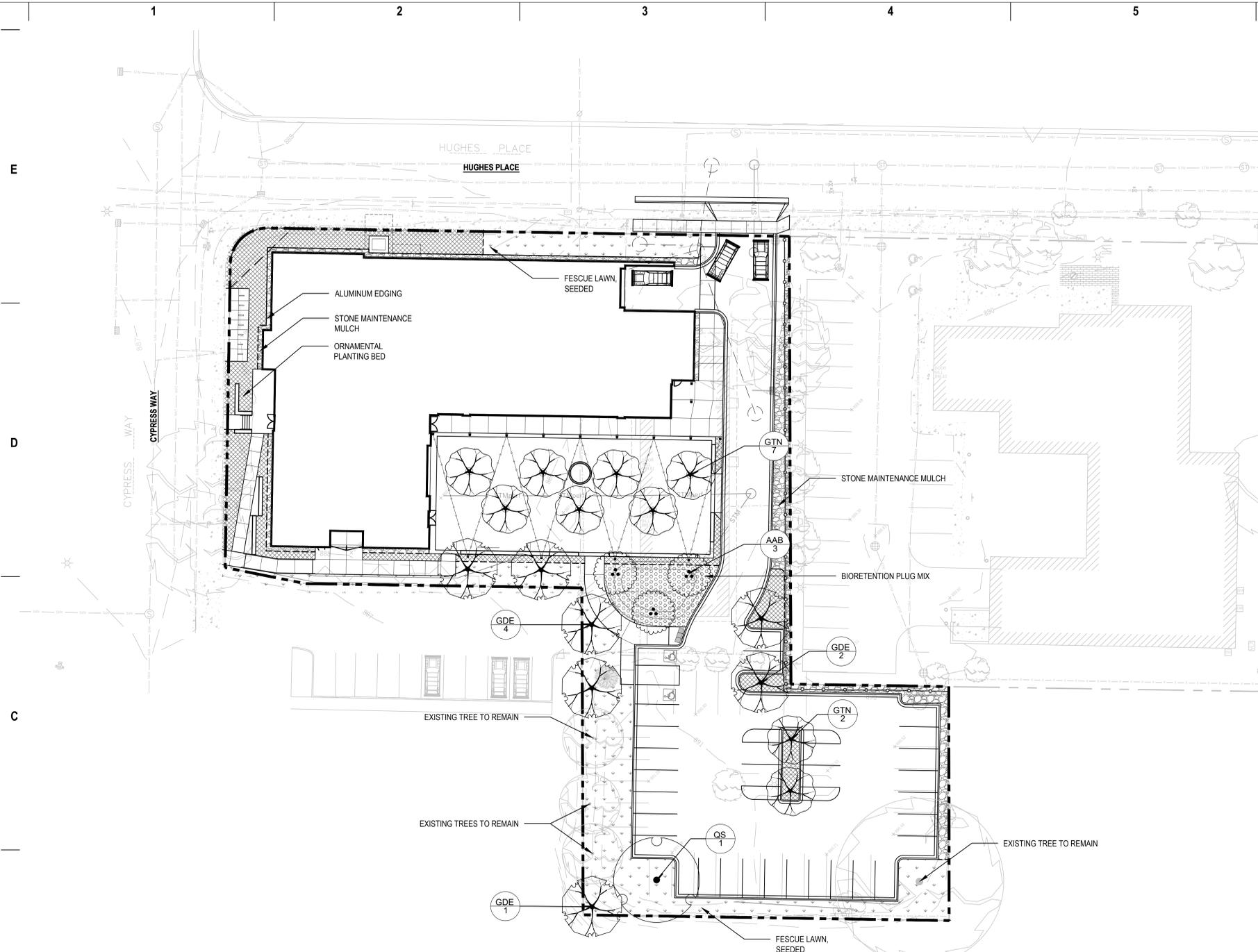
- PROPERTY LINE
- LIGHT DUTY CONCRETE
- HEAVY DUTY CONCRETE
- ASPHALT
- PERMEABLE PAVER, TYPE 1
- PERMEABLE PAVER, TYPE 2
- 18" HT. PRECAST SEAT WALL
- 6' CEDAR BOARD FENCE
- WATER FOUNTAIN
- CATENARY LIGHTS

NOTES

1. FIELD VERIFY SURVEY INFORMATION, EXISTING SITE CONDITIONS, AND UTILITIES PRIOR TO STARTING WORK. REPORT ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE.
2. CONTACT DIGGERS HOT LINE TO LOCATE ALL UTILITIES PRIOR TO STARTING WORK.
3. VERIFY ALL DIMENSIONS IN FIELD. ANY DEVIATION FROM OR MODIFICATIONS OF LAYOUT AND DIMENSIONS SHOWN ON THIS PLAN SHALL REQUIRE APPROVAL BY THE OWNER'S REPRESENTATIVE.
4. CONTRACTOR IS RESPONSIBLE FOR STAKING SITE FOR HORIZONTAL AND VERTICAL ALIGNMENT.
5. CONTRACTOR SHALL ARRANGE FOR LAYOUT APPROVAL WITH OWNER'S REPRESENTATIVE PROVIDING A MINIMUM OF TWO (2) WORKING DAYS NOTICE PRIOR TO ANY EXECUTION OF WORK.
6. PROTECT ALL EXISTING SITE FEATURES: PAVING, FURNISHINGS, LANDSCAPING, ETC. TO REMAIN FROM CONSTRUCTION ACTIVITIES. REPLACE IN KIND AND QUANTITY ANY EXISTING SITE FEATURES, INCLUDING THOSE BEYOND PROJECT LIMITS SHOWN ON PLANS, DAMAGED BY CONSTRUCTION RELATED ACTIVITIES AT COMPLETION OF WORK TO PRE-DISTURBANCE STANDARDS AT NO ADDITIONAL COST TO OWNER.
7. CONCRETE CONTROL JOINTS SHOWN FOR DESIGN INTENT. PLACE ALL JOINTS PER APPROVED JOINTING PLAN SUBMITTAL. SEE SECTION 32 13 10 - CONCRETE PAVEMENT FOR ADDITIONAL INFORMATION.
8. PROVIDE FINISHED COLD JOINT WHERE NEW CONCRETE TIES INTO EXISTING CONCRETE. ENSURE FLUSH TRANSITION BETWEEN WEARING SURFACES.
9. HANDRAILS SHALL BE INSTALLED ON BOTH SIDES OF RAMPS AND STAIRS.
10. ALL WORK IN CITY RIGHT OF WAY SHALL CONFORM TO CITY STANDARDS, SPECIFICATIONS, PERMITTING, AND ORDINANCES.

