

LANDMARKS COMMISSION APPLICATION

LC

Complete all sections of this application, making sure to note the requirements on the accompanying checklist (reverse).

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call (608) 266-4635

City of Madison
Planning Division
215 Martin Luther King Jr Blvd, Ste 017
PO Box 2985
Madison, WI 53701-2985
(608) 266-4635



1. LOCATION

Project Address: 1254 RUTLEDGE ST. Aldermanic District: 6

2. PROJECT

Project Title/Description: Demolish Existing GARAGE / Replace with New Garage

This is an application for: (check all that apply)

- Alteration/Addition to a building in a Local Historic District or Designated Landmark (specify)**:
 - Mansion Hill
 - Third Lake Ridge
 - First Settlement
 - University Heights
 - Marquette Bungalows
 - Landmark
- Land Division/Combination in a Local Historic District or to Designated Landmark Site (specify)**:
 - Mansion Hill
 - Third Lake Ridge
 - First Settlement
 - University Heights
 - Marquette Bungalows
 - Landmark
- Demolition
- Alteration/Addition to a building adjacent to a Designated Landmark
- Variance from the Historic Preservation Ordinance (Chapter 41)
- Landmark Nomination/Rescission of Historic District Nomination/Amendment
(Please contact the Historic Preservation Planner for specific Submission Requirements.)
- Other (specify):

DPGED USE ONLY	Registrar #:
	DATE STAMP CITY OF MADISON MAR 16 2020 Planning & Community & Economic Development
	Preliminary Zoning Review Zoning Staff Initial: Date: / /

3. APPLICANT

Applicant's Name: Mark Jensen Company: _____

Address: 1254 Rutledge St. Madison WI 53703
Street City State Zip

Telephone: (608) 234-0901 Email: ojensen@charter.net

Property Owner (if not applicant): _____

Address: _____

Property Owner's Signature: Mark H. Jensen Date: 3/16/2020
Street City State Zip

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

4. APPLICATION SUBMISSION REQUIREMENTS (see checklist on reverse)

All applications must be filed by 12:00 pm on the submission date with the Preservation Planner, the Department of Planning & Community & Economic Development, Planning Division, located at 215 Martin Luther King Jr Blvd, Suite 017. Applications submitted after the submission date or incomplete applications will be postponed to the next scheduled filing time. Submission deadlines can be viewed here: <https://www.cityofmadison.com/dpced/planning/documents/2019-LCMeetingScheduleDates.pdf>



Landmarks Commission Application

Date: March 16, 2020

Property: 1254 Rutledge Street
Madison, WI 53703

Owners: Martha O'Brien & Mark Jensen

Project: Demolish Existing Single-Car Garage and
Replace with New Single-Car Garage

Project Intent:

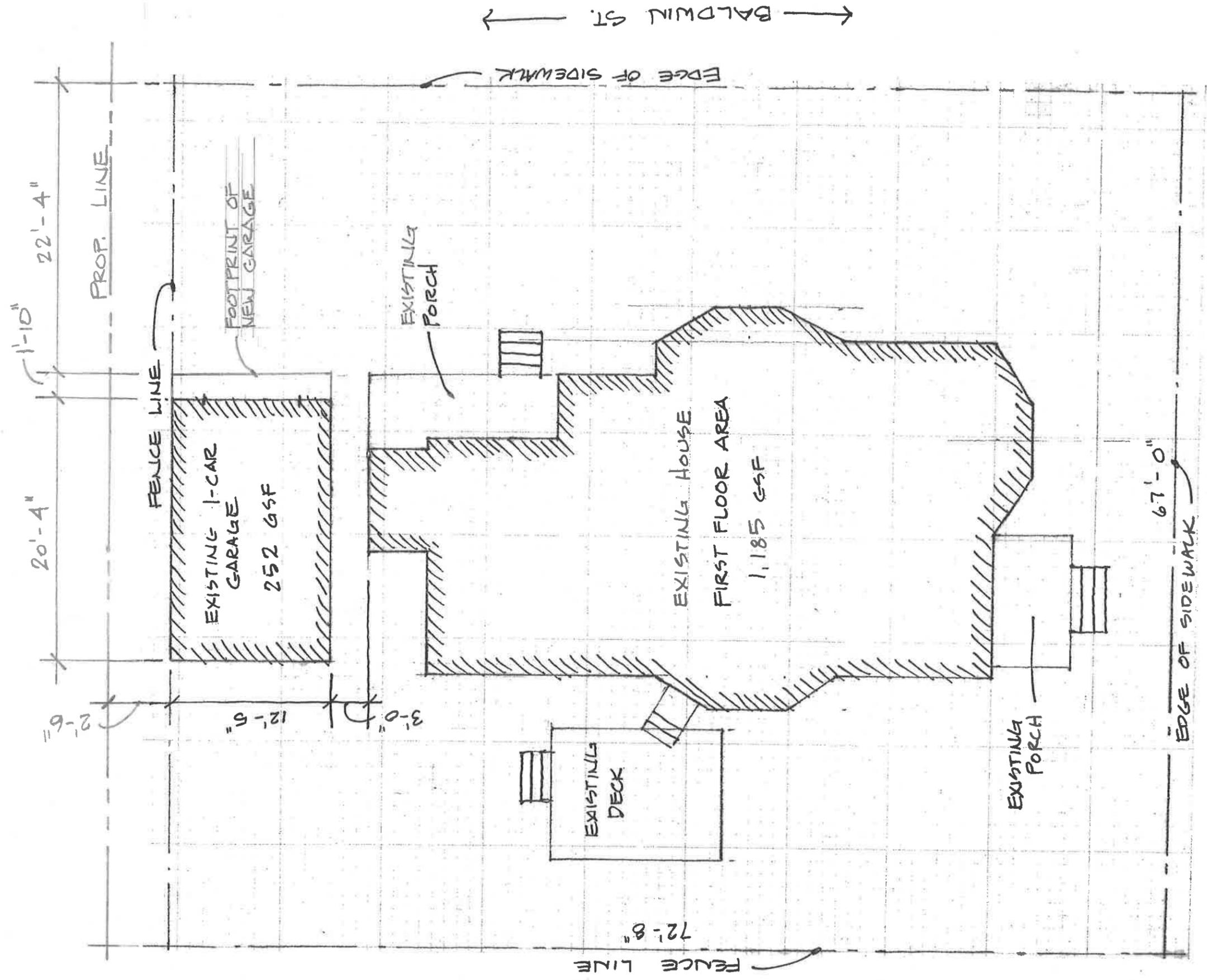
The existing garage has a wood floor and no foundation/footing. The exterior walls are constructed on a row of concrete blocks flush with grade. The lower portions of all four walls are deteriorating, causing the entire structure to sink and list. The Owners would like to demolish the existing garage and build a new, single-car garage with a proper concrete footing/floor slab and improve the exterior to better relate to the architecture of the existing house.

Siding, trim, cedar shingles, roof shingles, and decorative bracket will match the materials and character of the existing house.



