DAYTON MIFFLIN HOTEL
Madison, WI

LAND USE APPLICATION

APRIL 11, 2022

CONTENTS:

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GRAPHIC SCALE FEET

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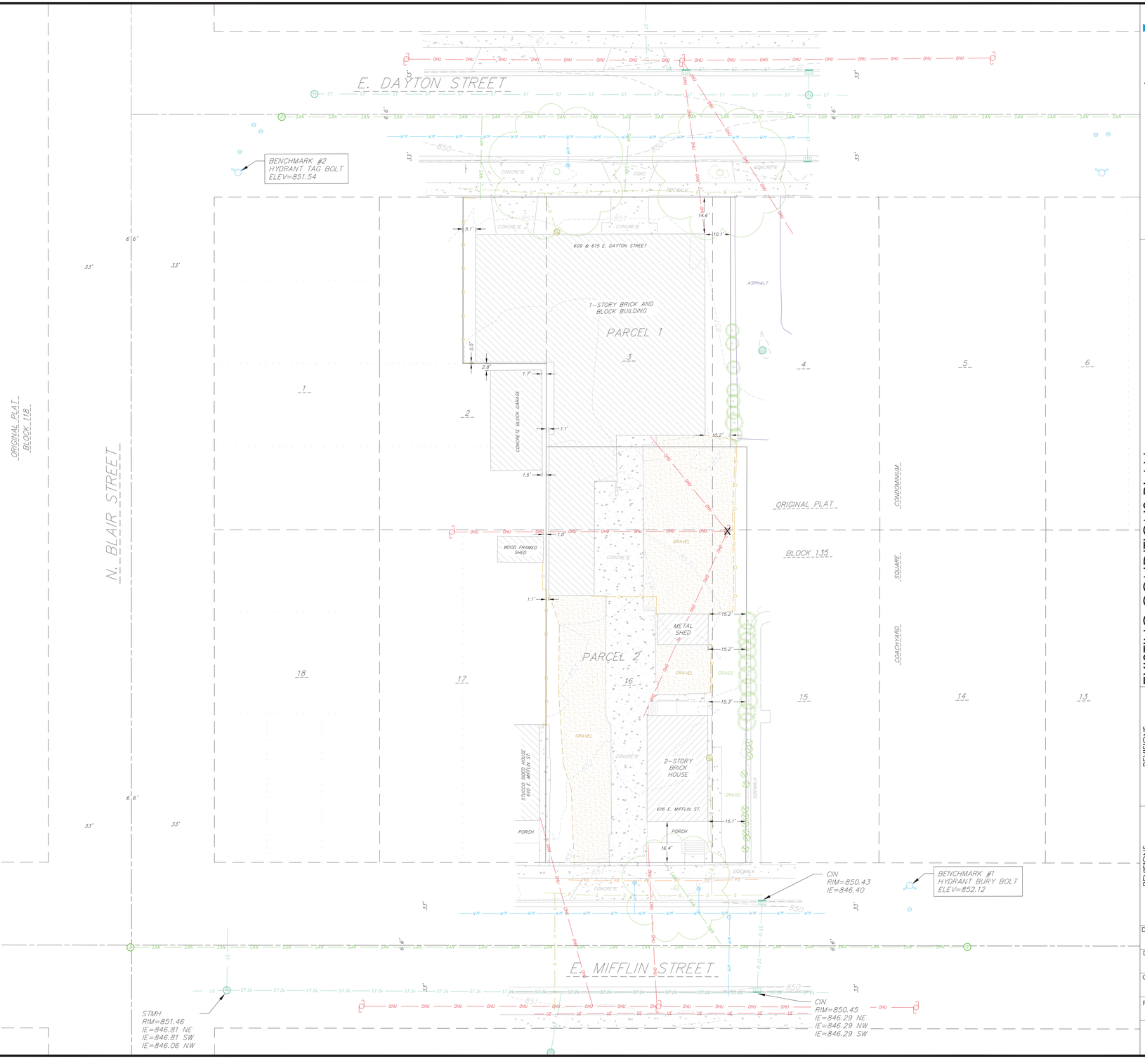
SYMBOL LEGEND

- EXISTING SIGN
- EXISTING CURB INLET
- EXISTING FIELD INLET
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING UTILITY POLE
- EXISTING SHRUB
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE

LINEWORK LEGEND

- EXISTING FIBER OPTIC LINE
- EXISTING CHAIN LINK FENCE
- EXISTING GAS LINE
- EXISTING OVERHEAD GENERAL UTILITIES
- EXISTING SANITARY SEWER LINE
- EXISTING STORM SEWER LINE
- EXISTING WATER MAIN
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR



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EXISTING CONDITIONS PLAN

615 E. DAYTON STREET
CITY OF MADISON
DANE COUNTY, WI

REVISIONS		
NO.	DATE	REMARKS

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DATE
2022-03-28

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PROJECT NO.
210331

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GRAPHIC SCALE FEET

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DEMOLITION PLAN LEGEND

- CURB AND GUTTER REMOVAL
- ASPHALT REMOVAL
- CONCRETE REMOVAL
- BUILDING REMOVAL
- GRAVEL REMOVAL
- TREE REMOVAL
- SAWCUT
- UTILITY STRUCTURE REMOVAL
- UTILITY LINE REMOVAL
- FENCE REMOVAL

DEMOLITION NOTES:

1. INSTALL APPLICABLE EROSION CONTROL MEASURES PRIOR TO DEMOLITION.
2. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
3. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
4. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
5. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
6. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE. ALL BRUSH SHALL BE CLEARED/REMOVED WITHIN THE DISTURBANCE LIMITS.
7. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
8. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS FROM THE LOCAL MUNICIPALITY/UTILITY AGENCY.
9. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
10. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.
11. ANY STREET TREE REMOVALS REQUESTED AFTER PLAN APPROVAL WILL REQUIRE A MINIMUM 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.

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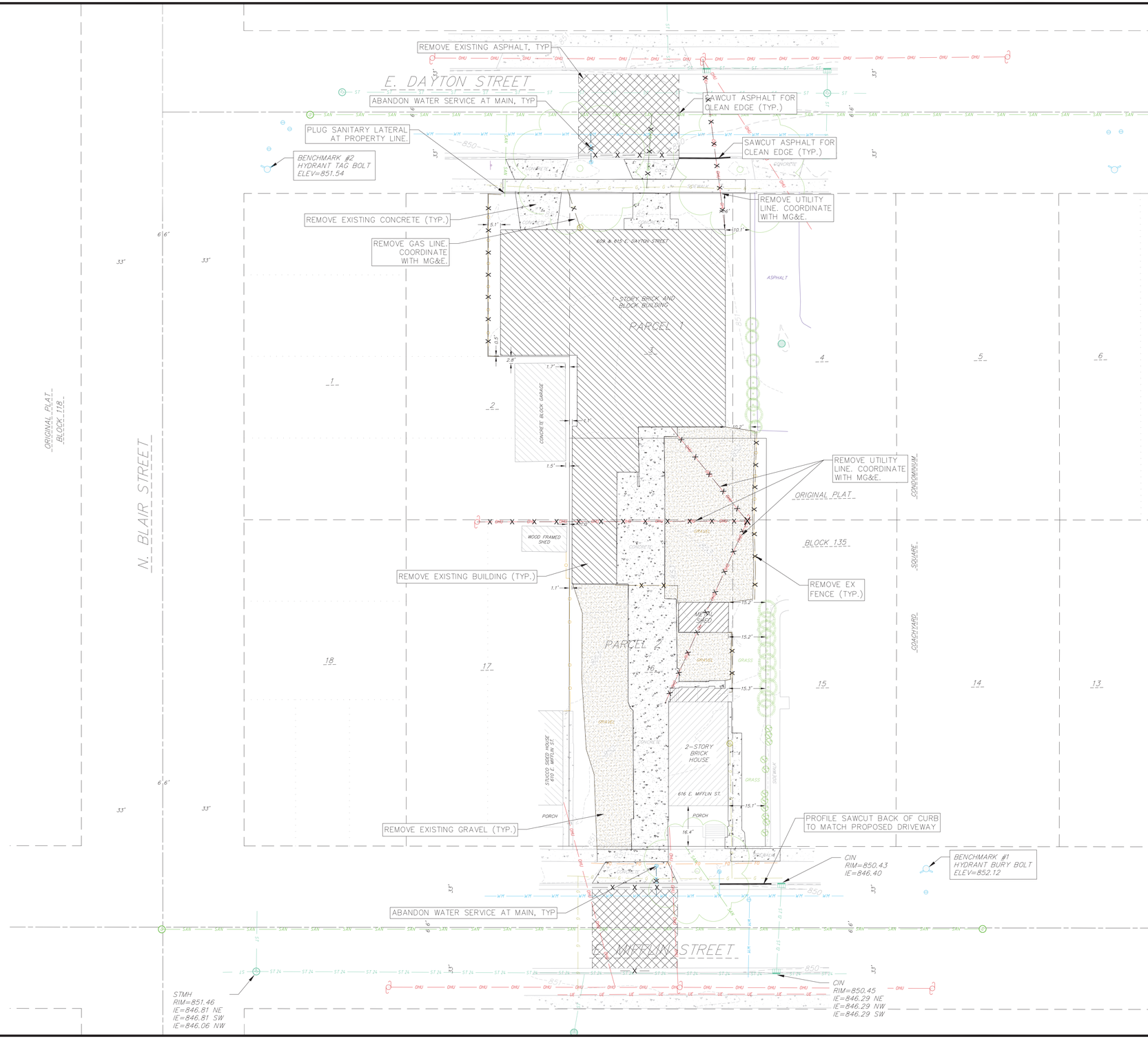

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DEMOLITION PLAN

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JLA ARCHITECTS

MADISON : MILWAUKEE

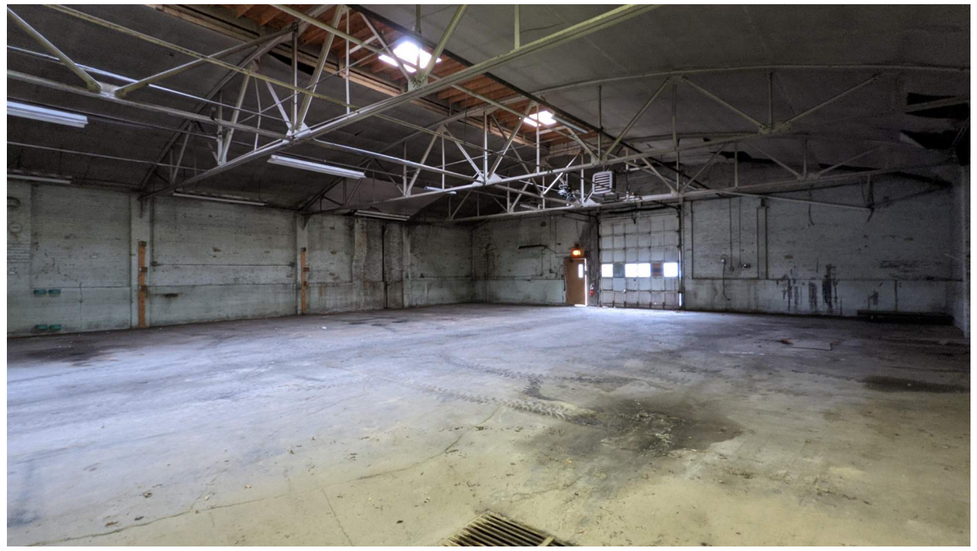
jla-ap.com

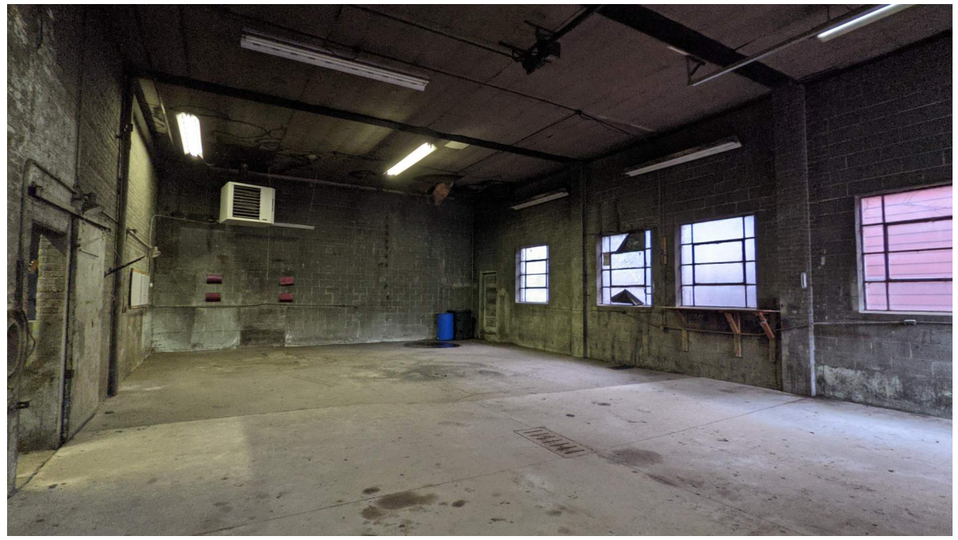
DAYTON-MIFFLIN HOTEL

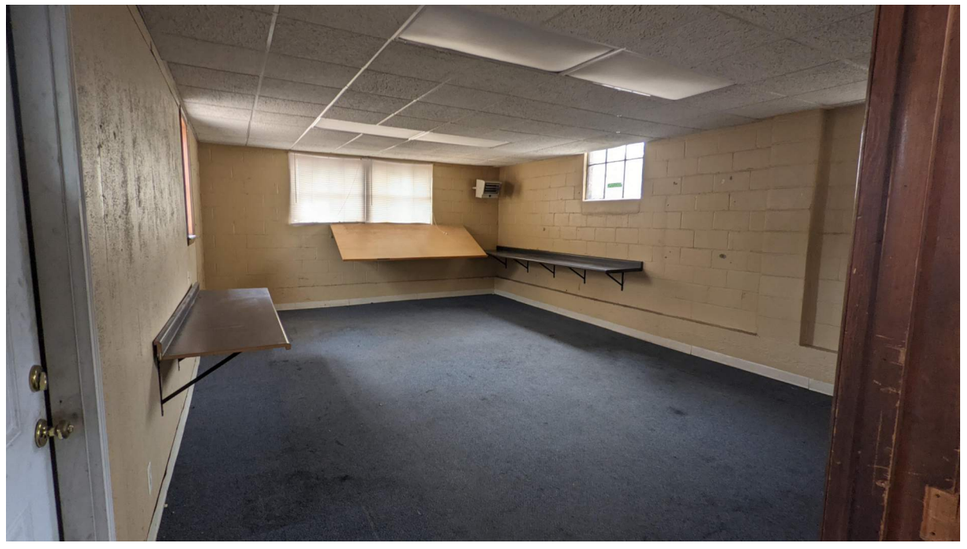
Demolition Photos - Exterior

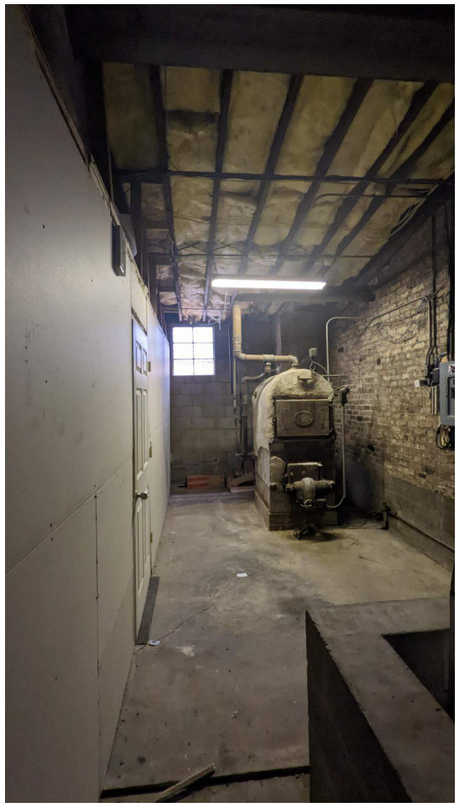
JLA PROJECT No:	21-1006
DATE OF ISSUANCE:	APRIL 11, 2022
REVISION DATE:	

C-101E









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JLA ARCHITECTS

MADISON : MILWAUKEE

jla-ap.com

DAYTON-MIFFLIN HOTEL

Demolition Photos - Interior

JLA PROJECT No:	21-1006
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REVISION DATE:	

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SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED RETAINING WALL
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED SIGN
- PROPOSED LIGHT POLE (SEE LIGHTING PLAN)
- PROPOSED BOLLARD
- PROPOSED ADA DETECTABLE WARNING FIELD
- PROPOSED HANDICAP PARKING

SITE NOTES:

1. CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, DRIVEWAY CONNECTION, RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
3. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF SITE RELATED ITEMS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
5. DIMENSIONS RELATING TO CURB ARE TO FACE OF CURB.