1 SITE PLAN
SCALE: 1"=20'-0"





PLANT SCHEDULE

ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	AAB	3	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Serviceberry	B & B	UPRIGHT MULTI-STEM
SHADE TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	GTN	9	Gleditsia triacanthos inermis 'Haven' TM / Northern Acclaim Honey Locust	B & B	2' Cal
	GDE	7	Gymnodiadum dioica 'Espresso' / Espresso Coffeetree	B & B	2' Cal
	QS	1	Quercus x schuettii / Swamp x Bur Oak	B & B	2' Cal

City of Madison, WI Landscape Worksheet

9-Sep-22
CENTRO HISPANO

Developed Lots	SF	5 Landscape Points For Every 300 SF of Developed Area	LANDSCAPE POINTS REQUIRED
Total NEW Developed Area	37,074	37074 x 5 / 300	618

Development Frontage - Cypress Way

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	0	0	0
Ex. Significant Specimen Tree	0	0	0	0
Ornamental Tree	15	0	0	0
Evergreen Tree	15	0	0	0
Shrub, deciduous	3	53	0	159
Shrub, evergreen	4	0	0	0
Ornamental Grass/Perennial	2	293	0	586
Development Frontage Total				745

Development Frontage - Hughes Place

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	0	0	0
Ex. Significant Specimen Tree	0	0	0	0
Ornamental Tree	15	0	0	0
Evergreen Tree	15	0	0	0
Shrub, deciduous	3	19	0	57
Shrub, evergreen	4	0	0	0
Ornamental Grass/Perennial	2	183	0	366
Development Frontage Total				423

Interior Parking Lot

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	7	0	245
Ornamental Tree	15	0	0	0
Upright Evergreen Shrub	10	0	0	0
Shrub, deciduous	3	0	0	0
Shrub, evergreen	4	0	0	0
Ornamental Grass/Perennial	2	153	0	306
Interior Parking Lots Points				551

General Site, Foundation, Screening

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	9	0	315
Ornamental Tree	15	3	0	45
Evergreen Tree	15	0	0	0
Shrub, deciduous	3	0	0	0
Shrub, evergreen	4	0	0	0
Ornamental Grass/Perennial	2	154	0	308
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4	253	0	101
Foundation Plantings Total				668

TOTAL LANDSCAPE POINTS PROVIDED	2387
TOTAL LANDSCAPE POINTS REQUIRED	618

LEGEND

- PROPERTY LINE
- ORNAMENTAL PLANTING BED
- FESCUE LAWN, SEEDED
- STONE MAINTENANCE MULCH
- BIORETENTION PLUG MIX
- ALUMINUM EDGING

NOTES

- FIELD VERIFY SURVEY INFORMATION, EXISTING SITE CONDITIONS, AND UTILITIES PRIOR TO STARTING WORK. REPORT ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE.
- CONTACT DIGGERS HOT LINE TO LOCATE ALL UTILITIES PRIOR TO STARTING WORK.
- PROTECT ALL EXISTING SITE FEATURES; PAVING, FURNISHINGS, LANDSCAPING, ETC. TO REMAIN FROM CONSTRUCTION ACTIVITIES. REPLACE IN KIND AND QUANTITY ANY EXISTING SITE FEATURES, INCLUDING THOSE BEYOND PROJECT LIMITS SHOWN ON PLANS, DAMAGED BY CONSTRUCTION RELATED ACTIVITIES AT COMPLETION OF WORK TO PRE-DISTURBANCE STANDARDS AT NO ADDITIONAL COST TO OWNER.
- SUBMIT TOPSOIL TESTING REQUIREMENTS PER SECTION 32 91 13 - SOIL PREPARATION PRIOR TO PLACEMENT OF SOIL MATERIALS ON SITE.
- ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
- ALL PLANTING BEDS SHALL RECEIVE TWICE SHREDDED HARDWOOD BARK MULCH PER SECTION 32 93 00 - PLANTS.
- CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL - SEE SPECIFICATIONS FOR MORE INFORMATION.
- THOROUGHLY REVIEW ALL SPECIFICATION SECTIONS RELATED TO SOIL PREPARATION, TURF AND GRASSES, AND PLANTS (SECTIONS 32 91 13, 32 92 00, & 32 93 00). THESE SECTIONS PROVIDE ADDITIONAL DETAILED INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.
- APPLY MYCHROIZAL FUNGI TO ALL PLANTINGS PER SECTION 32 93 00 - PLANTS.
- ALL WORK IN CITY RIGHT OF WAY SHALL CONFORM TO CITY STANDARDS, SPECIFICATIONS, PERMITTING, AND ORDINANCES. CONTRACTOR SHALL CONTACT CITY FORESTRY (BRAD HOFMANN, BHOFMANN@CITYOFMADISON.COM - OR - 608-266-4816) AT LEAST ONE WEEK PRIOR TO PLANTING IN THE RIGHT-OF-WAY TO SCHEDULE INSPECTING THE NURSERY STOCK, REVIEW PLANTING SPECIFICATIONS AND INDICATE PLANTING LOCATIONS WITH THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5-FEET FROM THE OUTSIDE EDGE OF THE TREE CANOPY ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5-FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5-FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (BRAD HOFMANN) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST 72-HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.