BALDWIN STREET VIEW



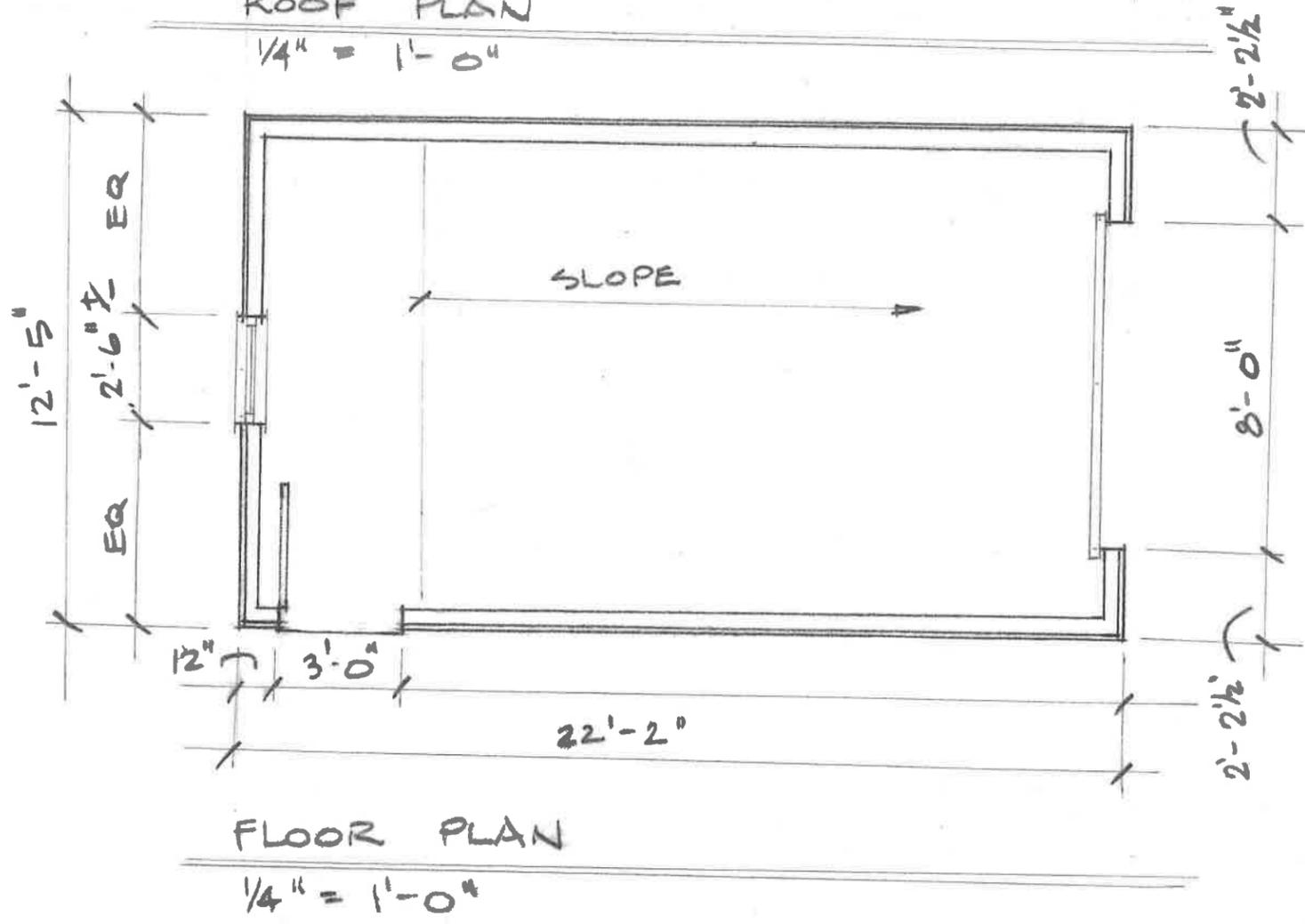