Parking Lot Plan Site Information Block

Site Address: 615 E Dayton Street

Site acreage (total) = 1.21 ACRES

Number of building stories (above grade): 3
Building height: Average Existing Grade to Top of Building = 34' – 8"

DILHR type of construction (new structures): 5B NF 13 SM

Use of property: Mixed Use – HOTEL & CAFE
Gross square feet of building: 48,950 SF
Gross square feet of retail area: N/A SF
Number of employees: 8
Number of employees in production area: N/A
Capacity of restaurant/place of assembly: 24

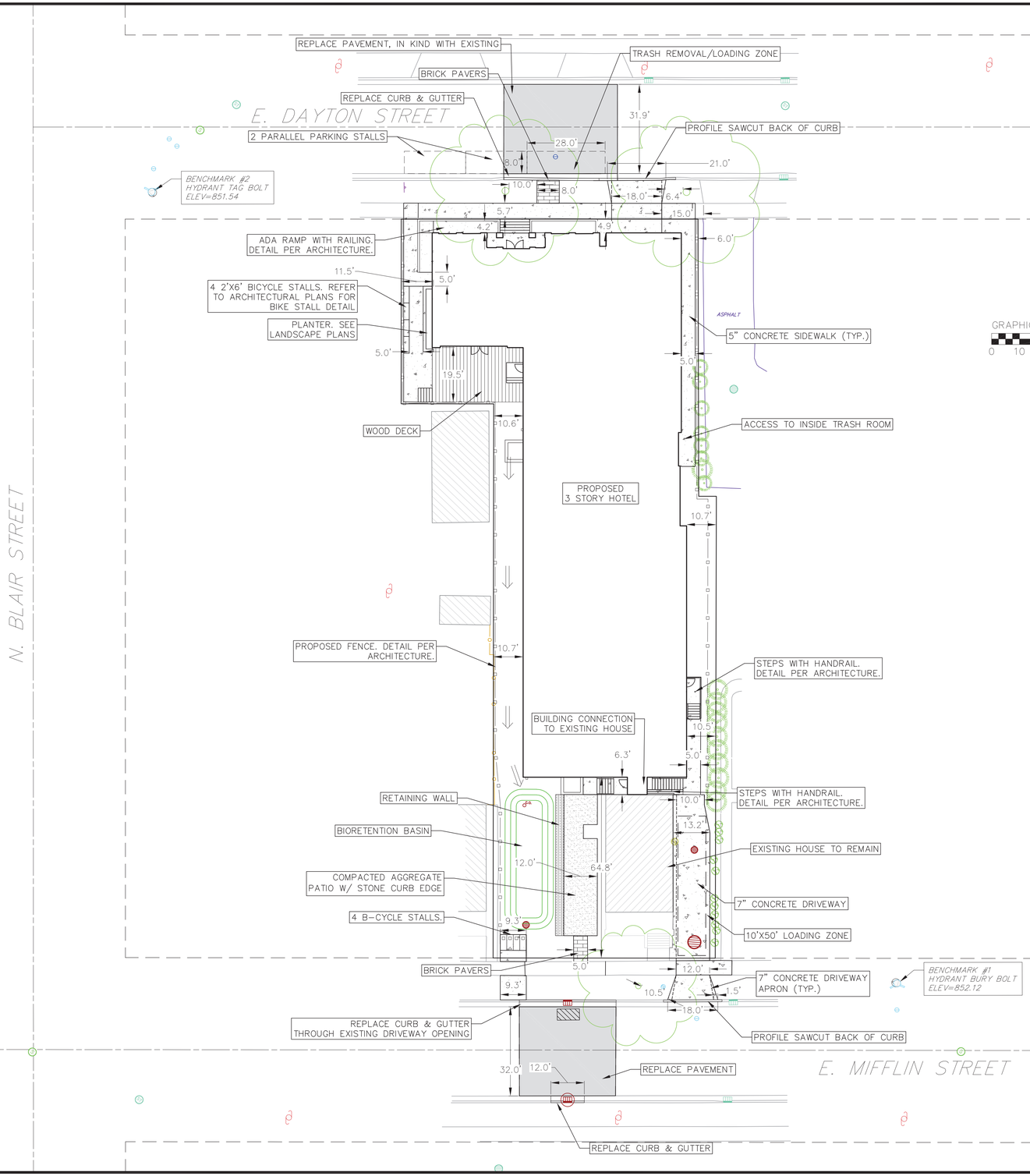
Number of bicycle stalls shown: 2 floor mounted internal stalls
4 external stalls

Number of parking stalls:

Proposed (Site)	0 Large + 0 Compact = 0
Proposed (Covered)	23 Large + 2 Compact = 25
Accessible	0 (Site) + 0 (Covered) = 0
Van Accessible	0 (Site) + 2 (Covered) = 2
EV Stalls	0 (Site) + 2 (Covered) = 2
EV Ready Stalls	0 (Site) + 5 (Covered) = 5
Total Stalls	25

Number of trees shown: See Landscape Plan

LOT COVERAGE:
COVERED LOT = 0.93 AC TOTAL LOT = 1.21 AC
PERCENT LOT COVERAGE = 76.9% MAXIMUM ALLOWABLE LOT COVERAGE = 85.0%



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SITE PLAN
615 E. DAYTON STREET
CITY OF MADISON
DANE COUNTY, WI

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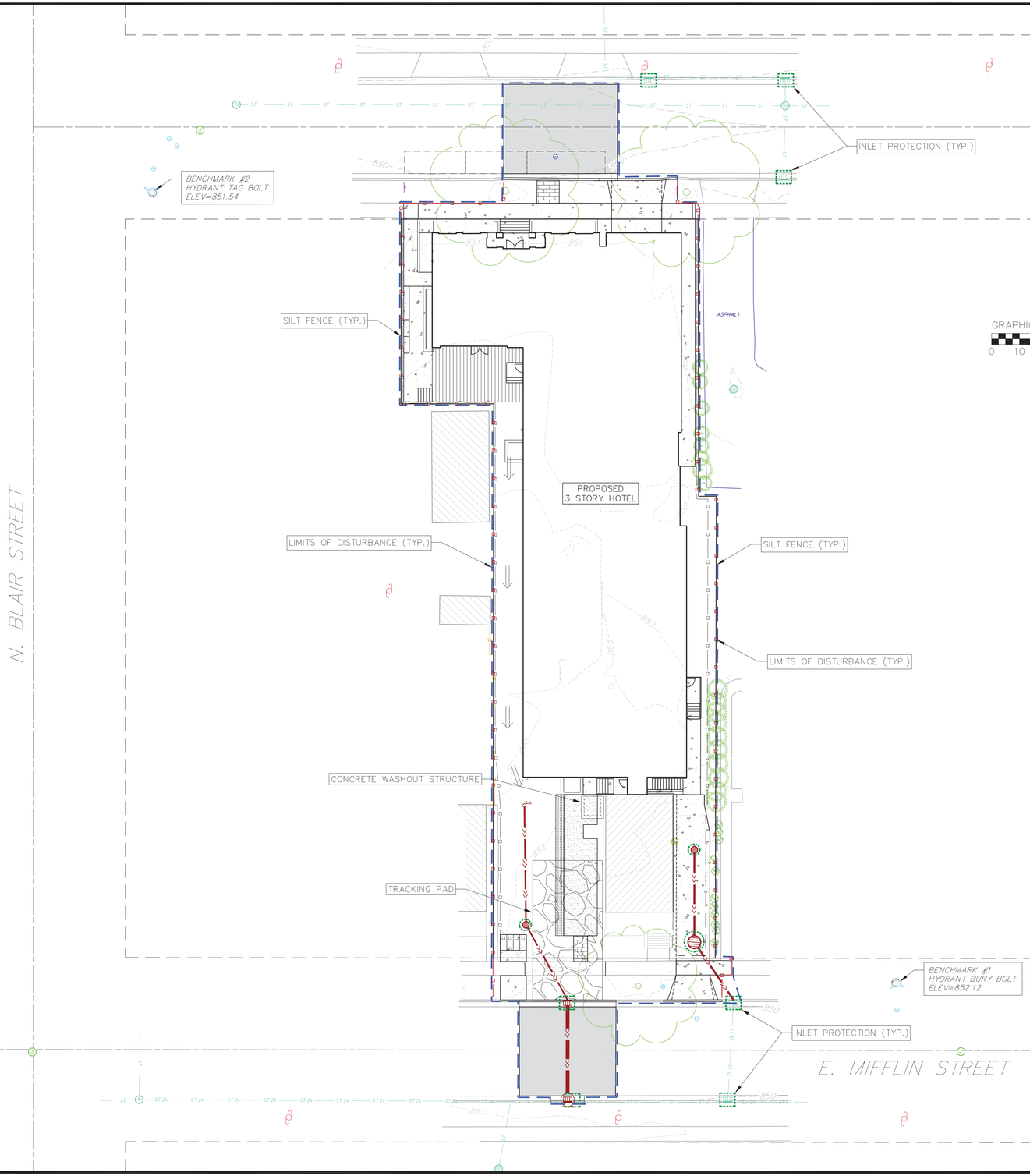
EROSION CONTROL LEGEND

- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- PROPOSED MAJOR CONTOURS
- PROPOSED MINOR CONTOURS
- SILT FENCE
- DISTURBED LIMITS
- EXISTING SPOT ELEVATIONS
- PROPOSED SPOT ELEVATIONS
- INLET PROTECTION
- TRACKING PAD
- EROSION MAT CLASS II TYPE A
- EROSION MAT CLASS I TYPE B
- RIP RAP



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EROSION CONTROL PLAN

615 E. DAYTON STREET
CITY OF MADISON
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GRADING LEGEND

- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- PROPOSED MAJOR CONTOURS
- PROPOSED MINOR CONTOURS
- DISTURBED LIMITS
- EXISTING SPOT ELEVATIONS
- PROPOSED SPOT ELEVATIONS

ABBREVIATIONS

TC – TOP OF CURB
FF – FINISHED FLOOR
FL – FLOW LINE
LP – LOW POINT
SW – TOP OF WALK
TW – FINISHED GRADE AT TOP OF WALL
BW – FINISHED GRADE AT BOTTOM OF WALL
EP – EDGE OF PAVEMENT
TS – TOP OF STEP
BS – BOTTOM OF STEP

GRADING NOTES:

1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADES SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
2. CROSS-SLOPE OF SITE SIDEWALKS SHALL BE 2% UNLESS OTHERWISE NOTED.
3. ACCESSIBLE ROUTES SHALL BE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
4. SPOT ELEVATIONS REPRESENT FINISHED GRADE.

GRADING LEGEND

- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- PROPOSED MAJOR CONTOURS
- PROPOSED MINOR CONTOURS
- SILT FENCE
- DISTURBED LIMITS
- EXISTING SPOT ELEVATIONS
- PROPOSED SPOT ELEVATIONS
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- EROSION MAT CLASS I TYPE B
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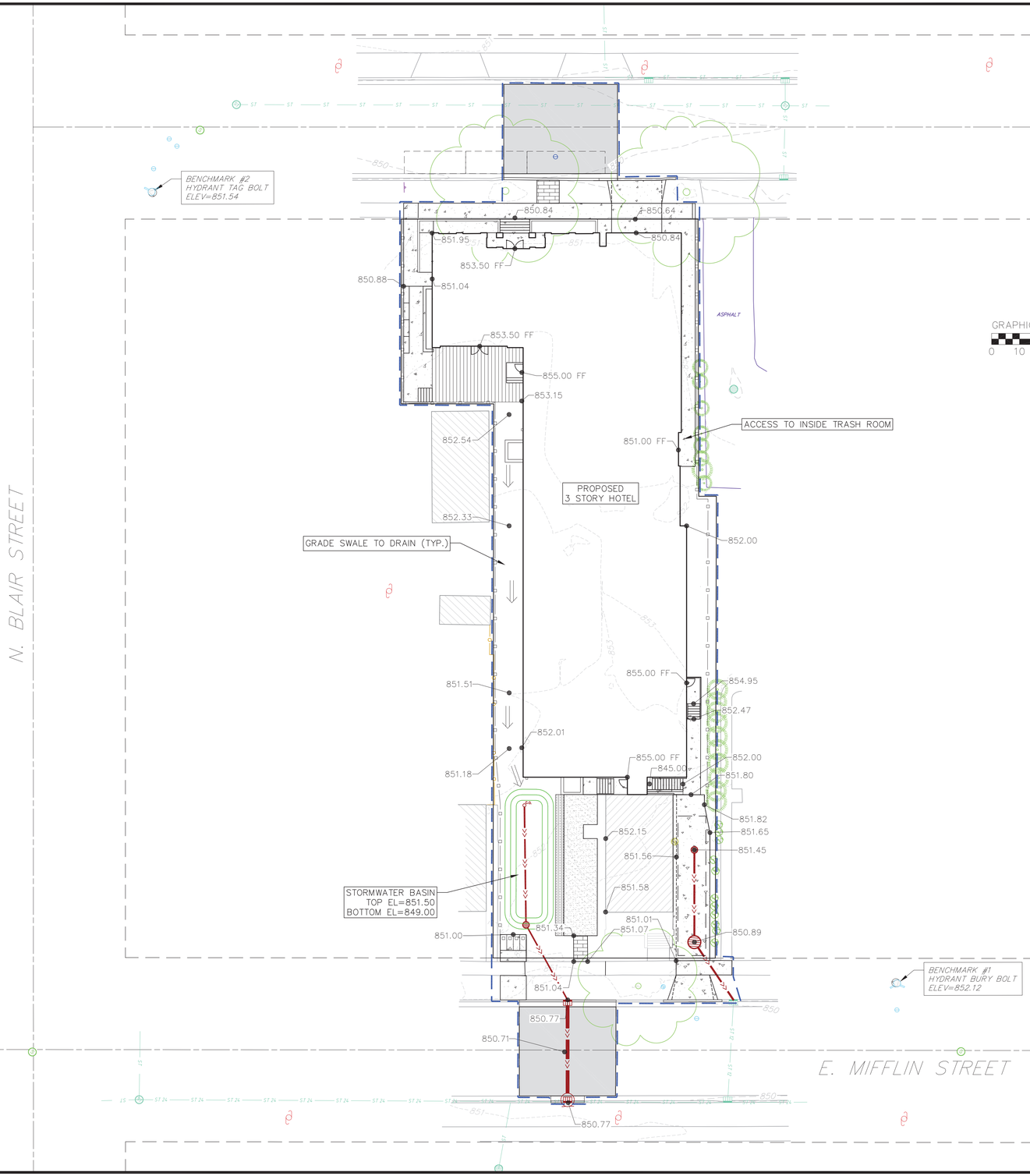