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PROJECT INFORMATION

CENTRO

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09/09/2022	LAND USE

KEY PLAN

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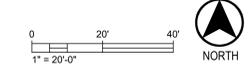
PROJECT MANAGER CO
PROJECT NUMBER 21259-00

OVERALL PLANTING PLAN

L200

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1 OVERALL PLANTING PLAN
SCALE: 1"=20'-0"





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SHEET NOTES - FLOOR PLAN

- BEFORE BEGINNING WORK, VERIFY THE EXISTENCE AND LOCATION OF PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
- ALL DIMENSION STRINGS ARE TO FINISH FACE OF WALL, UNLESS NOTED OTHERWISE.
- INTERIOR WALL TYPES:
LOWER LEVEL AND PARKING RAMP: CONCRETE AND CMU
1ST AND 2ND FLOORS: GYP SO ON METAL STUDS WITH SOUND INSULATION
STAIR AND ELEVATOR SHAFTS: ALL WALLS ARE CONCRETE
- ALL WALLS DIRECTLY BEHIND OR ADJACENT TO PLUMBING FIXTURES SHALL RECEIVE MOISTURE- AND MOLD-RESISTANT GYPSUM BOARD, UNLESS NOTED...
- INTERIOR GLAZING SYSTEM TYPES:
INTERIOR STOREFRONT INDICATED IN ORANGE
INTERIOR ALL GLASS SYSTEMS INDICATED IN BLUE
ALL REMAINING GLAZING SYSTEMS ARE HOLLOW METAL

PROJECT INFORMATION

CENTRO

Cypress Way
Madison, WI 53713

ISSUANCE AND REVISIONS

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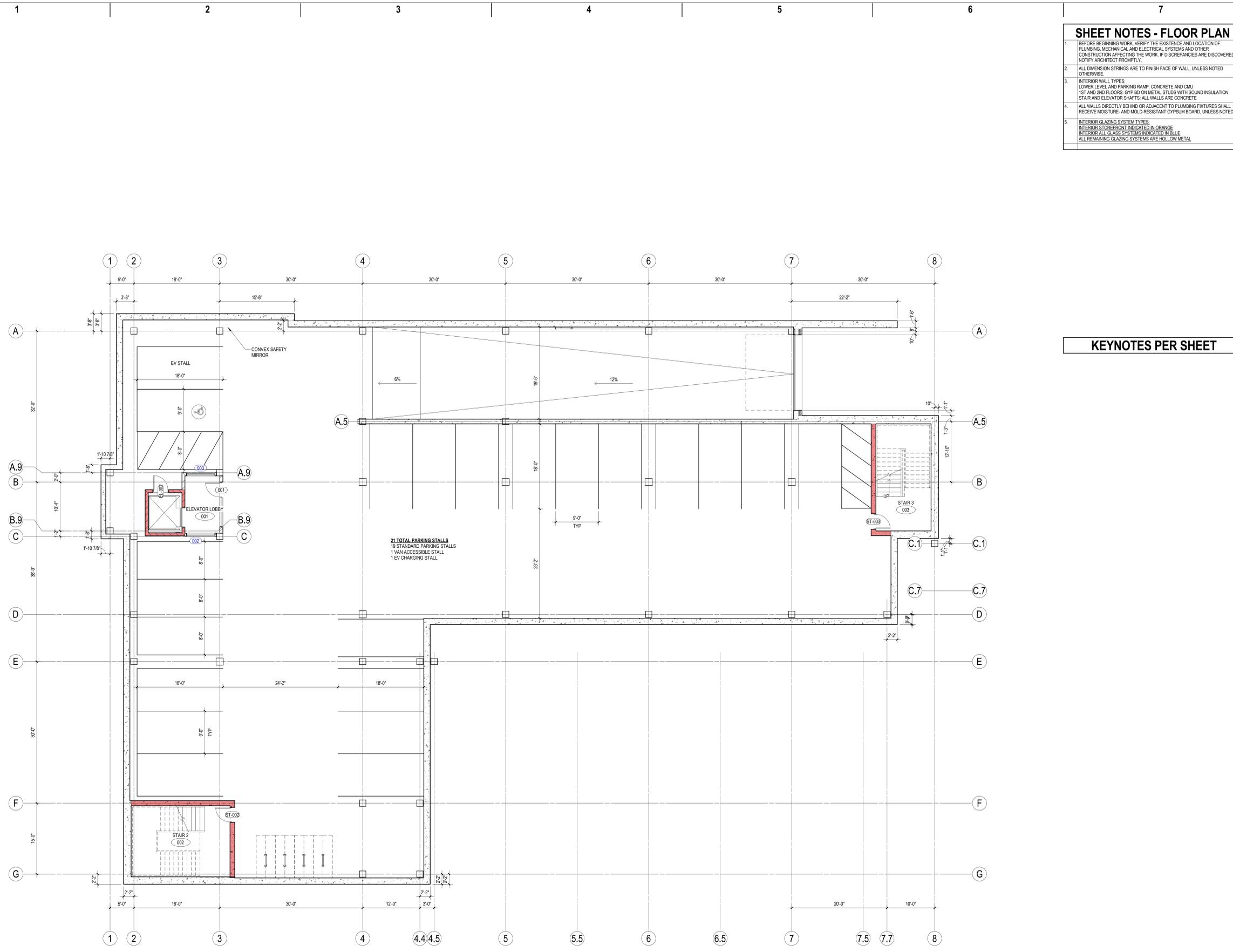
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PROJECT NUMBER 21259-00

LOWER LEVEL

A100

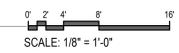
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KEYNOTES PER SHEET