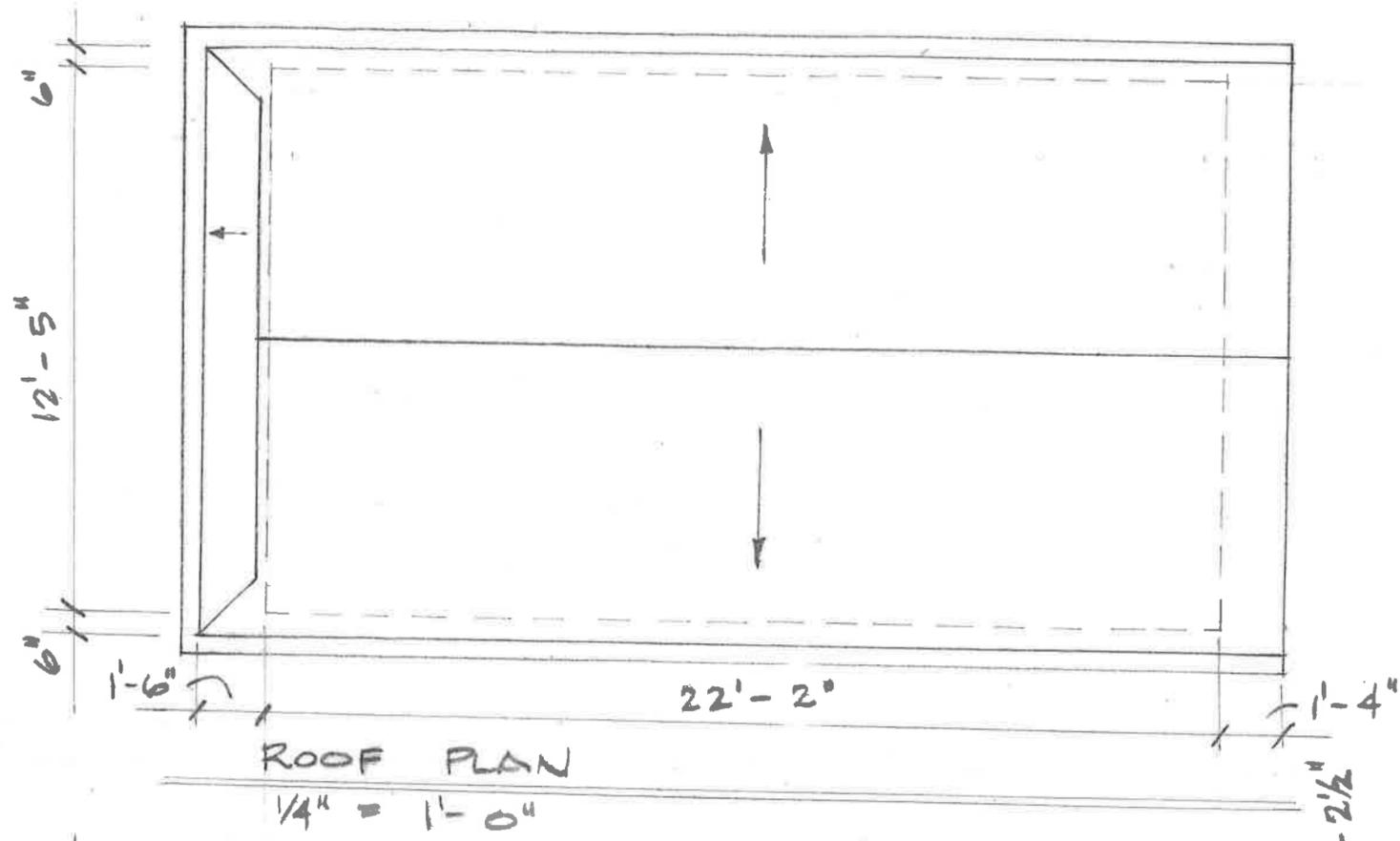