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GRADING PLAN

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PROPOSED UTILITY LEGEND

- STORM SEWER PIPE
- STORM SEWER MANHOLE
- STORM SEWER CURB INLET
- STORM SEWER FIELD INLET
- ROOF DRAIN CLEANOUT
- SANITARY SEWER LATERAL PIPE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER SERVICE LATERAL PIPE
- WATER VALVE
- PROPOSED PIPE INSULATION (4"X4'X8' POLYSTYRENE)
- GAS MAIN
- ELECTRIC SERVICE

ABBREVIATIONS

STMH – STORM MANHOLE
FI – FIELD INLET
CI – CURB INLET
CB – CATCH BASIN
EW – ENDWALL
SMH – SANITARY MANHOLE

UTILITY NOTES:

1. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
2. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
4. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
5. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
6. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON–SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
7. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30–6 OF SPS 384.30(3)(c).
8. UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30–2 OF SPS 384.30(2).
9. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30–7 OF SPS 384.30(4)(d).
10. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 – SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30–3 OF SPS 384.30(2)(c).
11. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
12. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b.).
13. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
14. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
15. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
16. CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
17. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
18. SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 21. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 26.
19. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
20. INSTALL WATER MAIN AT ADEQUATE DEPTH (MIN 6.5' OF COVER) TO AVOID CONFLICT WITH PROPOSED SANITARY SEWER AND STORM SEWER PER DNR STANDARDS EXCEPT WHERE NOTED ON THE PLANS. MAINTAIN MINIMUM 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
21. SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAT 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
22. INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.
23. UTILITY STRUCTURES SHALL BE SET TO FINAL ELEVATIONS AFTER THE CURB & GUTTER AND BASE COURSE HAVE BEEN INSTALLED.
24. CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING SANITARY SEWER, STORM SEWER AND WATER MAIN PRIOR TO CONSTRUCTION TO ENSURE PROPER CLEARANCE OF THE NEW UTILITIES. CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO THE EXISTING UTILITIES AND ANY REPAIRS NEEDED AS A RESULT OF THE DAMAGE SHALL BE AT THE EXPENSE OF THE CONTRACTOR REGARDLESS OF THE LOCATION MARKED IN THE FIELD OR SHOWN ON THE PLANS.

ULO – CAUTION UNDERGROUND UTILITIES. FOR ALL LOCATIONS MARKED "ULO" CONTRACTOR TO ULO PRIOR TO CONSTRUCTION TO CONFIRM NO CONFLICTS EXIST. ALL CONFLICTS TO BE REPORTED TO ENGINEER IMMEDIATELY PRIOR TO START OF UTILITY CONSTRUCTION.

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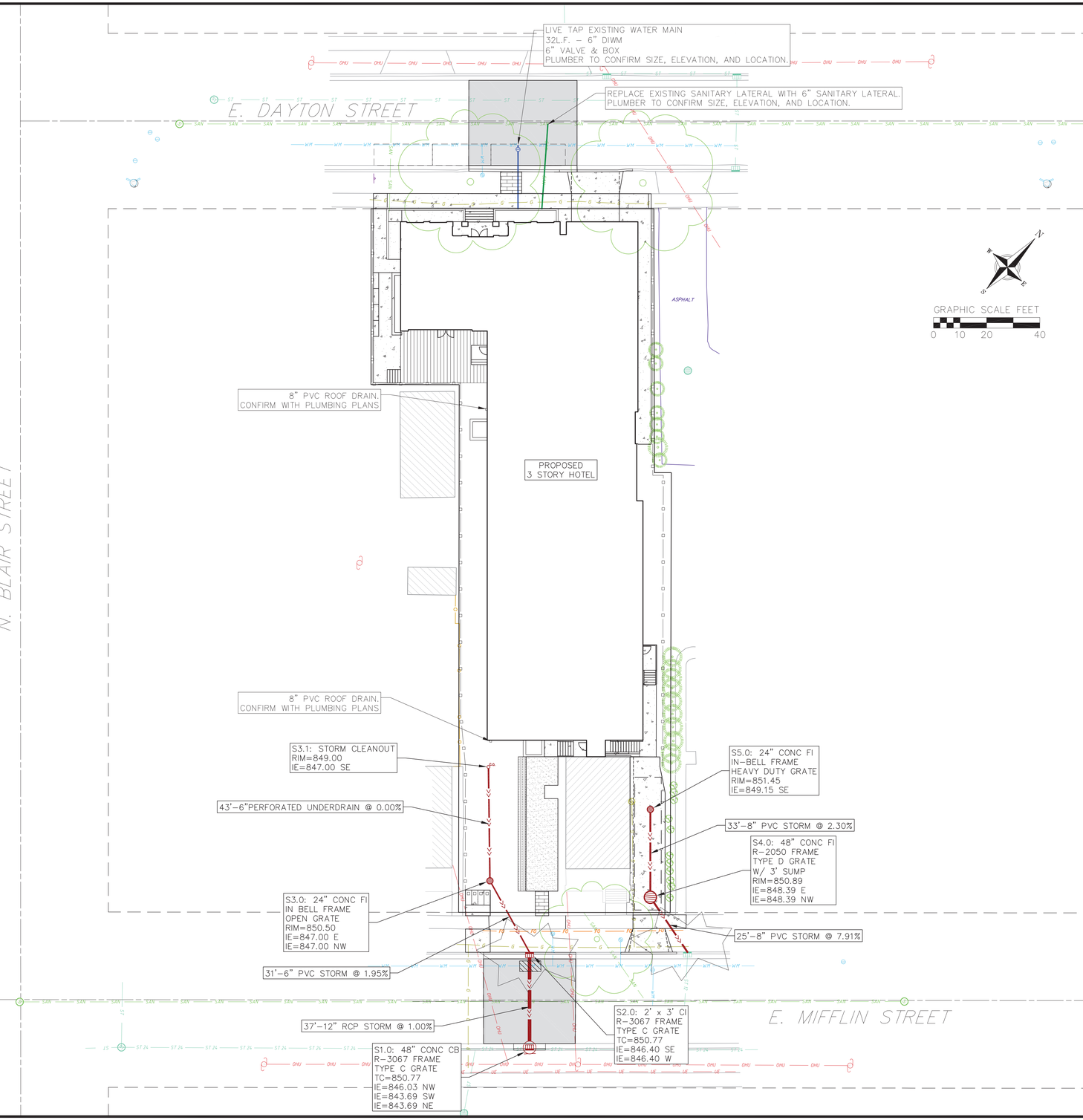

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EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.

2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (http://dnr.wi.gov/runoff/stormwater/techstds.htm) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.

3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.

4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WisDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.

7. CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.

8. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.

9. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).

10. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.

11. SEE GRADING AND EROSION CONTROL PLAN FOR RIP-RAP SIZING. IN NO CASE WILL RIP-RAP BE SMALLER THAN 3" TO 6".

12. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. THE FILTERS SHALL BE MAINTAINED UNTIL THE DISTURBED AREAS ARE BOTH 70% RESTORED AND PAVED.

13. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.

14. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.

15. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.

16. EROSION MAT (CLASS I, TYPE B PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.

17. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.

18. SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.

19. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.

20. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.

21. ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.

22. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.

23. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY AND STATE.

24. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

25. THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.

SEEDING RATES:

TEMPORARY:
1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

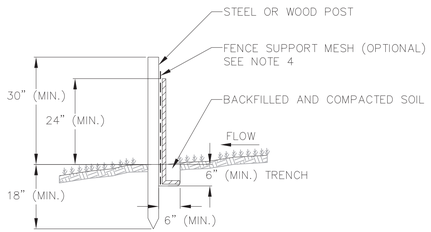
PERMANENT:
SEE LANDSCAPE PLAN.

FERTILIZING RATES:

TEMPORARY AND PERMANENT:
USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:
USE ½" TO 1-½" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

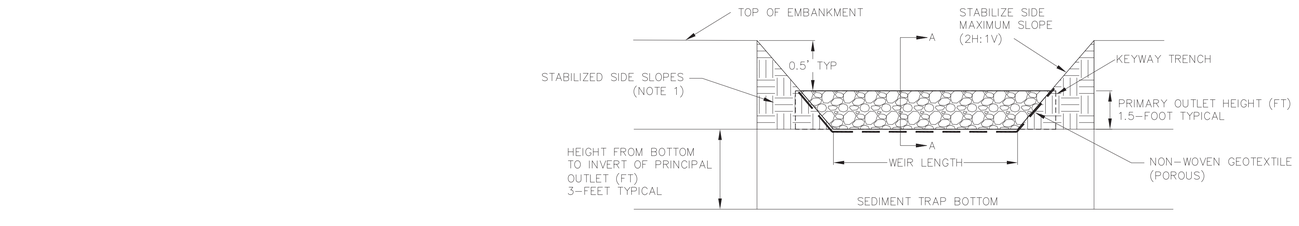


NOTES:

1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)

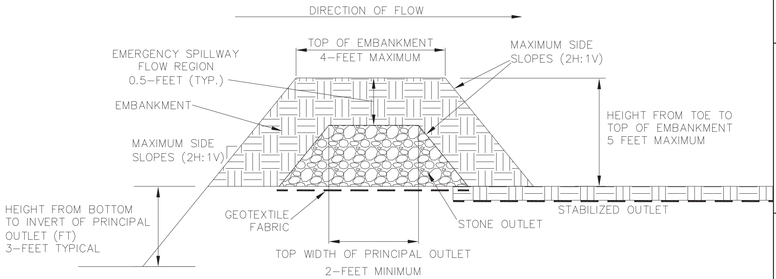
   POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

1/1 SILT FENCE
NOT TO SCALE



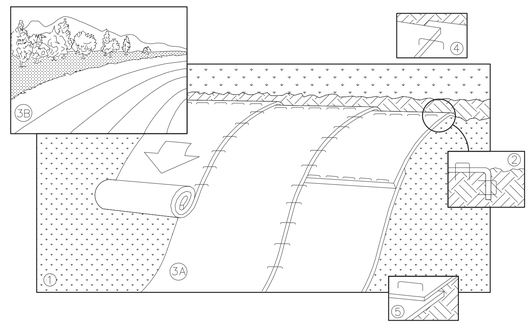
CROSS SECTION OF PRINCIPAL OUTLET

NOTE 1: SIDE SLOPES AND FACES OF EARTHEN EMBANKMENT AROUND OUTLET SHALL BE ARMORED WITH RIPRAP OR STABILIZED WITH EROSION MAT SUFFICIENT TO HANDLE FLOWS FROM THE 10-YEAR STORM.



VIEW A-A OF PRINCIPAL OUTLET

1/1 SEDIMENT TRAP
NOT TO SCALE



NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
   NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS <A.> DOWN, OR <B.> HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

1/1 EROSION MAT
NOT TO SCALE

CONSTRUCTION SEQUENCE:

1. INSTALL EROSION CONTROL MEASURES
2. CONDUCT DEMOLITION
3. STRIP TOPSOIL (UNWORKED AREAS MAY REMAIN NON-STABILIZED FOR A MAXIMUM OF 14 DAYS)
4. ROUGH GRADE SITE
5. CONSTRUCT UNDERGROUND UTILITIES
6. INSTALL INLET PROTECTION IN NEW INLETS
7. CONSTRUCT BUILDING
8. CONSTRUCT PAVEMENT
9. FINAL GRADE AND PERMANENTLY RESTORE DISTURBED AREAS
10. REMOVE EROSION CONTROL MEASURES AFTER DISTURBED AREAS ARE 70% RESTORED OR PAVED.
11. CONSTRUCT BIO-RETENTION BASIN

vierbicher
planners | engineers | advisors
Phone: (800) 261-3898

CONSTRUCTION DETAILS

615 E. DAYTON STREET
CITY OF MADISON
DANE COUNTY, WI

REVISIONS		
NO.	DATE	REMARKS

REVISIONS		
NO.	DATE	REMARKS

DATE 2022-03-28
DRAFTER TBRA
CHECKED CLAN
PROJECT NO. 210331

C701

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BIO-RETENTION AREA RESTORATION SPECIFICATIONS:
NOTE: BIO-RETENTION AREA MUST NOT BE CONSTRUCTED (INSTALLED) UNTIL THE SITE IS STABILIZED, I.E. THE GRASS COVER IS WELL ESTABLISHED.

BIO-RETENTION AREA MUST CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1004 (BIORETENTION FOR INFILTRATION)

USE RAINWATER GARDEN LIVE NATIVE PLANT PLUGS FROM AGRECOL (SUNNY, SHORT, OR MEDIUM STATURE) – OR ENGINEER APPROVED EQUAL.

PLANT PLUGS AT 1 PER SQUARE FOOT.

INFILTRATION AREA RESTORATION SPECIFICATIONS:
NOTE: INFILTRATION AREA MUST NOT BE CONSTRUCTED (INSTALLED) UNTIL THE SITE IS STABILIZED, I.E. THE GRASS COVER IS WELL ESTABLISHED.

INFILTRATION AREA MUST CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1003 (INFILTRATION BASIN)

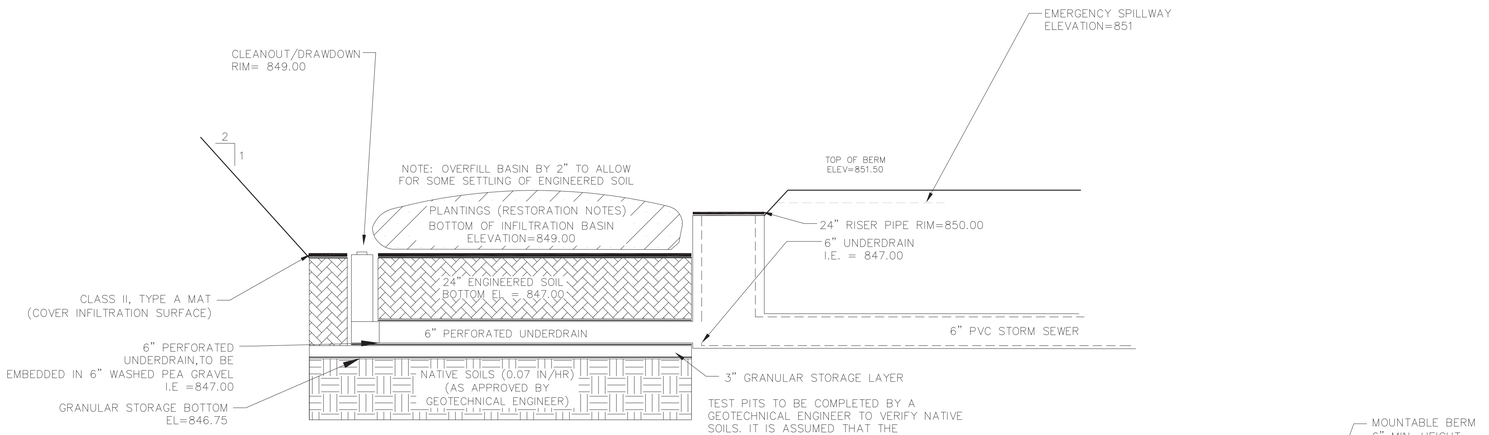
PLANTING, MULCH, AND MAINTENANCE NOTES:
NATIVE (PRAIRIE) SEEDING SHALL BE COMPLETED IN THE FALL (AS DORMANT SEEDING PRIOR TO FIRST SNOWFALL) OR IN THE SPRING (BETWEEN MAY 1 AND JUNE 20), OR PLUGS SHALL BE USED.