21 TOTAL PARKING STALLS
 13 STANDARD PARKING STALLS
 1 VAN ACCESSIBLE STALL
 1 EV CHARGING STALL

A1 LL PLAN
 1/8" = 1'-0"





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SHEET NOTES - FLOOR PLAN	
1.	BEFORE BEGINNING WORK, VERIFY THE EXISTENCE AND LOCATION OF PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
2.	ALL DIMENSION STRINGS ARE TO FINISH FACE OF WALL, UNLESS NOTED OTHERWISE.
3.	INTERIOR WALL TYPES: LOWER LEVEL AND PARKING RAMP: CONCRETE AND CMU 1ST AND 2ND FLOORS: GYP SO ON METAL STUDS WITH SOUND INSULATION STAIR AND ELEVATOR SHAFTS: ALL WALLS ARE CONCRETE
4.	ALL WALLS DIRECTLY BEHIND OR ADJACENT TO PLUMBING FIXTURES SHALL RECEIVE MOISTURE- AND MOLD-RESISTANT GYPSUM BOARD, UNLESS NOTED...
5.	INTERIOR GLAZING SYSTEM TYPES: INTERIOR STOREFRONT INDICATED IN ORANGE INTERIOR ALL GLASS SYSTEMS INDICATED IN BLUE ALL REMAINING GLAZING SYSTEMS ARE HOLLOW METAL

PROJECT INFORMATION
CENTRO

Cypress Way
Madison, WI 53713

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
7/14/2022	SCHEMATIC DESIGN
09/09/2022	LAND USE

KEYNOTES PER SHEET

KEY PLAN

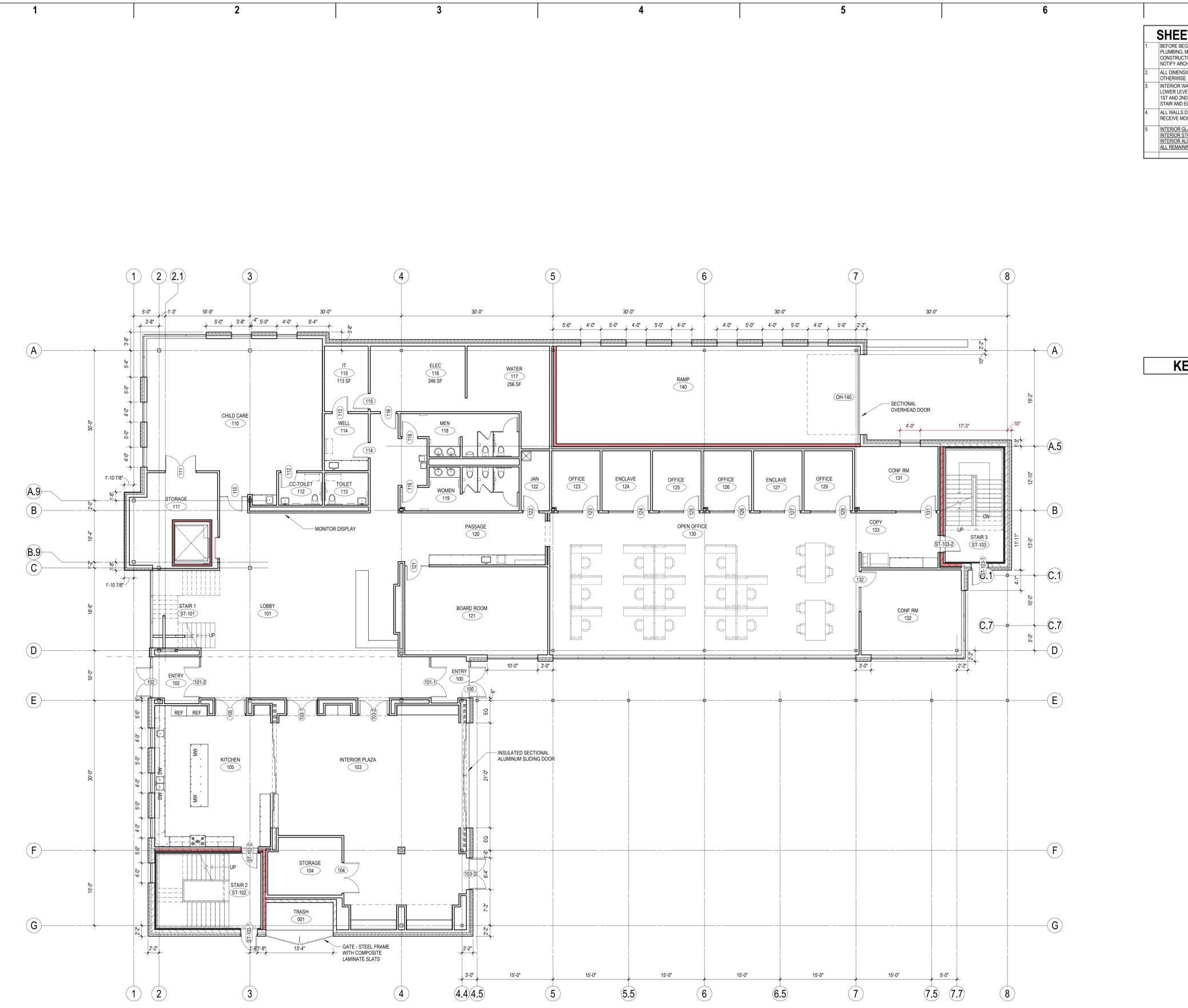
SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

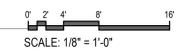
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1ST FLR PLAN
A101
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A1 1ST FLR PLAN
1/8" = 1'-0"





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PROJECT INFORMATION
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KEY PLAN

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PROJECT MANAGER CO

PROJECT NUMBER 21259-00

2ND FLR PLAN

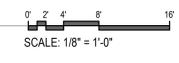
A102

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KEYNOTES PER SHEET

A1 2ND FLR PLAN
1/8" = 1'-0"