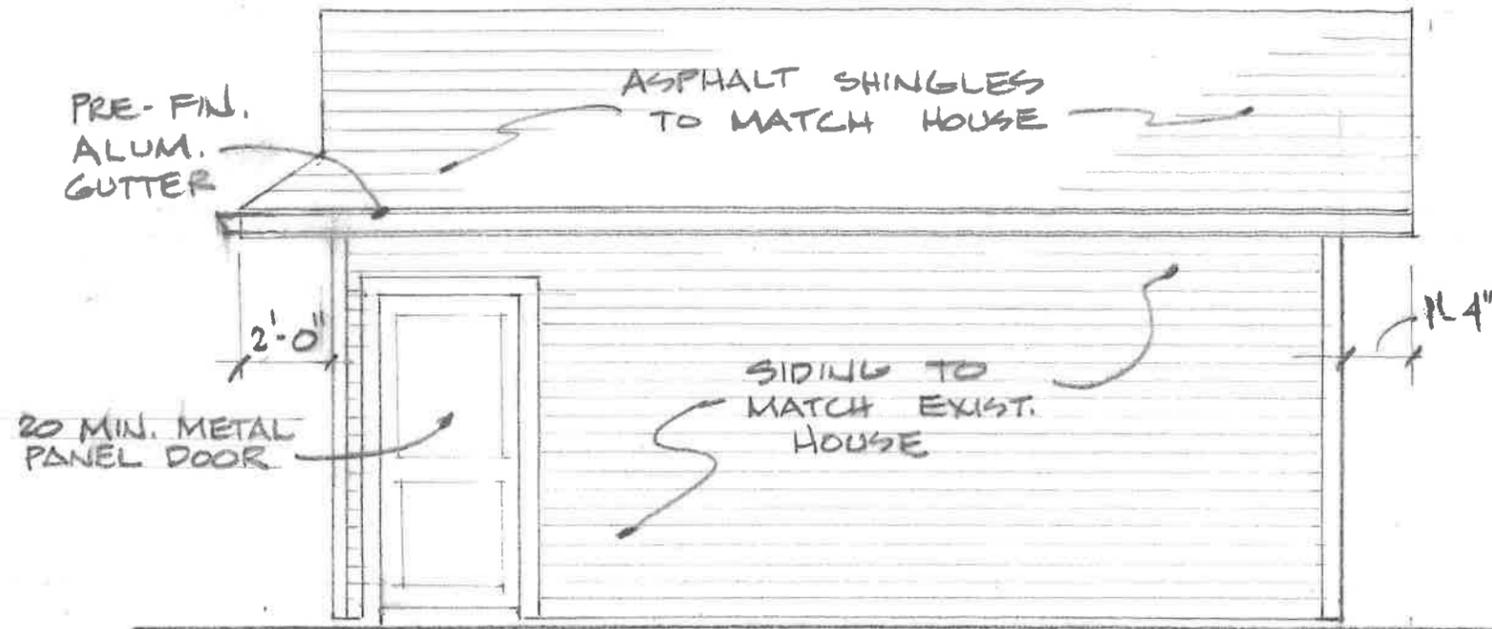
← RUTLEDGE STREET →

1254 RUTLEDGE STREET - SITE PLAN

1/8" = 1'-0"

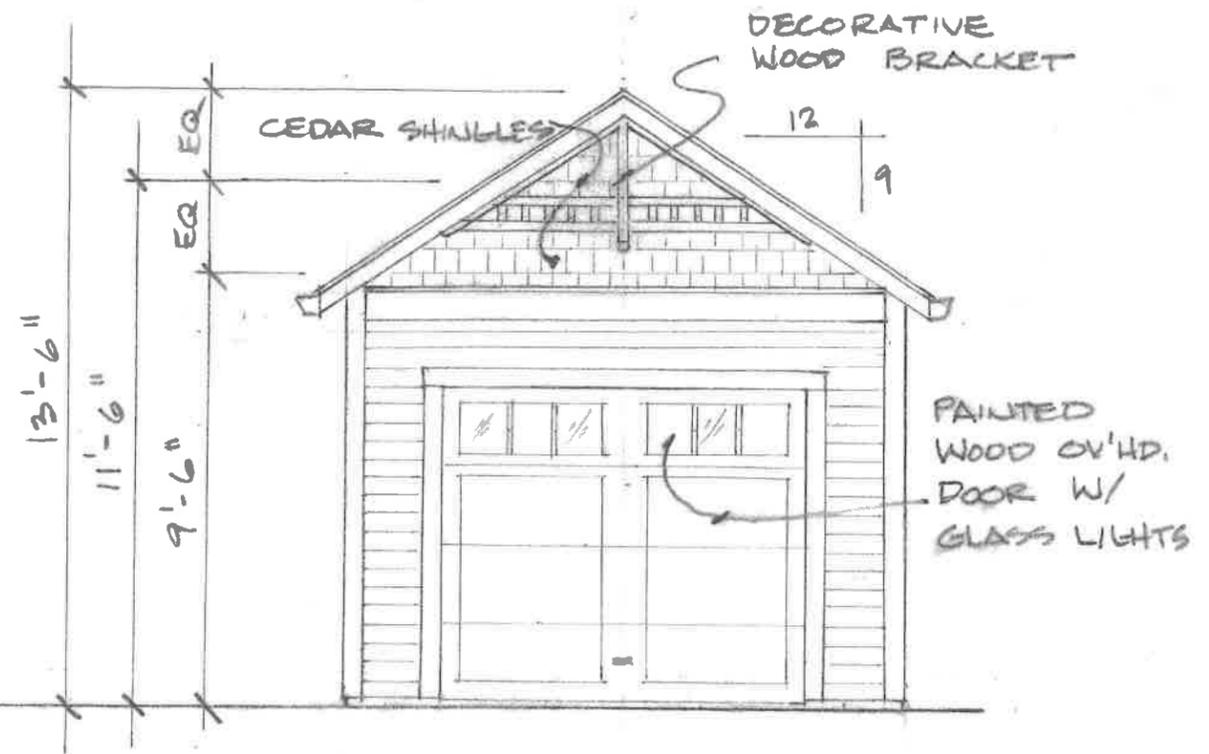






SOUTH ELEVATION

1/4" = 1'-0"