MULCH SHALL CONFORM TO THE CRITERIA LOCATED IN WDNR CONSERVATION PRACTICE STANDARD MULCHING FOR CONSTRUCTION SITES (1058).

HEAVILY WATER AREA AT THE TIME OF SEEDING, AND EVERY OTHER DAY FOR A TOTAL OF 4 WATERINGS. A RAIN EVENT GREATER THAN 0.5 INCHES CONSTITUTES A WATERING.

MAINTENANCE OF NATIVE VEGETATION (MOWING, CUTTING OR BURNING SHALL BE USED TO MAINTAIN VEGETATION:
1. ESTABLISHMENT- THE FIRST MORNING OF NEWLY PLANTED SEED SHALL OCCUR ONCE IT REACHES A HEIGHT OF 10 TO 12 INCHES.
2. MOWING-MOWING SHALL REDUCE THE HEIGHT OF PLANTS TO 5 TO 6 INCHES. IF AFTER ESTABLISHMENT, IF BURNING CANNOT BE ACCOMMODATED, MOWING SHALL OCCUR ONCE IN THE FALL AFTER NOVEMBER 1). THE AREA SHALL BE MOWED TO A HEIGHT OF 5 TO 6 INCHES.
3. BURNING
   A. ROUTINE MAINTENANCE – BEGINNING THE SECOND YEAR, BURNING SHALL OCCUR IN THE EARLY SPRING (PRIOR TO MAY 1ST) OR IN THE LATE FALL (AFTER NOVEMBER 1ST)
   B. BURNING SHALL BE DONE TWO CONSECUTIVE YEARS AND THEN UP TO THREE YEARS CAN PASS BEFORE THE NEXT BURNING.
   C. UNDER NO CIRCUMSTANCES SHALL BURNING OCCUR EVERY OTHER YEAR

RESTORATION OF THE INFILTRATION AREA (NOT INCLUDING SIDE SLOPES):
1. OVER-EXCAVATE THE AREA TO INFILTRATIVE LAYER TO BE DETERMINED IN THE FIELD, DURING EXCAVATION, BY DESIGN ENGINEER.
2. CHISEL PLOW, OR ROTO-TILL THE BASE OF THE AREA TO BREAK UP ANY HARDPAN IN THE NATIVE SOIL LAYER.
3. SEED, MULCH, WATER, AND MAINTAIN AS DIRECTED ABOVE.



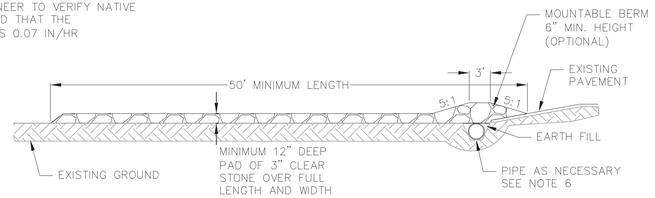
ENGINEERED SOIL MIXTURE
70%-85% WASHED SAND
15%-30% COMPOST (MUST MEET WDNR S100 SPECIFICATION)

STORAGE LAYER
SAND OR GRAVEL

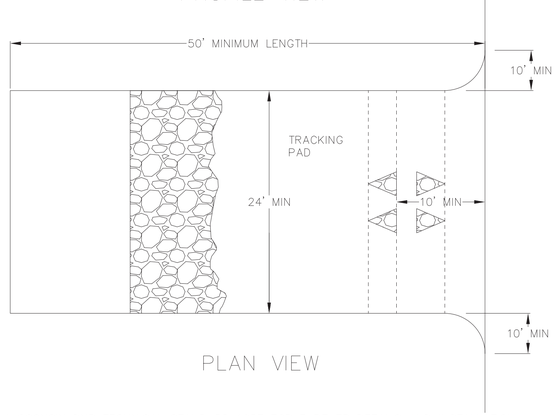
SAND SHALL MEET ONE OF THE FOLLOWING GRADATION REQUIREMENTS:
- USDA COARSE SAND (0.02-0.04 INCHES)
- ASTM C33 (FINE AGGREGATE CONCRETE SAND)
- WISCONSIN STANDARDS AND SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, SECTION 501.2.5.3.4 (FINE AGGREGATE CONCRETE SAND) 2005 EQUIVALENT AS APPROVED BY THE ADMINISTERING AUTHORITY

GRAVEL SHALL MEET:
- COARSE AGGREGATE #2 AND OTHER SPECIFICATIONS PF WISCONSIN STANDARDS AND SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, SECTION 501.2.5, 203 EDITION OR EQUIVALENT AS APPROVED BY THE ADMINISTERING AUTHORITY. GRAVEL SHALL BE DOUBLE-WASHED

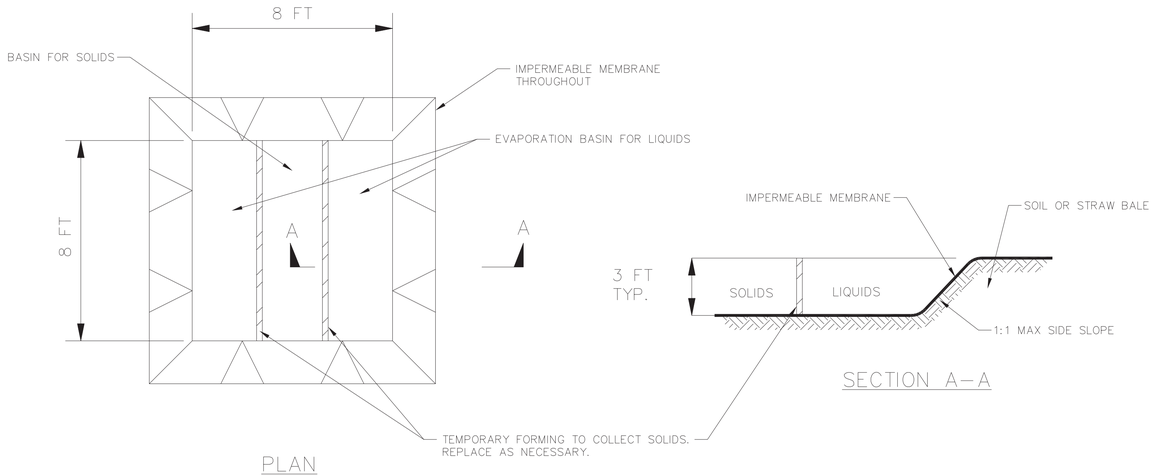
1/1 BIO-RETENTION CROSS-SECTION
NOT TO SCALE



PROFILE VIEW



PLAN VIEW



SECTION A-A

PLAN

1/1 TEMPORARY CONCRETE WASHOUT
NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
2. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
3. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH – MINIMUM OF 50'.
3. WIDTH – 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUNDWATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
5. STONE – CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER – ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION – A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

1/1 TRACKING PAD
NOT TO SCALE

vierbicher
planners | engineers | advisors
Phone: (800) 261-3898

CONSTRUCTION DETAILS
615 E. DAYTON STREET
CITY OF MADISON
DANE COUNTY, WI

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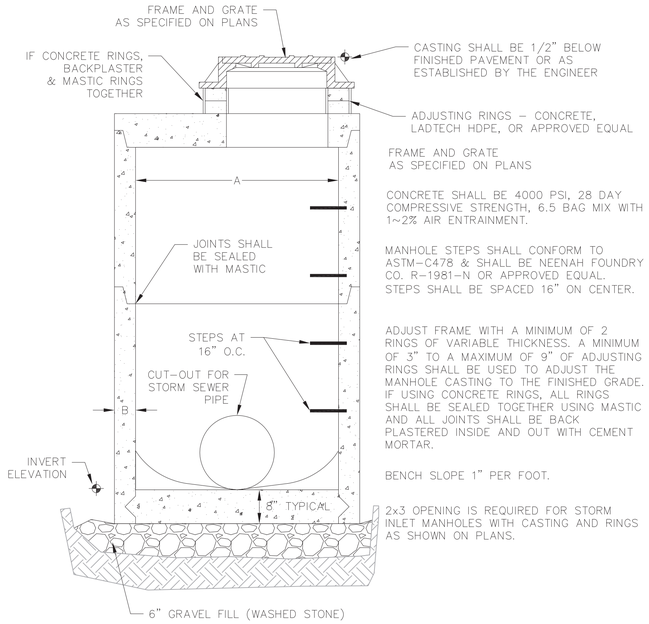


FRAME AND GRATE AS SPECIFIED ON PLANS

CONCRETE SHALL BE 4000 PSI, 28 DAY COMPRESSIVE STRENGTH, 6.5 BAG MIX WITH 1~2% AIR ENTRAINMENT.

MANHOLE STEPS SHALL CONFORM TO ASTM-C478 & SHALL BE NEENAH FOUNDRY CO. R-1981-N OR APPROVED EQUAL. STEPS SHALL BE SPACED 16" ON CENTER.

ADJUST FRAME WITH A MINIMUM OF 2 RINGS OF VARIABLE THICKNESS. A MINIMUM OF 3" TO A MAXIMUM OF 9" OF ADJUSTING RINGS SHALL BE USED TO ADJUST THE MANHOLE CASTING TO THE FINISHED GRADE. IF USING CONCRETE RINGS, ALL RINGS SHALL BE SEALED TOGETHER USING MASTIC AND ALL JOINTS SHALL BE BACK PLASTERED INSIDE AND OUT WITH CEMENT MORTAR.

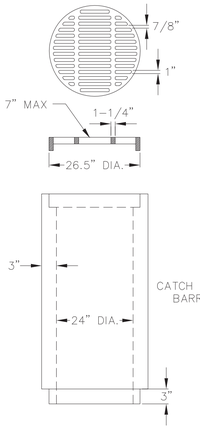
BENCH SLOPE 1" PER FOOT.

2x3 OPENING IS REQUIRED FOR STORM INLET MANHOLES WITH CASTING AND RINGS AS SHOWN ON PLANS.

STORM MANHOLE DIMENSIONS

MANHOLE SIZE	DIMENSION	
	A	B (MIN.)
48"	48"	5"
60"	60"	6"
72"	72"	7"
84"	84"	7"
96"	96"	9"

1/1 STORM SEWER MANHOLE
NOT TO SCALE



IN BELL GRATE IN CUSTOM MANUFACTURED BY THE WESTWICK FOUNDRY COMPANY TO MADISON CONCRETE PIPE SPECIFICATIONS

GRATE IS CAST GRAY IRON MANUFACTURED TO MEET ASTM A-48 CLASS 35 B AND AASHTO M105 SPECIFICATIONS

GRATES ARE AASHTO H20 LOAD RATED

GRATE SETS FLUSH WITH TOP OF CATCH BASIN BELL

PRECAST REINFORCED CONCRETE CATCH BASIN IN MANUFACTURED TO MEET ASTM C-478 AND AASHTO M199 SPECIFICATIONS

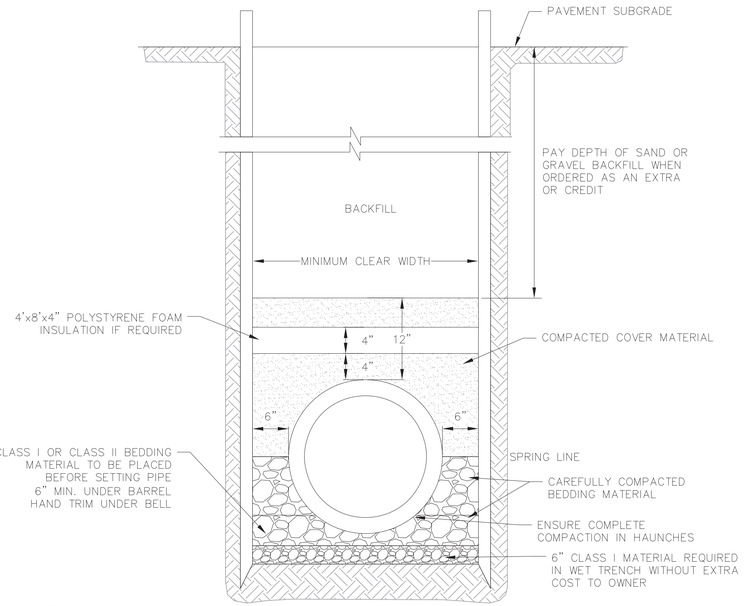
STANDARD CATCH BASIN BARREL HEIGHTS: 2'-0", 3'-0" OR 4'-0"

STOCK 24" DIA. CATCH BASIN HAS NO BASE, BUT MAY BE ORDERED WITH A 3" THICK INTEGRAL BASE OR AS SPECIFIED

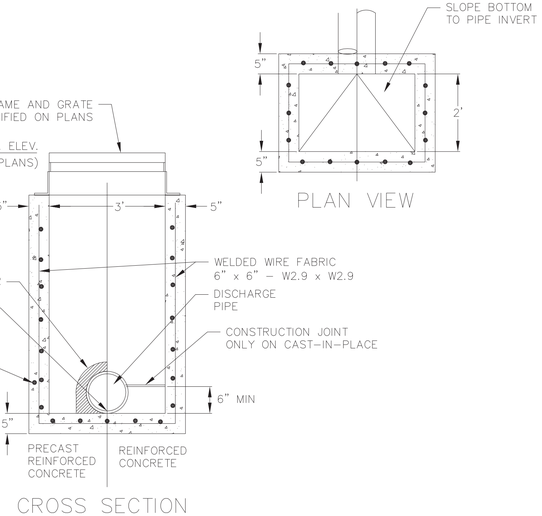
CATCH BASIN JOINT MATERIAL: CONSEAL CS-102 AND/OR CS-202 OR EQUIVALENT WHICH MEETS OR EXCEEDS FEDERAL SPECIFICATION SS-S-210 (210A), AASHTO M-198B AND ASTM C-990

PIPE TO CATCH BASIN CONNECTORS: KOR-N-SEAL OR EQUIVALENT WHICH MEETS OR EXCEEDS REQUIREMENTS OF ASTM C-923

1/1 24" DIA. CATCH BASIN & GRATE
NOT TO SCALE



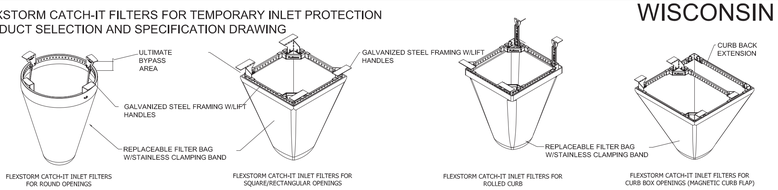
1/1 CLASS B RIGID PIPE TRENCH SECTION
NOT TO SCALE



1/1 CURB INLET – TYPE 3, 2' x 3' BASIN
NOT TO SCALE

FLEXSTORM CATCH-IT FILTERS FOR TEMPORARY INLET PROTECTION
PRODUCT SELECTION AND SPECIFICATION DRAWING

WISCONSIN



Product selection for FLEXSTORM CATCH-IT Filters (Temporary Inlet Protection)