1 2 3 4 5 6 7

- ### SHEET NOTES - ROOF PLAN
- ALL CONTRACTORS SHALL COORDINATE AND LOCATE ALL ROOF OPENINGS AND PENETRATIONS WITH STRUCTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS.
 - PROVIDE WATER TIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURERS STANDARD DETAILS AND REQUIREMENT FOR WARRANTY AND CURRENT NRCA STANDARDS.
 - PROVIDE 4'-0" X 4'-0" PANS AT ROOF DRAINS TO ACCOMMODATE FOR SLOPE AT ACTUAL LOCATION OF ROOF DRAINS AT COLUMNS.
 - PROVIDE TAPERED INSULATION SADDLES AND CRICKETS AT 1/4" PER FOOT AT ALL ROOF TOP EQUIPMENT AND PENETRATIONS TO ENSURE POSITIVE DRAINAGE.



E

ROOF PLAN LEGEND

- RD ROOF DRAIN
- OFD OVERFLOW DRAIN
- MEMBRANE ROOF PAVEMENT
- X" INSULATION THICKNESS
- SLOPE DIRECTION OF ROOF & TAPERED INSULATION
- CRICKETS AND SADDLES

SEE SHEET A000 FOR ROOF ASSEMBLY INFORMATION

E

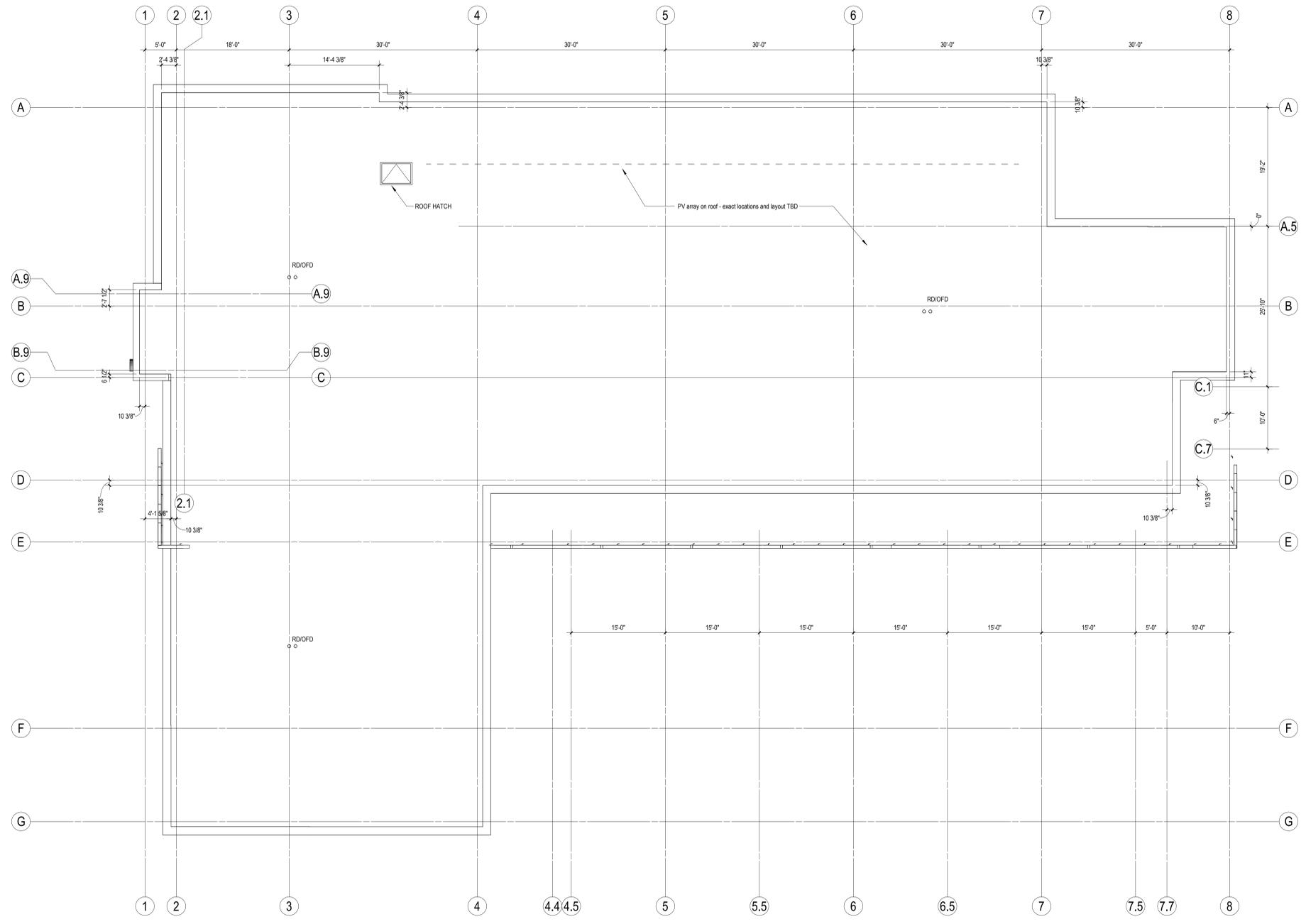
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KEYNOTES PER SHEET

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DATE	DESCRIPTION
7/14/2022	SCHEMATIC DESIGN
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D

C

C

KEY PLAN

B

B

A

A1 ROOF PLAN
1/8" = 1'-0"

SHEET INFORMATION

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ROOF PLAN
A103
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1 2 3 4 5 6 7