EAST ELEVATION FACING BALDWIN

1/4" = 1'-0"

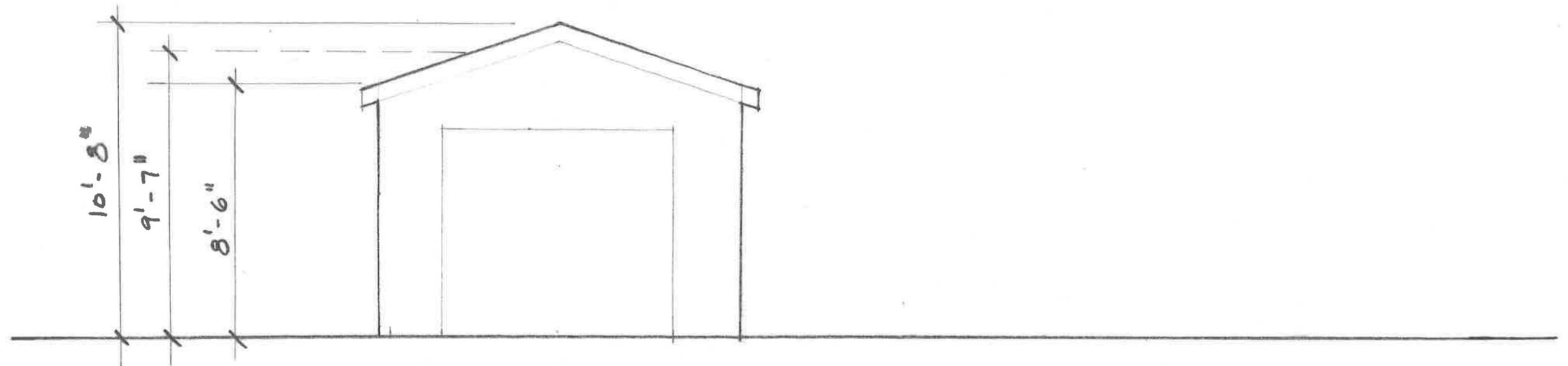
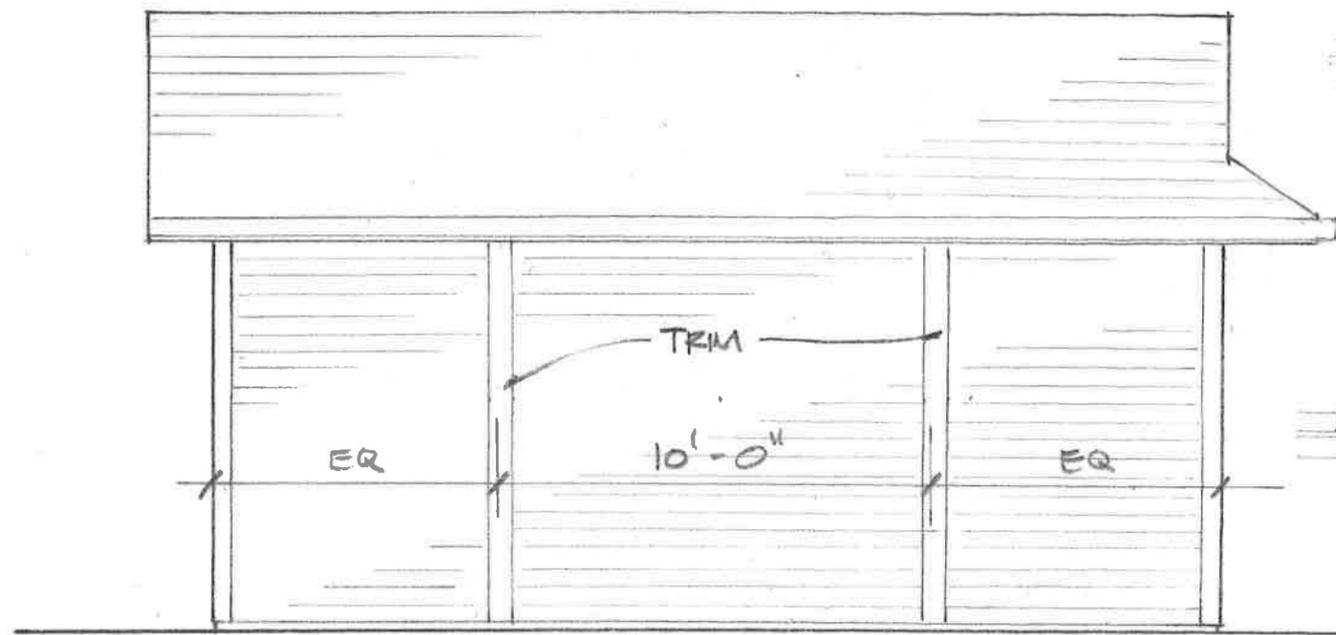