Neenah Casting	Inlet Type	Grate Size	Opening Size	Bag Cap (ft^3)	Flow Ratings (CFS)		ADS P/N
					FX	Bypass	
1040/1642/1733	Round	26	24	1.9	1.5	5.4	62MRDFX
3067 w/FLAP	Curb Box	35.25 x 17.75	33.0 x 15.0	3.8	1.9	5.6	62LCBEXTFX
3067 EXTENDED BACK	Curb Box	35.25 x 17.75	33.0 x 15.0	4.4	2.3	5.8	62LCBEXTFX
3246A	Curb Box	35.75 x 23.875	33.5 x 21.0	4.2	2.2	3.3	62LCBFX
3030	Square/Rect (SQ)	23 x 16	20.5 x 13.5	1.6	1.4	2.2	62MCBFX
3067-C	Square/Rect (SQ)	35.25 x 17.75	33 x 15	3.2	2.0	5.2	62LSQFX

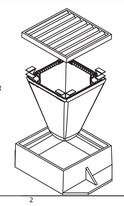
*FLOW RATINGS SHOWN ARE 50% MAXIMIUM

NOTES:

1. ALL FRAMING IS CONSTRUCTED OF CORROSION RESISTANT STEEL FRAMING FOR PROLONGED PRODUCT LIFE.
2. TOTAL BYPASS CAPACITY WILL VARY WITH EACH SIZED DRAINAGE STRUCTURE. FLEXSTORM DESIGNS FRAMING BYPASS TO MEET OR EXCEED THE DESIGN FLOW OF THE PARTICULAR DRAINAGE STRUCTURE. CONCRETE STRUCTURES MAY REQUIRE ADDITIONAL REVIEW.
3. UPON ORDERING THE ADS P/N CONFIRMATION OF THE DOT CALLOUT, FLEXSTORM ITEM CODE, CASTING MAKE AND MODEL, OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED.
4. FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM

INSTALLATION:

1. REMOVE GRATE
2. DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE
3. REPLACE GRATE



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A DIVISION OF ADS, INC.
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SIZE	DWG NO	REV
C	C-WI-SUBMIT	A
SCALE	SHEET 1 OF 1	

1/1 INLET PROTECTION
NOT TO SCALE

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planners | engineers | advisors
Phone: (800) 261-3898

CONSTRUCTION DETAILS

615 E. DAYTON STREET
CITY OF MADISON
DANE COUNTY, WI

REVISIONS

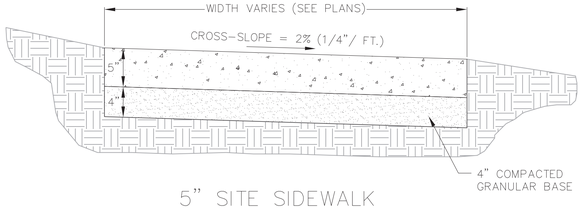
NO.	DATE	REMARKS

REVISIONS

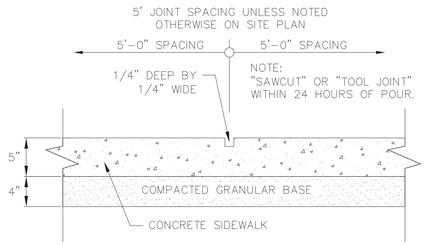
NO.	DATE	REMARKS

DATE 2022-03-28
DRAFTER TBRA
CHECKED CLAN
PROJECT NO. 210331

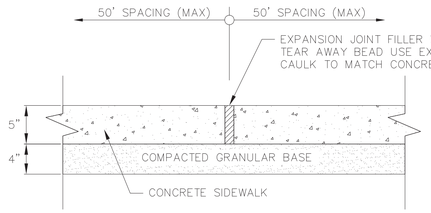
C703



5" SITE SIDEWALK



SIDEWALK CONTROL JOINT



SIDEWALK EXPANSION JOINT

1/1 5" SIDEWALK
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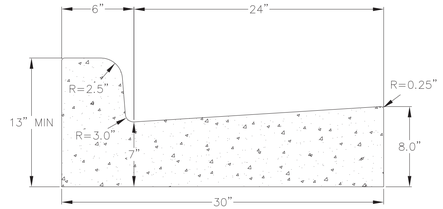
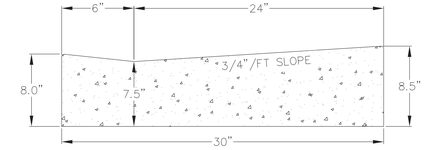
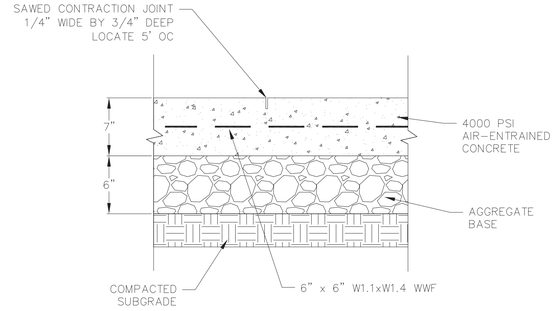


CURB AND GUTTER
CROSS SECTION

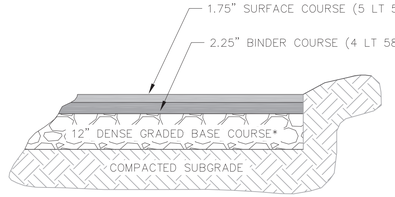


DRIVEWAY AND GUTTER
CROSS SECTION

1/1 30" CONCRETE CURB AND GUTTER
NOT TO SCALE



1/1 CONCRETE PAD
NOT TO SCALE



*THE UPPER 4" SHOULD CONSIST OF 1 1/4" DENSE GRADED BASE; THE BOTTOM PART OF THE LAYER CAN CONSIST OF 3" DENSE GRADED BASE

ROAD REPLACEMENT
BITUMINOUS PAVEMENT

1/1 SITE PAVEMENT
NOT TO SCALE

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CONSTRUCTION DETAILS
615 E. DAYTON STREET
CITY OF MADISON
DANE COUNTY, WI

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DATE 2022-03-28
DRAFTER TBRA
CHECKED CLAN
PROJECT NO. 210331

C704

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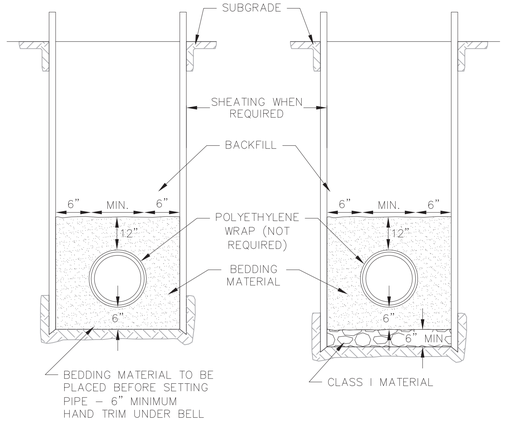
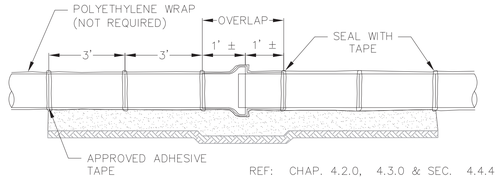


DRY TRENCH CONDITION

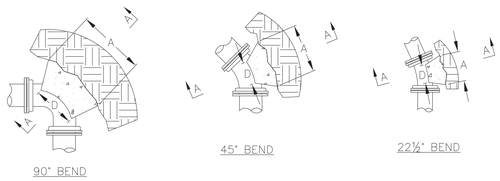
WET OR UNSTABLE CONDITION



REF: CHAP. 4.2.0, 4.3.0 & SEC. 4.4.4

1/1 STANDARD WATER MAIN TRENCH SECTION

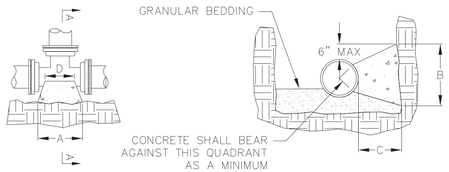
NOT TO SCALE



90° BEND

45° BEND

22½° BEND



TEE

SECTION A–A

DIMENSION "D" SHALL BE AS LARGE AS POSSIBLE, BUT THE CONCRETE SHALL NOT INTERFERE WITH THE MECHANICAL JOINTS.

DIMENSION "C" SHALL BE AT LEAST 6 INCHES, AND LARGE ENOUGH TO MAKE THE "Q" ANGLE EQUAL TO OR GREATER THAN 45 DEGREES WITH THE DIMENSION "A" AS SHOWN ON THE TABLE, OR GREATER, AND WITH DIMENSION "D" AS LARGE AS POSSIBLE.

CONCRETE SHALL BE CLASS "C", SEE SECTION 03301

BUTTRESS DIMENSIONS								
PIPE* SIZE	TEES		22.5° BEND		45° BEND		90° BEND	
	A	B	A	B	A	B	A	B
4	0'–10"	1'–6"	1'–0"	1'–0"	1'–0"	1'–0"	1'–4"	1'–2"
6	1'–6"	1'–8"	1'–0"	1'–0"	1'–4"	1'–2"	1'–10"	1'–6"
8	1'–9"	2'–4"	1'–4"	1'–4"	1'–10"	1'–10"	2'–8"	2'–3"
10	1'–9"	2'–4"	1'–10"	1'–8"	2'–6"	2'–4"	3'–10"	2'–10"
12	2'–3"	1'–7"	2'–4"	2'–0"	3'–3"	2'–10"	5'–0"	3'–4"
16	3'–8"	2'–10"	2'–10"	2'–4"	4'–0"	3'–3"	6'–4"	3'–10"
20	5'–0"	3'–10"	3'–6"	3'–0"	5'–4"	3'–10"	8'–0"	4'–8"
24	5'–4"	4'–8"						

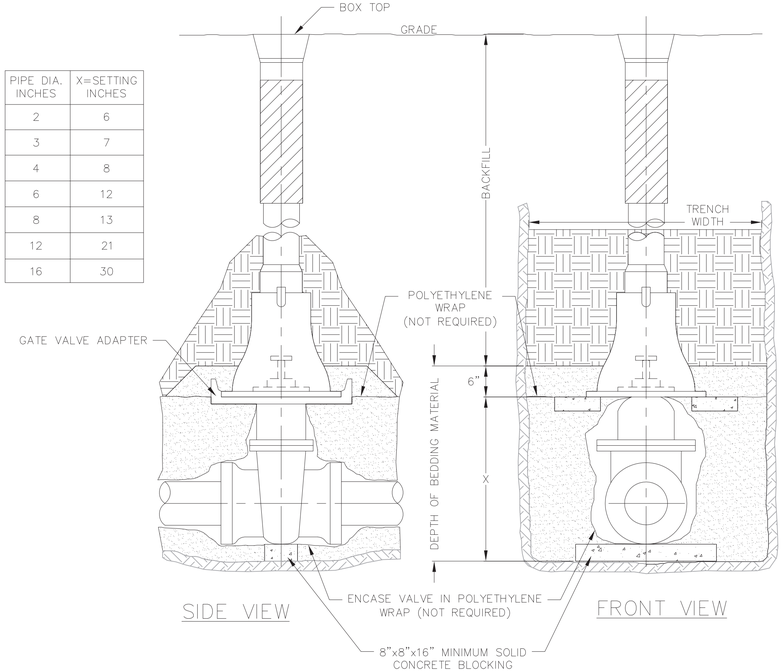
DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI AND SOIL RESISTANCE OF 2000 LBS/SQ FT

* = FOR TEE THIS WILL BE THE BRANCH PIPE

1/1 BUTTRESS FOR BENDS

NOT TO SCALE

PIPE DIA. INCHES	X=SETTING INCHES
2	6
3	7
4	8
6	12
8	13
12	21
16	30

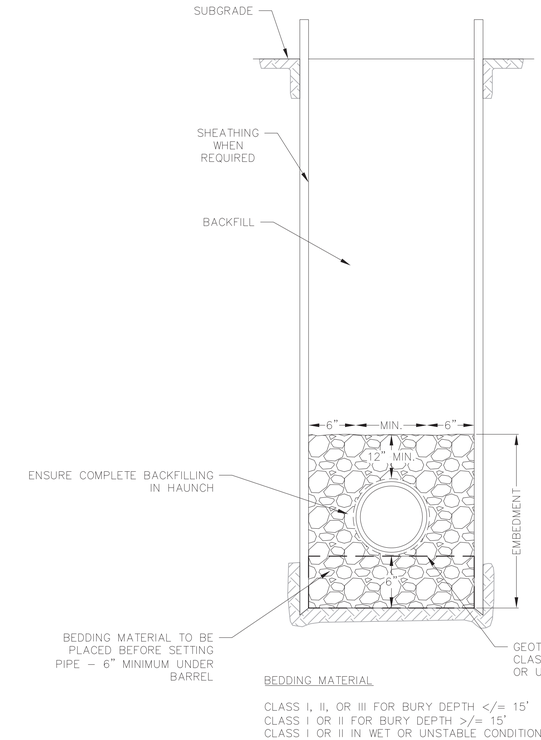


SIDE VIEW

FRONT VIEW

1/1 STANDARD GATE VALVE BOX SETTING

NOT TO SCALE



BEDDING MATERIAL

CLASS I, II, OR III FOR BURY DEPTH <= 15'
CLASS I OR II FOR BURY DEPTH >= 15'
CLASS I OR II IN WET OR UNSTABLE CONDITIONS

1/1 STANDARD SANITARY TRENCH SECTION

NOT TO SCALE

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CONSTRUCTION DETAILS

615 E. DAYTON STREET
CITY OF MADISON
DANE COUNTY, WI

REVISIONS

NO.	DATE	REMARKS

REVISIONS

NO.	DATE	REMARKS

DATE 2022-03-28

DRAFTER TBRA

CHECKED CLAN

PROJECT NO. 210331

C705

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PLANT SCHEDULE

EXISTING STREET TREES	BOTANICAL / COMMON NAME	ROOT COND.	QTY	REMARKS
FA_E	Fraxinus americana / White Ash	Existing	1	24" dia.
FP_E	Fraxinus pennsylvanica / Green Ash	Existing	1	32" dia.
GT_E	Gleditsia triacanthos / Honey Locust	Existing	1	22" dia.

CITY OF MADISON FORESTRY NOTES:

1. All proposed street tree removals within the right of way shall be reviewed by City Forestry before the Plan Commission meeting. Street tree removals require approval and a tree removal permit issued by City Forestry. Any street tree removals requested after the development plan is approved by the Plan Commission or the Board of Public Works and City Forestry will require a minimum of a 72–hour review period which shall include the notification of the Alderperson who's distric is affected by the tree removal(s) prior to a tree removal permit being issued.