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EXTERIOR MATERIAL SCHEDULE	
CODE	DESCRIPTION
FB-1	FACEBRICK (TYPE-1) MODULAR BRICK - HEBRON VELOUR CHAMPAGNE, COMMON BOND
FB-2	FACEBRICK (TYPE-2) MODULAR BRICK - HEBRON VELOUR CHAMPAGNE, FLEMISH BOND
MC-1	METAL COPING - TO MATCH MCM TERRA COTTA, DRI-021
MCM-1	COMPOSITE METAL PANEL, DRI DESIGN - TAPERED SERIES - TERRA COTTA, DRI-021
MCM-2	COMPOSITE METAL PANEL - TO MATCH MCM TERRA COTTA, DRI-022
MCM-3	COMPOSITE METAL PANEL, BLACK ANODIZED
CR-1	ALUMINUM CABLE RAILING GUARDRAIL
AL-1	ALUMINUM LOUVER SYSTEM, SCREEN

SHEET NOTES - EXTERIOR ELEVATIONS	
1	REFERENCE PPD FOR MATERIALS AND CONSTRUCTION DETAILS
2	ALL EXTERIOR GLAZING SYSTEMS ARE STOREFRONT UNO

EXTERIOR MATERIAL KEY	
	MODULAR BRICK - BASIS OF DESIGN: HEBRON MODULAR CHAMPAGNE
	COMPOSITE METAL PANEL - BASIS OF DESIGN: DRI-DESIGN, TAPERED SERIES - TERRA COTTA, DRI-021
	COMPOSITE METAL PANEL - TO MATCH - TERRA COTTA, DRI-021
	COMPOSITE METAL PANEL - BLACK ANODIZED
	ALUMINUM LOUVER SYSTEM - BASIS OF DESIGN: TERRA COTTA
	BIRD GLASS
	SPANDREL GLASS
	LOUVER

PROJECT INFORMATION
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ISSUANCE AND REVISIONS	
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KEY PLAN

SHEET INFORMATION

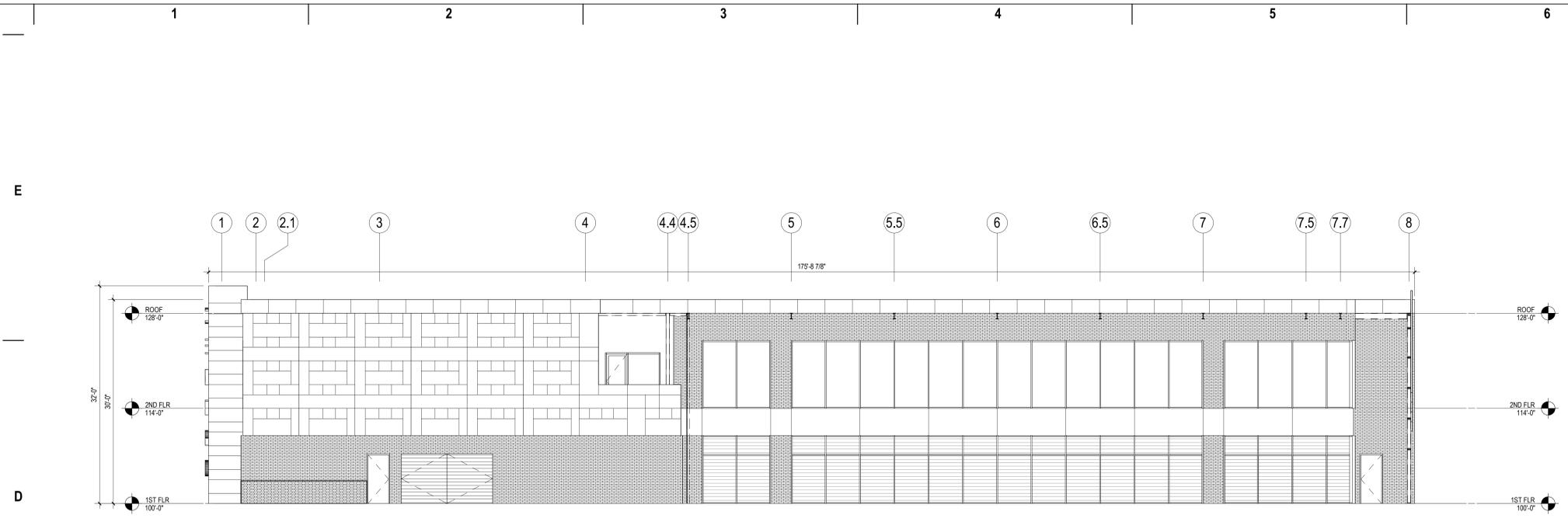
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PROJECT NUMBER 21259-00