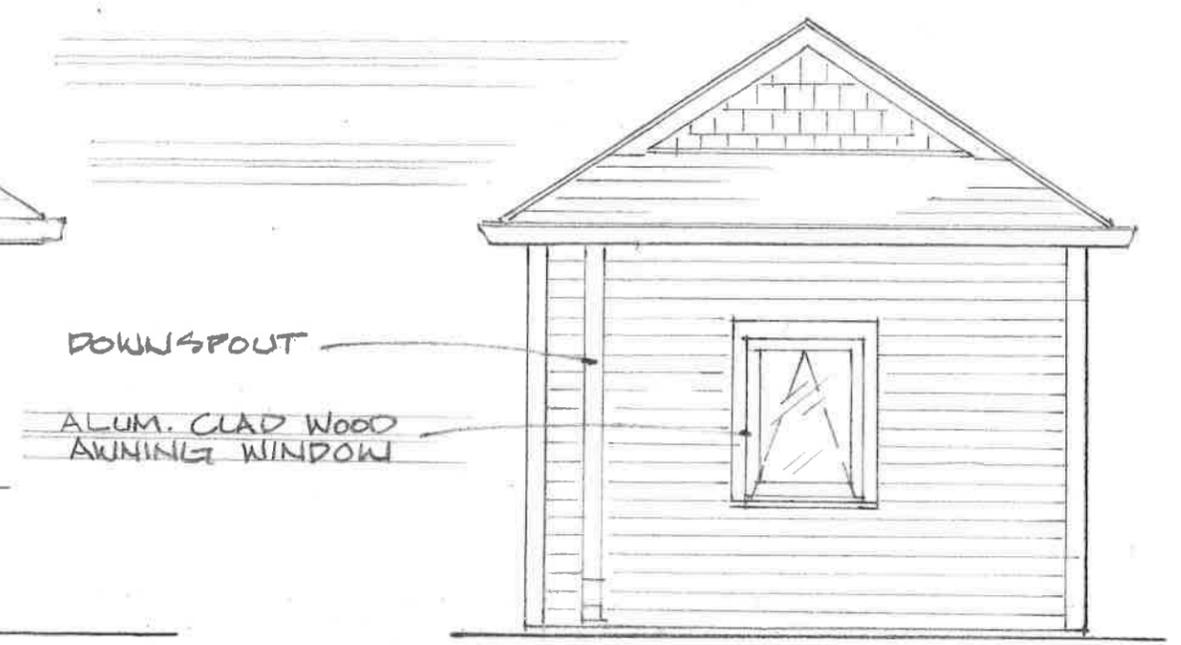
DIAGRAM OF EXIST. GARAGE

1/4" = 1'-0"



NORTH ELEVATION

$\frac{1}{4}'' = 1'-0''$



WEST ELEVATION

$\frac{1}{4}'' = 1'-0''$