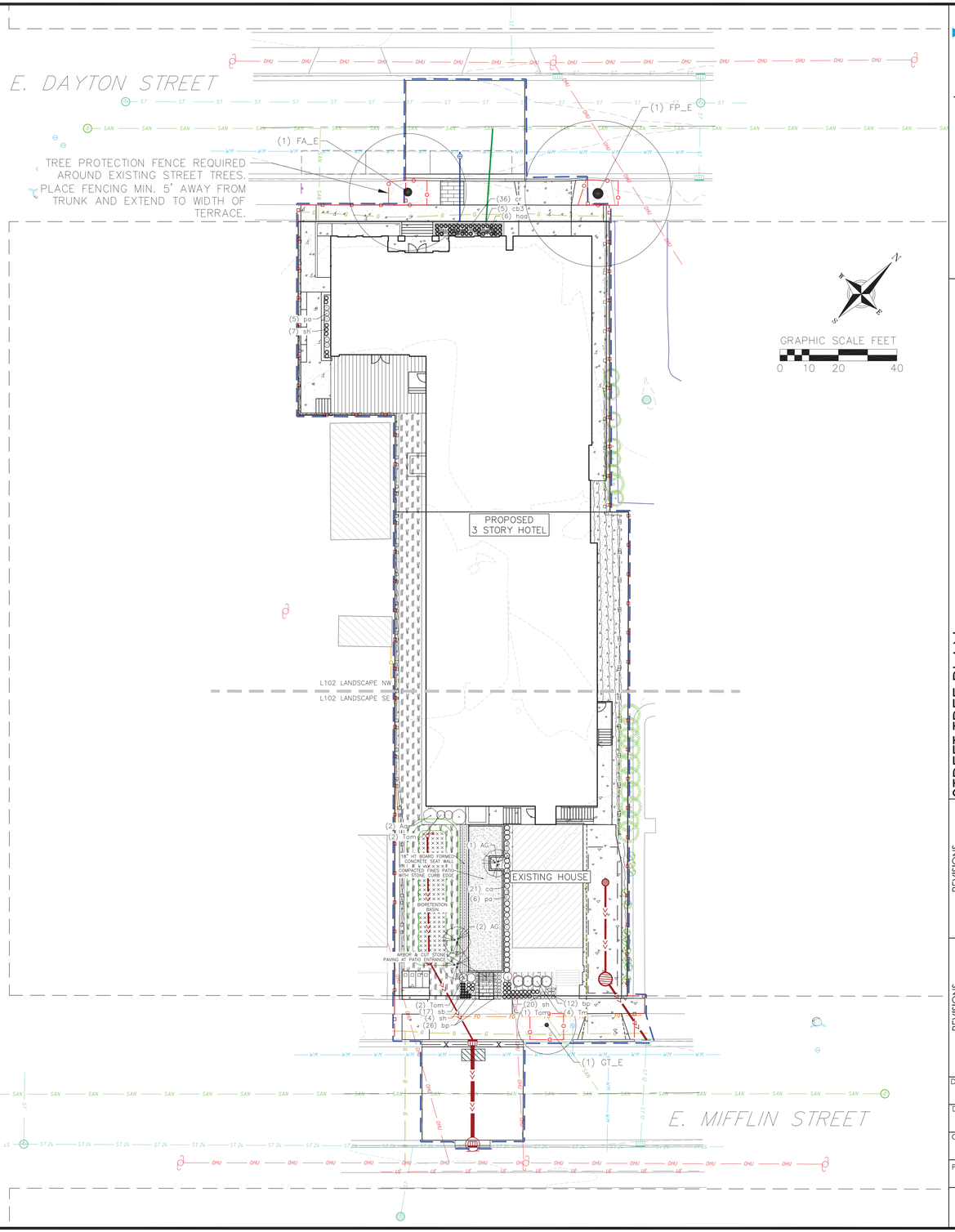
2. As defined by Section 107.13 of City of Madison Standard Specifications for Public Works Construction: No excavation is permitted within 5 feet of the trunk of the street tree or when cutting roots over 3 inches in diameter. If excavation is necessary, the Contractor shall contact Madison City Forestry (266–4816) prior to excavation. City of Madison Forestry personnel shall assess the impact to the tree and to its root system prior to work commencing. Tree protection specifications can be found on the following website:
https: //www.cityofmadison.com/business/pw/specs.cfm

3. Contractor shall take precautions during construction to not disfigure, scar, or impair the health of any street tree. Contractor shall operate equipment in a manner as to not damage the branches of the street tree(s). This may require using smaller equipment and loading and unloading materials in a designated space away from trees on the construction site. Any damage or injury to existing street trees (either above or below ground) shall be reported immediately to City Forestry at 266–4816. Penalties and remediation shall be required.

4. Section 107.13(g) of City of Madison Standard Specifications for Public Works Construction addresses soil compaction near street trees and shall be followed by Contractor. The storage of parked vehicles, construction equipment, building materials, refuse, excavated spoils or dumping of poisonous materials on or around trees and roots within five (5) feet of the tree or within the protection zone is prohibited.

5. On this project, street tree protection zone fencing is required. The fencing shall be erected before the demolition, grading or construction begins. The fence shall include the entire width of terrace and, extend at least 5 feet on both sides of the outside edge of the tree trunk. Do not remove the fencing to allow for deliveries or equipment access through the tree protection zone.

6. Street tree pruning shall be coordinated with City Forestry a minimum of two weeks prior to the start of construction. Contact City Forestry at 608.266.4816. All pruning shall follow the American National Standards Institute (ANSI) A300–Part 1 Standards for pruning.



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REVISIONS

NO.	DATE	REMARKS

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NO.	DATE	REMARKS

STREET TREE PLAN

615 E. DAYTON STREET
CITY OF MADISON
DANE COUNTY, WI

DATE 2022–03–28
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CHECKED JKAS
PROJECT NO. 210331

L100

08 Apr 2022 - 3:20p C:\Users\svin\appdata\local\temp\AcPublish_14920\210331_Landscape.dwg by: svin

PLANT SCHEDULE

EXISTING STREET TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
FA_E	Fraxinus americana / White Ash	Existing			1
FP_E	Fraxinus pennsylvanica / Green Ash	Existing			1
GT_E	Gleditsia triacanthos / Honey Locust	Existing			1
UNDERSTORY TREES	**BOTANICAL / COMMON NAME**	**ROOT COND.**	**SIZE**	**NOTES**	**QTY**
AG	Amelanchier x grandiflora 'Robin Hill' / Robin Hill Apple Serviceberry	B & B	6' ht.	Multi-Stem	3
DECIDUOUS SHRUBS	**BOTANICAL / COMMON NAME**	**ROOT COND.**	**SIZE**	**NOTES**	**QTY**
Aa	Aronia arbutifolia 'Brillantissima' / Brilliant Red Chokeberry	Cont.	5 Gal.		2
EVERGREEN SHRUBS	**BOTANICAL / COMMON NAME**	**ROOT COND.**	**SIZE**	**NOTES**	**QTY**
Tm	Taxus x media 'Everlow' / Everlow Yew	Cont.	5 Gal.		4
Tom	Thuja occidentalis 'Hetz Midget' / Hetz Midget Arborvitae	Cont.	5 Gal.		5
PERENNIALS	**BOTANICAL / COMMON NAME**	**ROOT COND.**	**SIZE**	**NOTES**	**QTY**
bp	Bergenia purpurascens / Purple Bergenia	Cont.	4 In		38
ca	Calamagrostis x acutiflora 'Overdam' / Overdam Feather Reed Grass	Cont.	1 Gal.		21
cr	Carex rosea / Rosy Sedge	Cont.	4 In		36
cb3	Cimicifuga racemosa 'Brunette' / Snakeroot	Cont.	4 In		5
haa	Hosta x 'Awakening Angel' / Awakening Angel Hosta	Cont.	4 In		6
pa	Perovskia atriplicifolia 'Little Spire' / Little Spire Russian Sage	Cont.	1 Gal.		11
sh	Sporobolus heterolepis / Prairie Dropseed	Cont.	1 Gal.		31
sb	Stachys byzantina 'Big Ears' / Big Ears Lamb's Ear	Cont.	1 Gal.		17

PLUG, SEEDING & AGGREGATE SCHEDULE

	BIO-RETENTION PLUGS	390 sf
	Allium cernuum / Nodding Onion	33
	Baptisia alba / White Wild Indigo	25
	Carex comosa / Bottlebrush Sedge	41
	Carex hystericina / Porcupine Sedge	41
	Carex stipata / Awl-fruited Sedge	41
	Carex vulpinoidea / Fox Sedge	41
	Iris virginica / Blue Flag Iris	33
	Liatris pycnostachya / Gayfeather	33
	Lobelia cardinalis / Cardinal Flower	25
	Lobelia siphilitica / Great Lobelia	33
	Monarda fistulosa / Bergamot	33
	Rudbeckia hirta / Black-eyed Susan	33
	NO-MOW SEEDING	1,754 sf
	–	
	COMPACTED FINE AGGREGATE PATIO	548 sf
	–	
	1" QUARTZ STONE MULCH	1,520 sf
	–	

PLANT MATERIAL NOTES:

1. ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
2. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
3. CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
4. ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.

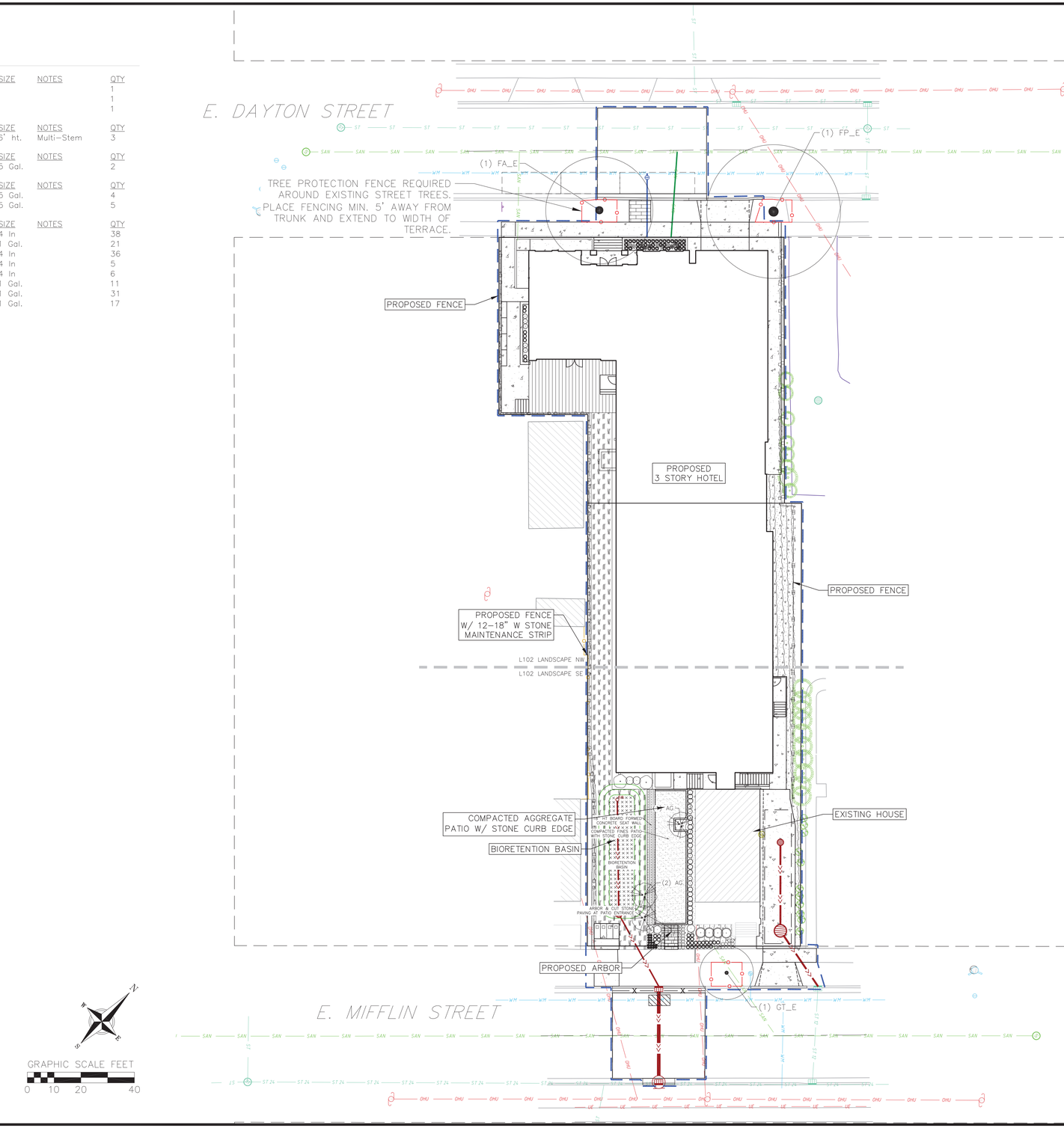
LANDSCAPE MATERIAL NOTES:

1. CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEEDED/SODDED.
2. LANDSCAPE BEDS TO BE MULCHED WITH 1" PURPLE QUARTZ STONE (REGAL AMETHYST) TO 3" DEPTH MIN. OVER WEED BARRIER FABRIC. EDGE BEDS WITH COMMERCIAL GRADE ALUMINUM LANDSCAPE EDGING, PERMALOC CLEANLINE $\frac{1}{8}$"X4" OR EQUAL, COLOR BLACK ANODIZED.

SEEDING AND PLUG PLANTING NOTES:

1. STREET TERRACES AND ALL OTHER DISTURBED AREAS, UNLESS OTHERWISE NOTED, TO BE SEEDED WITH 'MADISON PARKS' MIX BY 'LACROSSE SEED COMPANY' OR EQUIVALENT, PER MANUFACTURER'S SPECIFIED APPLICATION RATES. ALL SEEDED AREAS ARE TO BE WATERED DAILY TO MAINTAIN ADEQUATE SOIL MOISTURE FOR PROPER GERMINATION. AFTER VIGOROUS GROWTH IS ESTABLISHED, APPLY $\frac{1}{2}$" WATER TWICE WEEKLY UNTIL FINAL ACCEPTANCE.
2. INSTALL BIORETENTION PLUG PLANTINGS AS 2" X 2" X 4" DEEP PLUGS, 12" ON CENTER IN A TRIANGULAR GRID PATTERN. PLANT SPECIES IN ODD NUMBERED GROUPS OF 5-9 PLANTS, DISTRIBUTING EACH SPECIES RANDOMLY ACROSS PLANTING AREA FOR NATURAL APPEARANCE.