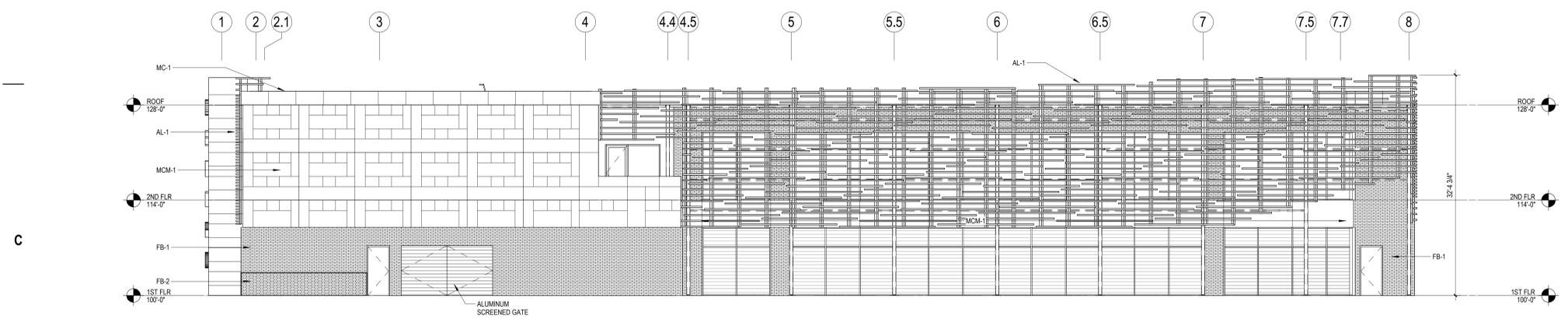
EXTERIOR ELEVATIONS

A200

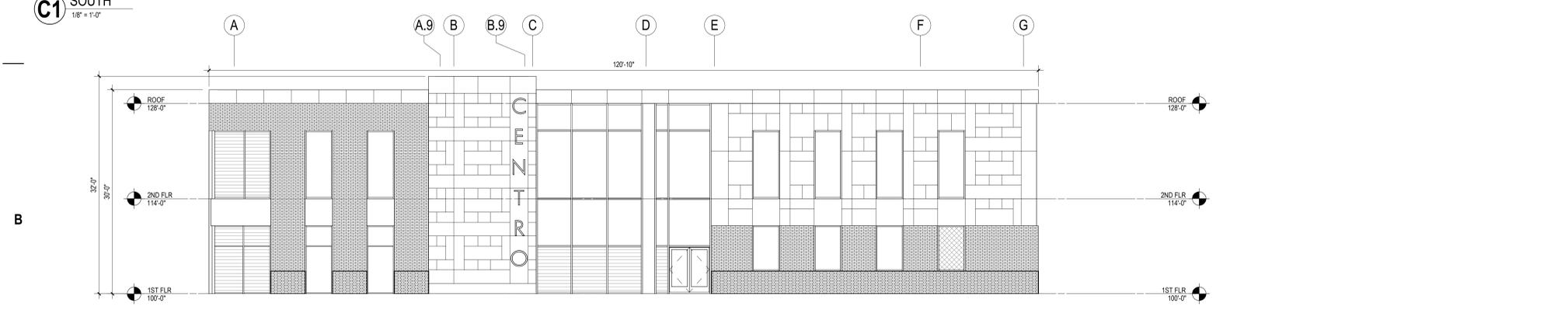
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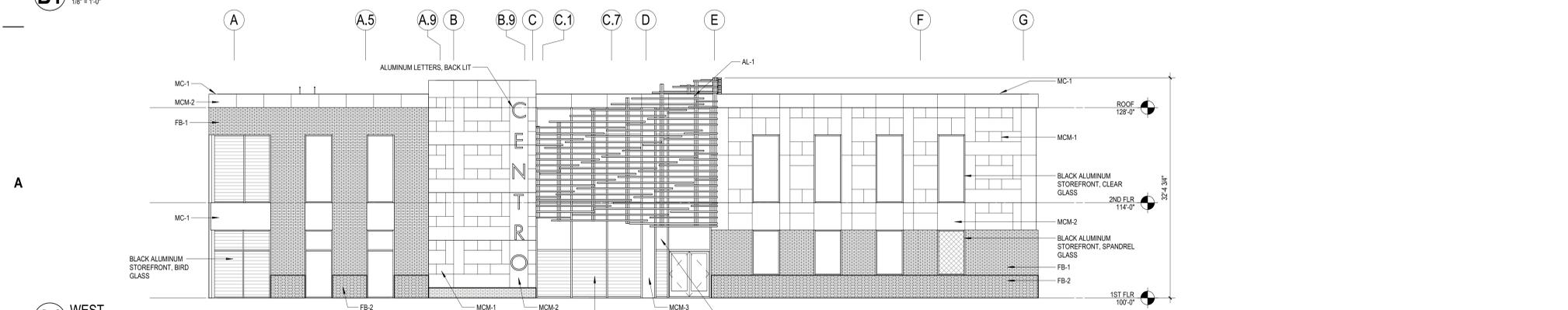
D1 SOUTH - NO SCREEN
1/8" = 1'-0"



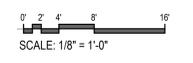
C1 SOUTH
1/8" = 1'-0"



B1 WEST - NO SCREEN
1/8" = 1'-0"



A1 WEST
1/8" = 1'-0"





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EXTERIOR MATERIAL SCHEDULE

CODE	DESCRIPTION
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SHEET NOTES - EXTERIOR ELEVATIONS

1	REFERENCE PPD FOR MATERIALS AND CONSTRUCTION DETAILS
2	ALL EXTERIOR GLAZING SYSTEMS ARE STOREFRONT LINO

EXTERIOR MATERIAL KEY

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	COMPOSITE METAL PANEL - BASIS OF DESIGN: DRI-DESIGN, TAPERED SERIES - TERRA COTTA, DRI-021
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	ALUMINUM LOUVER SYSTEM - BASIS OF DESIGN: TERRA COTTA
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	SPANDREL GLASS
	LOUVER