NOT FOR CONSTRUCTION



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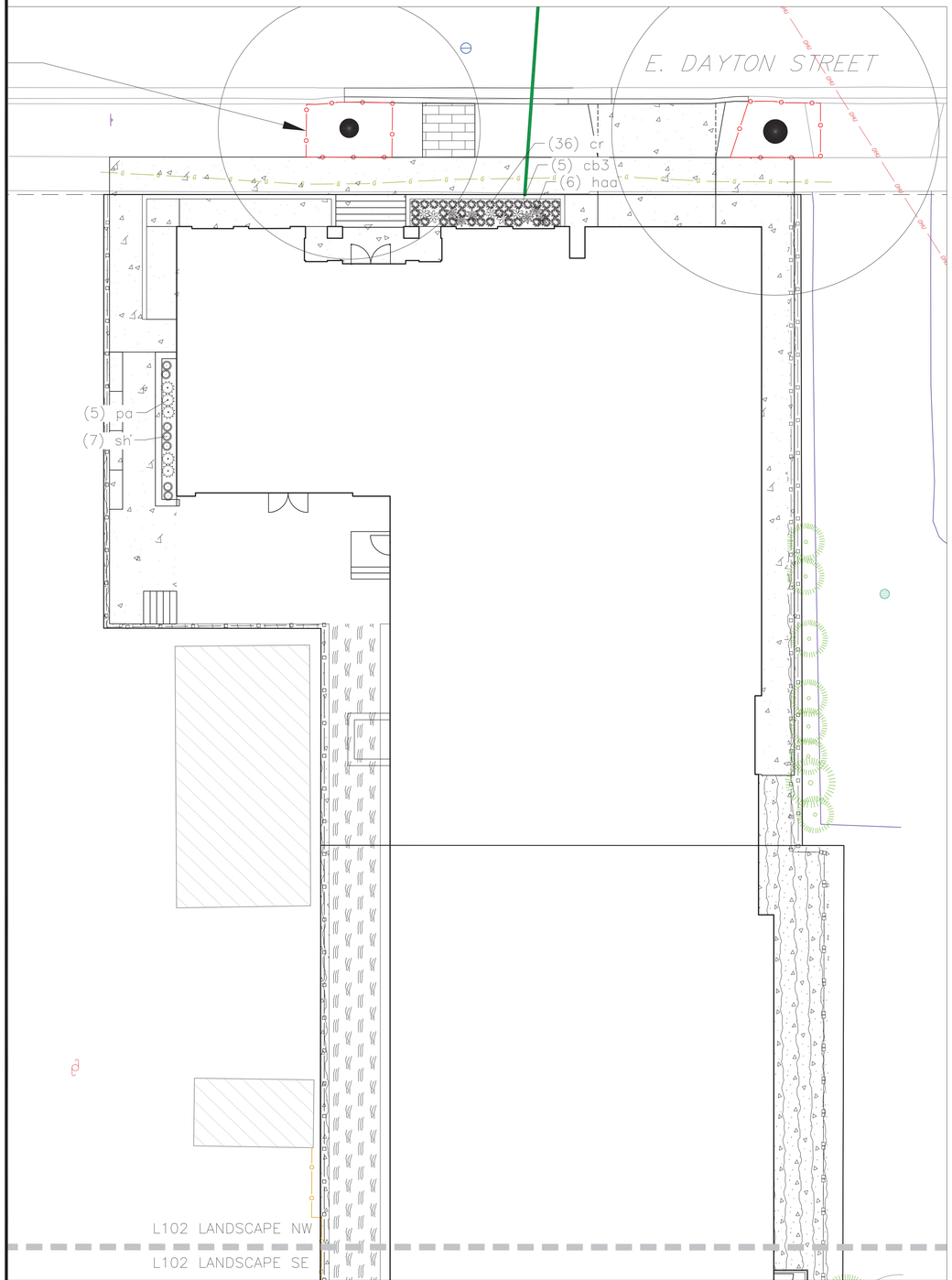
LANDSCAPE PLAN OVERVIEW
615 E. DAYTON STREET
CITY OF MADISON
DANE COUNTY, WI

REVISIONS			
NO.	DATE	REMARKS	
NO.	DATE	REMARKS	

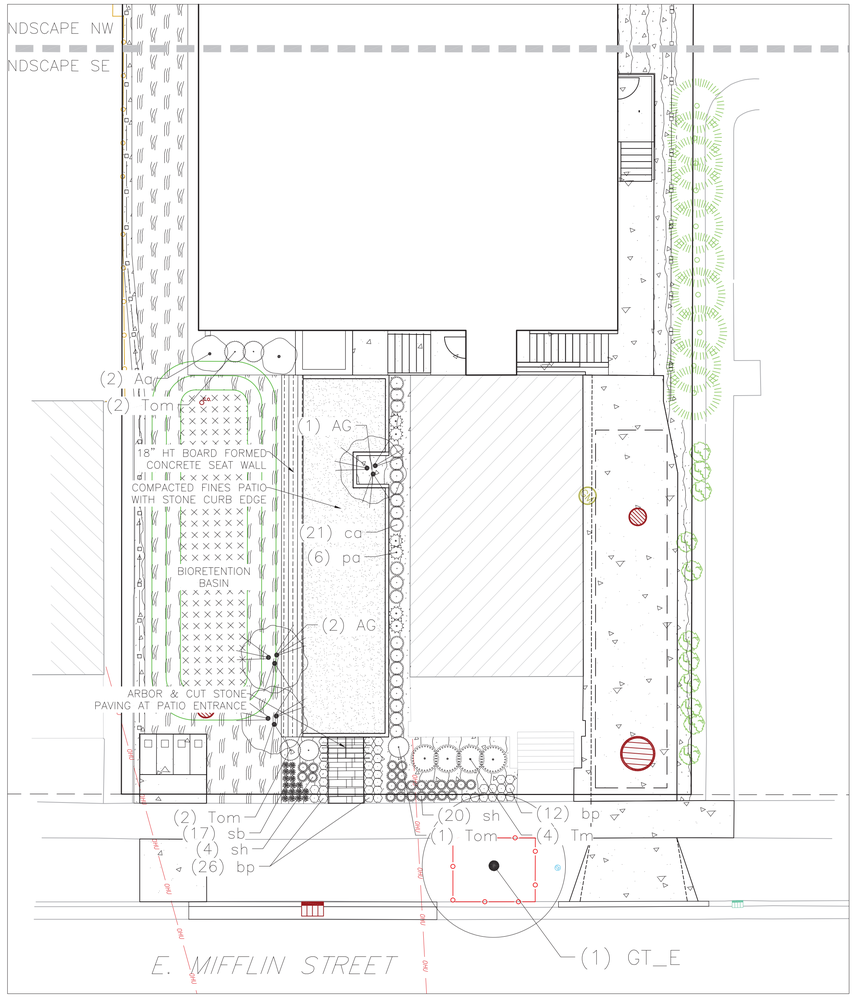
DATE 2022-03-28
DRAFTER SVIN
CHECKED JKAS
PROJECT NO. 210331

L101

LANDSCAPE PLAN: NORTHWEST



LANDSCAPE PLAN: SOUTHEAST



PLUGS, SEEDING & AGGREGATES

	BIO-RETENTION PLUGS	390 sf
	Allium cernuum / Nodding Onion	33
	Baptisia alba / White Wild Indigo	25
	Carex comosa / Bottlebrush Sedge	41
	Carex hystericina / Porcupine Sedge	41
	Carex stipata / Awl-fruited Sedge	41
	Carex vulpinoidea / Fox Sedge	41
	Iris virginica / Blue Flag Iris	33
	Liatris pycnostachya / Gayfeather	33
	Lobelia cardinalis / Cardinal Flower	25
	Lobelia siphilitica / Great Lobelia	33
	Monarda fistulosa / Bergamot	33
	Rudbeckia hirta / Black-eyed Susan	33
	NO-MOW SEEDING	1,754 sf
	–	
	COMPACTED FINE AGGREGATE PATIO	548 sf
	–	
	1" QUARTZ STONE MULCH	1,520 sf
	–	

PLANT SCHEDULE

EXISTING STREET TREES	BOTANICAL / COMMON NAME
FA_E	Fraxinus americana / White Ash
FP_E	Fraxinus pennsylvanica / Green Ash
GT_E	Gleditsia triacanthos / Honey Locust

UNDERSTORY TREES	BOTANICAL / COMMON NAME
AG	Amelanchier x grandiflora 'Robin Hill' / Robin Hill Apple Serviceberry

DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME
Aa	Aronia arbutifolia 'Brilliantissima' / Brilliant Red Chokeberry

EVERGREEN SHRUBS	BOTANICAL / COMMON NAME
Tm	Taxus x media 'Everlow' / Everlow Yew
Tom	Thuja occidentalis 'Hetz Midget' / Hetz Midget Arborvitae

PERENNIALS	BOTANICAL / COMMON NAME
bp	Bergenia purpurascens / Purple Bergenia
ca	Calamagrostis x acutiflora 'Overdam' / Overdam Feather Reed Grass
cr	Carex rosea / Rosy Sedge
cb3	Cimicifuga racemosa 'Brunette' / Snakeroot
haa	Hosta x 'Awakening Angel' / Awakening Angel Hosta
pa	Perovskia atriplicifolia 'Little Spire' / Little Spire Russian Sage
sh	Sporobolus heterolepis / Prairie Dropseed
sb	Stachys byzantina 'Big Ears' / Big Ears Lamb's Ear

GRAPHIC SCALE FEET
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NO.	DATE	REMARKS

LANDSCAPE PLAN

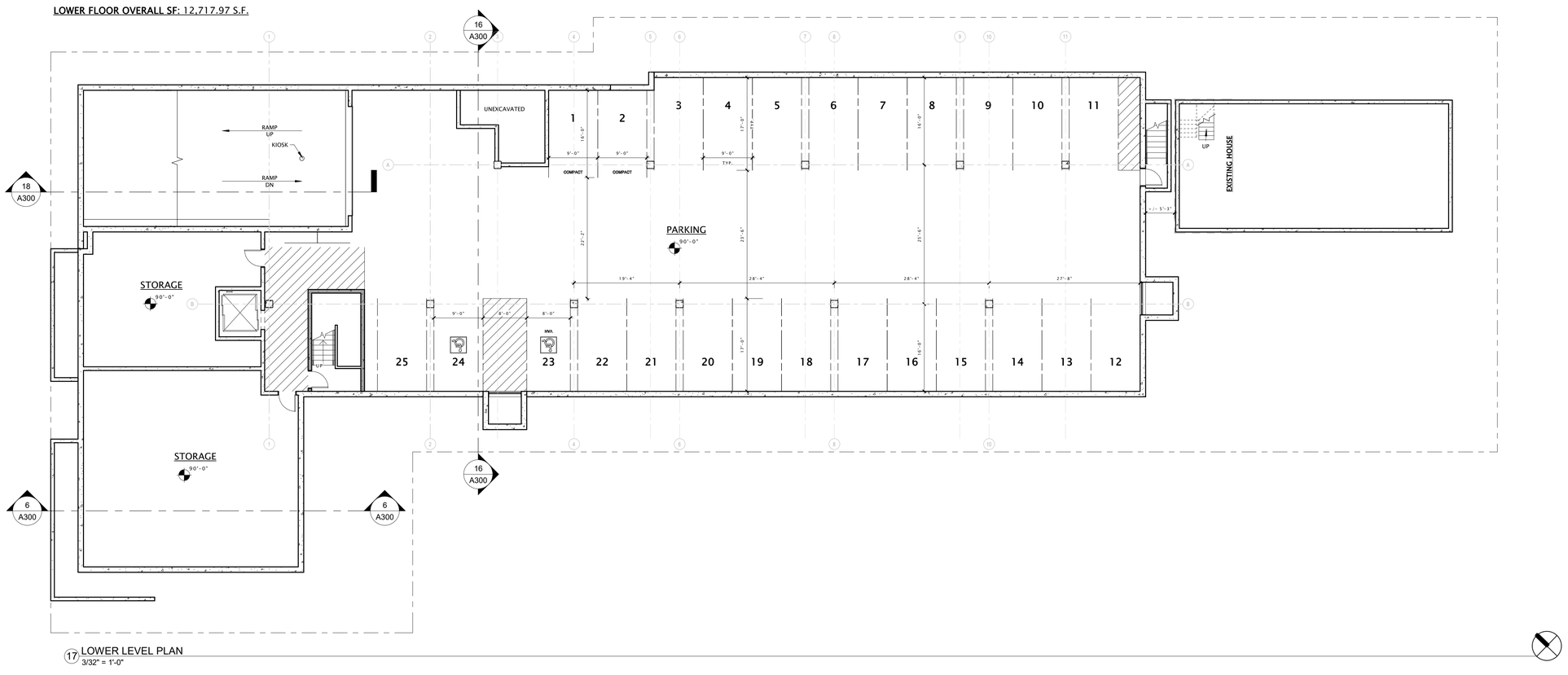
615 E. DAYTON STREET
CITY OF MADISON
DANE COUNTY, WI

DATE 2022-03-28
DRAFTER SVIN
CHECKED JKAS
PROJECT NO. 210331

L102

08 Apr 2022 - 3:25p M:\McGrath Property Group\210331_615 E Dayton\CADD\210331_Landscape.dwg by: svin

LOWER FLOOR OVERALL SF: 12,717.97 S.F.



17 LOWER LEVEL PLAN
3/32" = 1'-0"

4/11/2022 8:07:24 AM

JLA ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

Eastman Lee Architects

JLA PROJECT NUMBER: 21-1006

McGRATH Property Group

DAYTON-MIFFLIN HOTEL

SCHEMATIC DESIGN

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE APRIL 11, 2022

REVISION SCHEDULE

Mark	Description	Date

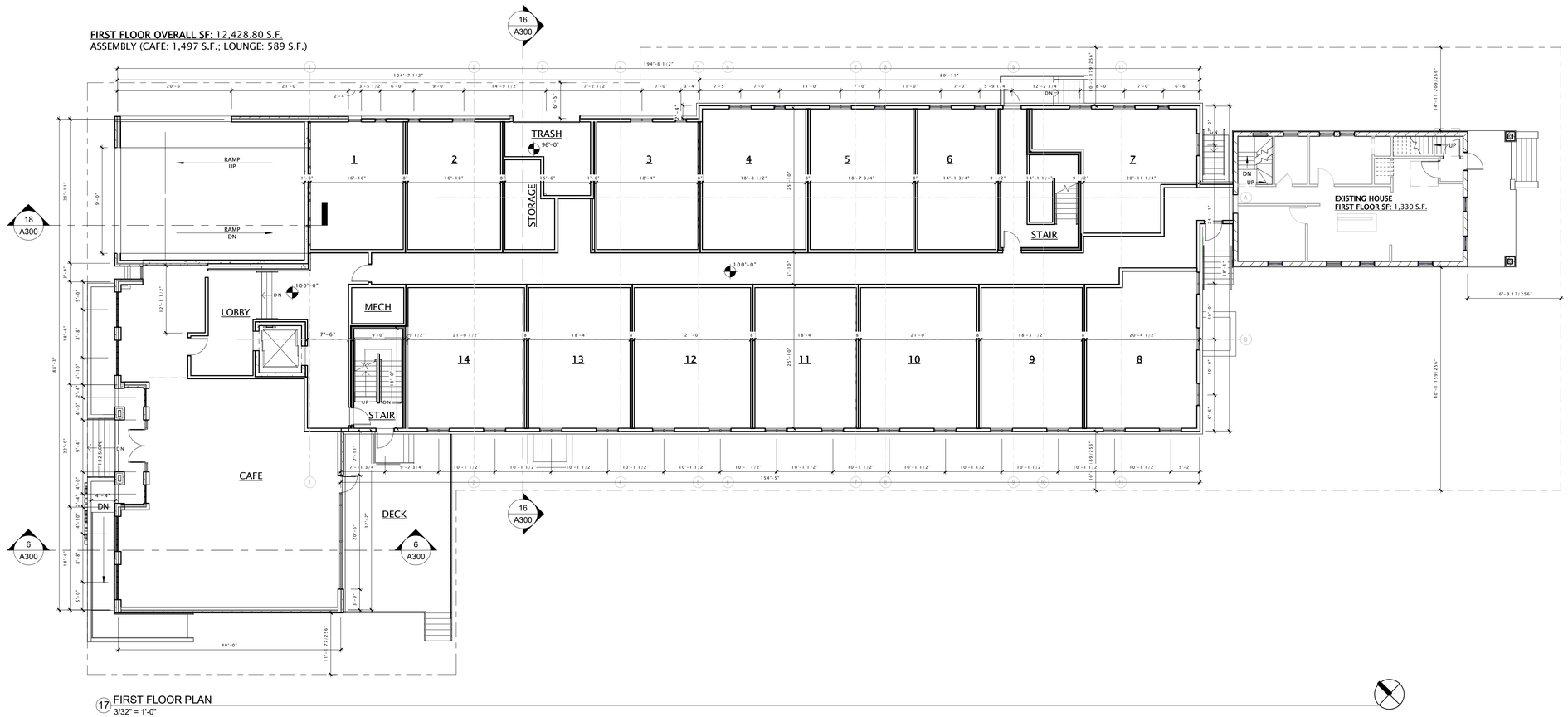
SHEET TITLE

LOWER LEVEL PLAN

SHEET NUMBER

A100

FIRST FLOOR OVERALL SF: 12,428.80 S.F.
ASSEMBLY (CAFE: 1,497 S.F.; LOUNGE: 589 S.F.)