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ISSUANCE AND REVISIONS

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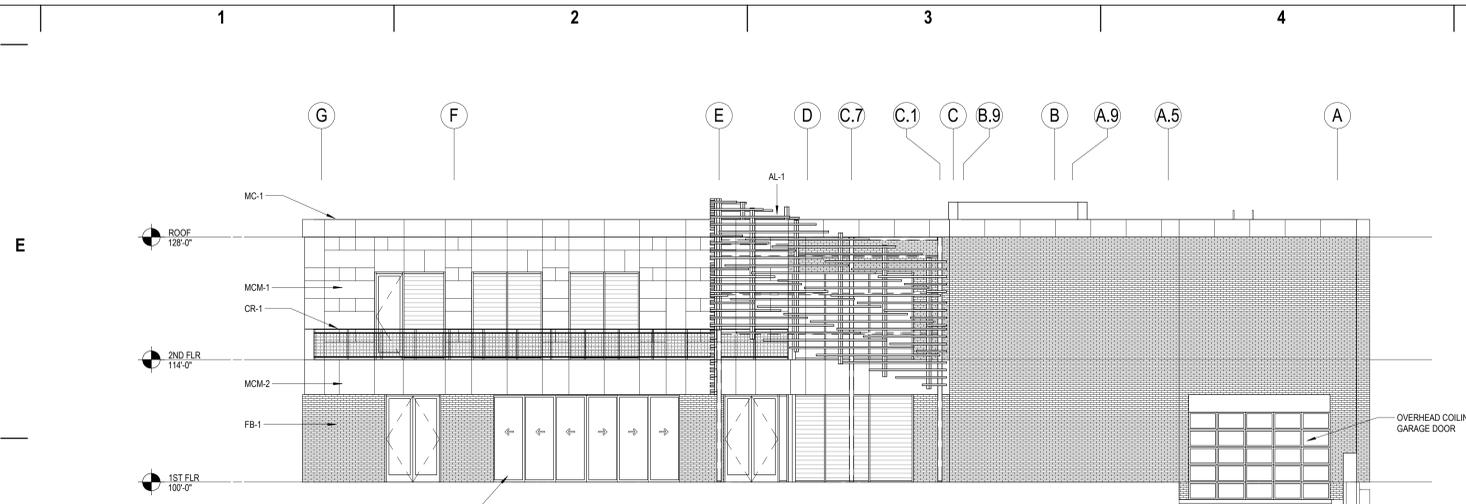
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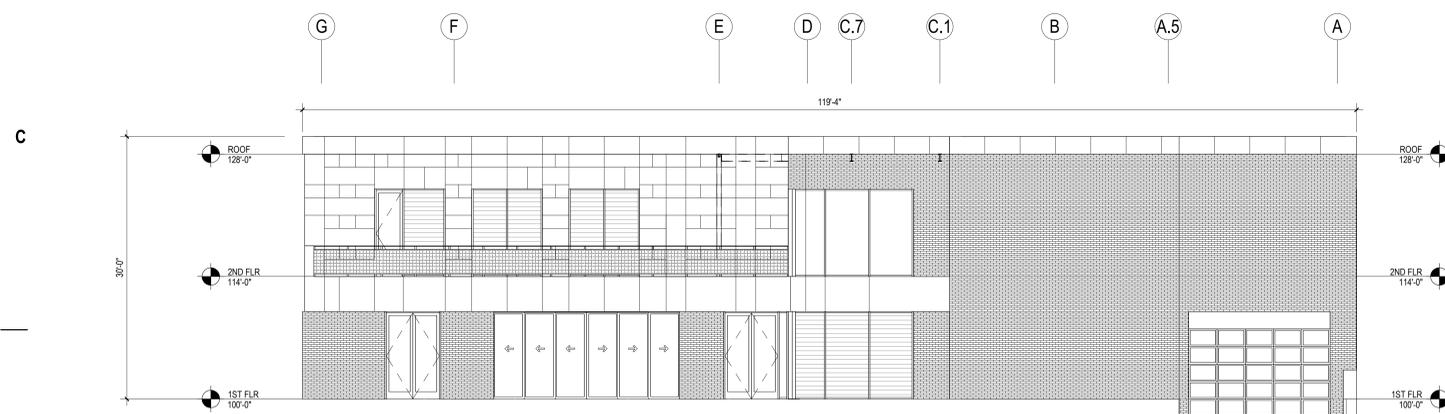
EXTERIOR
ELEVATIONS

A201

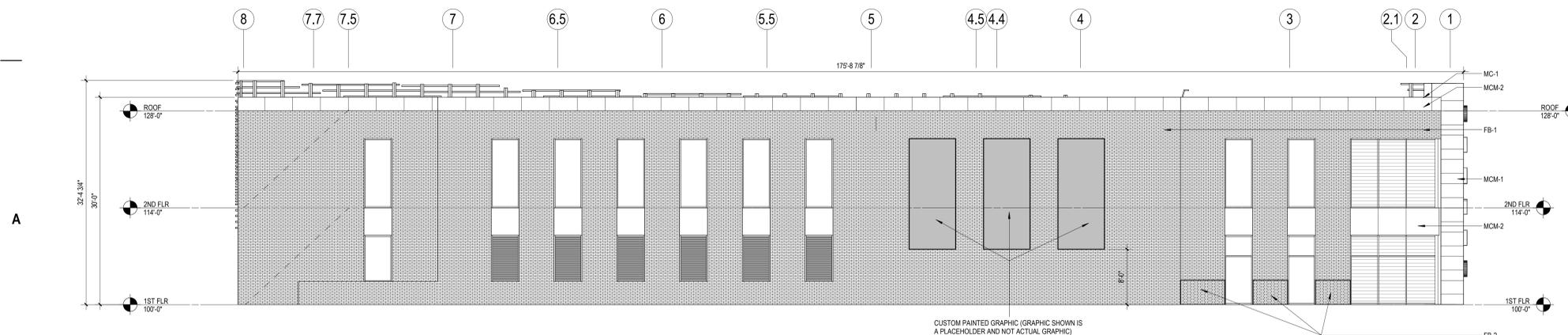
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C1 EAST
1/8" = 1'-0"



B1 EAST - NO SCREEN
1/8" = 1'-0"



A1 NORTH
1/8" = 1'-0"

0' 2' 4' 8' 16'
SCALE: 1/8" = 1'-0"

1

2

3

4

5

6

7

E

D



D1 MAIN ENTRANCE - SOUTH WEST ALONG CYPRESS WAY
NTS



D4 NORTHWEST ALONG CYPRESS WAY
NTS

C

B

A



A1 PLAZA - SOUTH EAST
NTS



A4 DRIVE ENTRY - NORTH EAST HUGHES PL
NTS



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E

PROJECT INFORMATION

CENTRO

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09/09/2022	LAND USE

C

KEY PLAN

B

SHEET INFORMATION

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EXTERIOR
PERSPECTIVES

A901

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1

2

3

4

5

6

7