17 FIRST FLOOR PLAN
3/32" = 1'-0"

4/11/2022 8:07:24 AM

JLA ARCHITECTS
MADISON : MILWAUKEE
jla-ap.com

Eastman Lee Architects

JLA PROJECT NUMBER: 21-1006

McGRATH Property Group

DAYTON-MIFFLIN HOTEL

SCHEMATIC DESIGN

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE APRIL 11, 2022

REVISION SCHEDULE

Mark	Description	Date

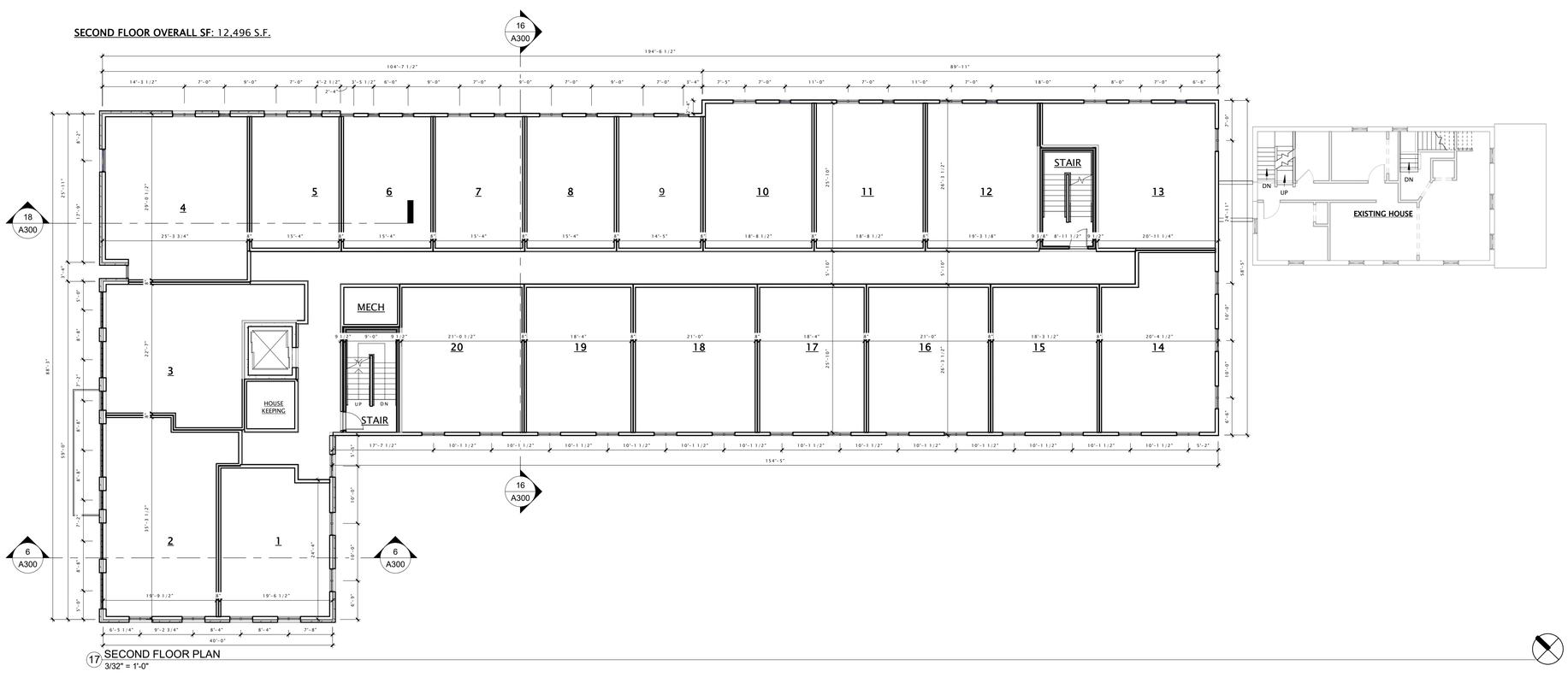
SHEET TITLE

FIRST FLOOR PLAN

SHEET NUMBER

A101

SECOND FLOOR OVERALL SF: 12,496 S.F.



17 SECOND FLOOR PLAN
3/32" = 1'-0"

4/11/2022 8:07:25 AM

JLA ARCHITECTS

MADISON : MILWAUKEE
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Eastman Lee Architects

JLA PROJECT NUMBER: 21-1006

McGRATH Property Group

DAYTON-MIFFLIN HOTEL

SCHEMATIC DESIGN

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DATE OF ISSUANCE APRIL 11, 2022

REVISION SCHEDULE

Mark	Description	Date

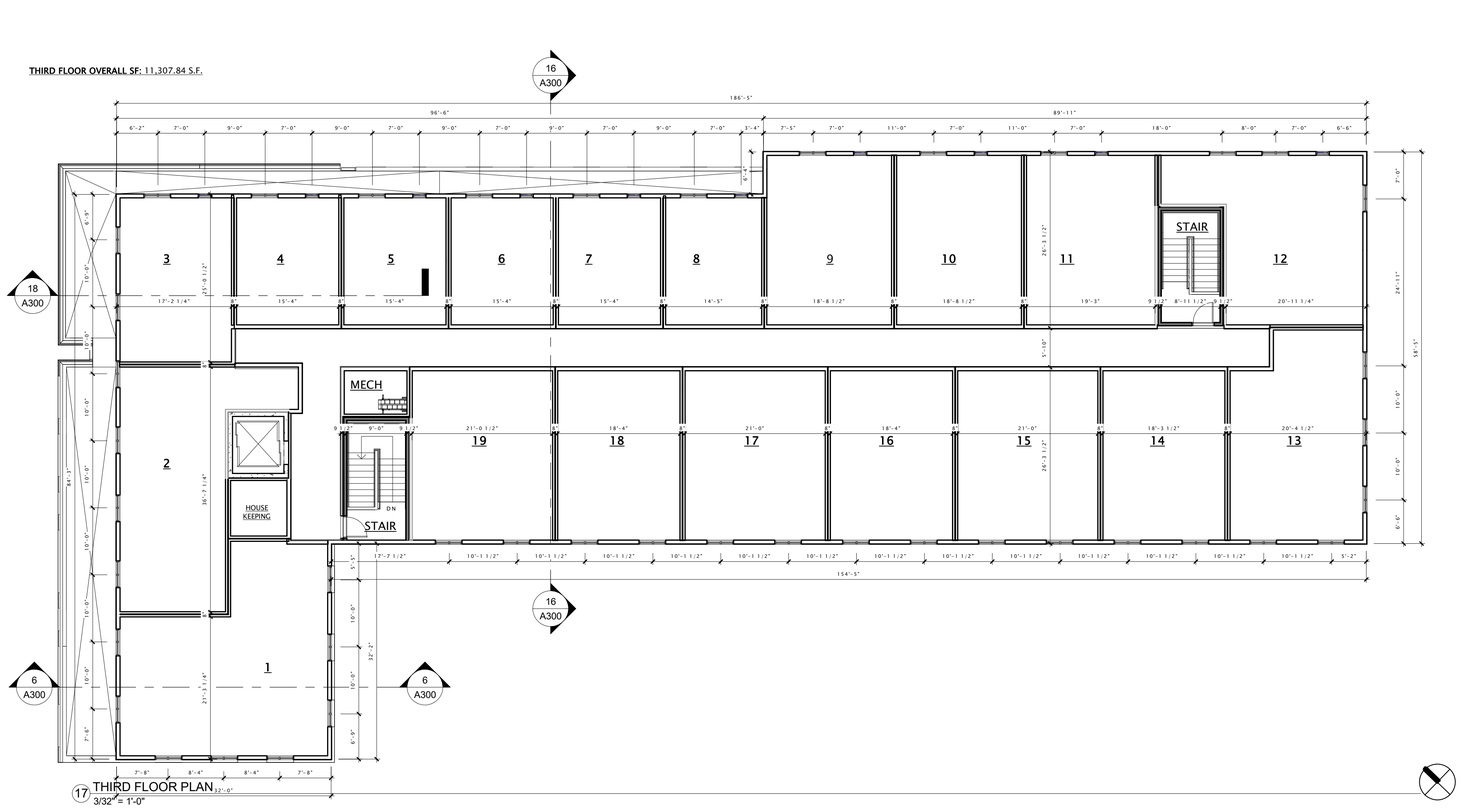
SHEET TITLE

SECOND FLOOR PLAN

SHEET NUMBER

A102

THIRD FLOOR OVERALL SF: 11,307.84 S.F.



JLA ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

Eastman Lee Architects

JLA PROJECT NUMBER: 21-1006

McGRATH Property Group

DAYTON-MIFFLIN HOTEL

SCHEMATIC DESIGN

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REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

THIRD FLOOR PLAN

SHEET NUMBER

A103

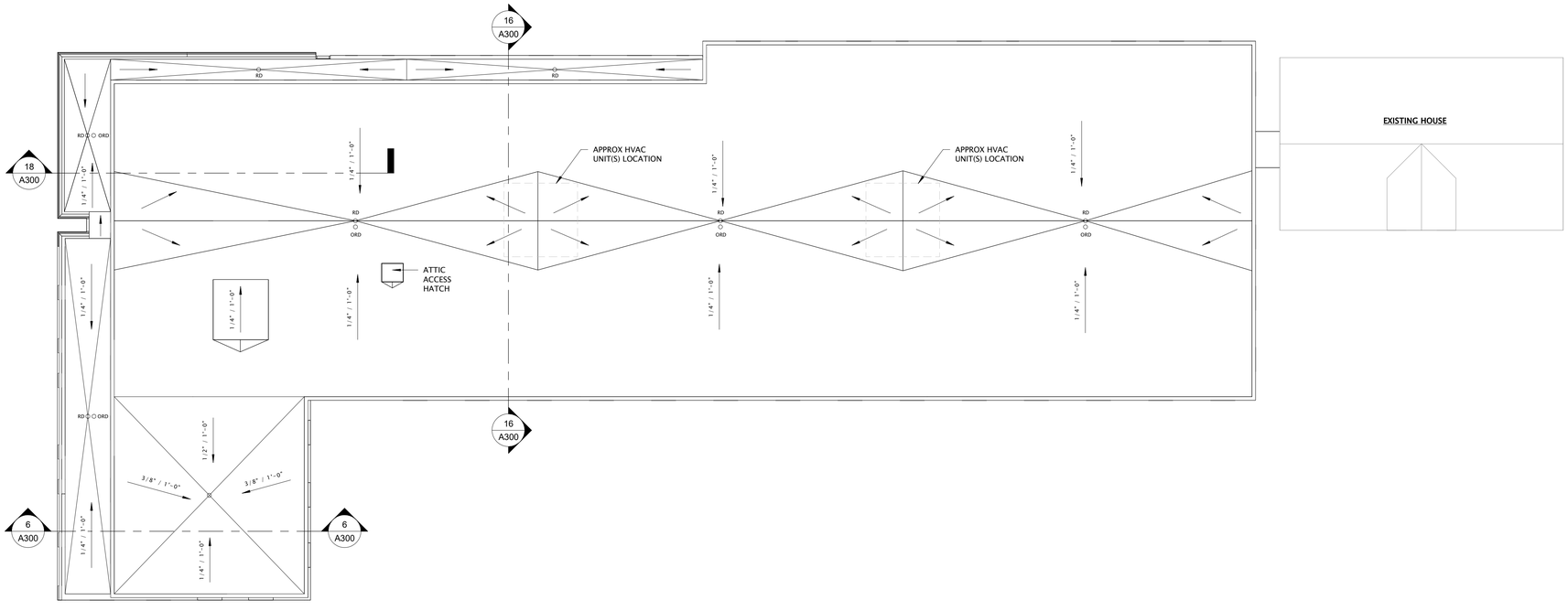
4/11/2022 8:07:25 AM

JLA
ARCHITECTS
MADISON : MILWAUKEE
jla-ap.com

Eastman
Lee
Architects

JLA PROJECT NUMBER: 21-1006

McGRATH
Property Group



16 ROOF PLAN
3/32" = 1'-0"

DAYTON-MIFFLIN HOTEL

SCHEMATIC DESIGN

PROGRESS DOCUMENTS

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REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

ROOF PLAN

SHEET NUMBER

A110

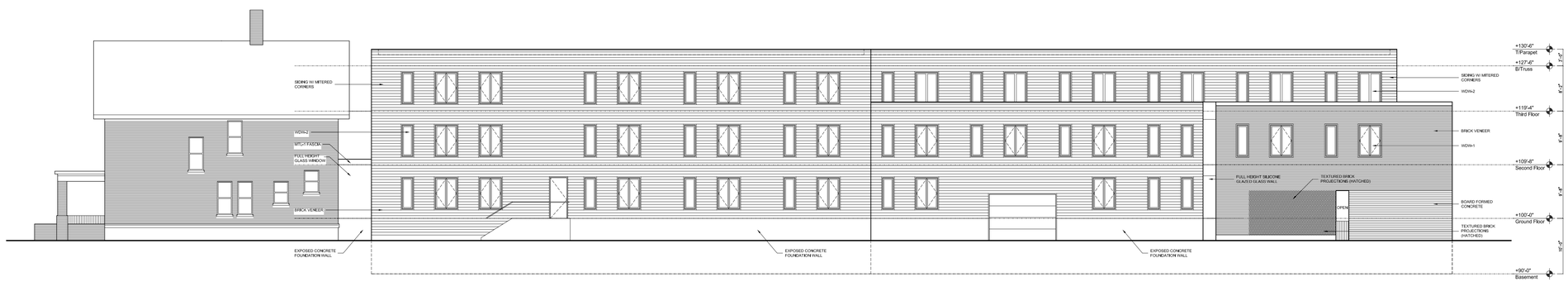
4/11/2022 9:41:16 AM

EXTERIOR MATERIALS LEGEND

TAG	DESCRIPTION	MANUFACTURER	TYPE / STYLE	COLOR / APPEARANCE
BRICK-1	BRICK VENEER	TBD	TBD	RED ORANGE BLEND
MTL-1	METAL CANOPY AND LINTELS	TBD	TBD	BLACK
SIDING	6" PAINTED SIDING	TBD	TBD	WARM GREY
CONC-1	BOARD FORMED CONCRETE	-	-	EXPOSED CONCRETE W/ BOARD FORMED TEXTURE
CONC-2	ACID ETCHED PRECAST CONCRETE	TBD	TBD	COLOR TO MATCH BRICK
WDW-1	FIBERGLASS WINDOWS AT BRICK	TBD	TBD	BLACK
WDW-2	FIBERGLASS WINDOWS AT WOOD SIDING	TBD	TBD	WARM GREY

North Elevation

scale: 3/32" = 1'-0"



East Elevation

scale: 3/32" = 1'-0"

4/8/2022 12:38:33 PM

JLA ARCHITECTS

MADISON : MILWAUKEE

jla-ap.com

Eastman Lee Architects

DESIGN ARCHITECT

JLA PROJECT NUMBER: 21-1006

McGRATH Property Group

DAYTON-MIFFLIN HOTEL

SCHEMATIC DESIGN

PROGRESS DOCUMENTS

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DATE OF ISSUANCE APRIL 11, 2022

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

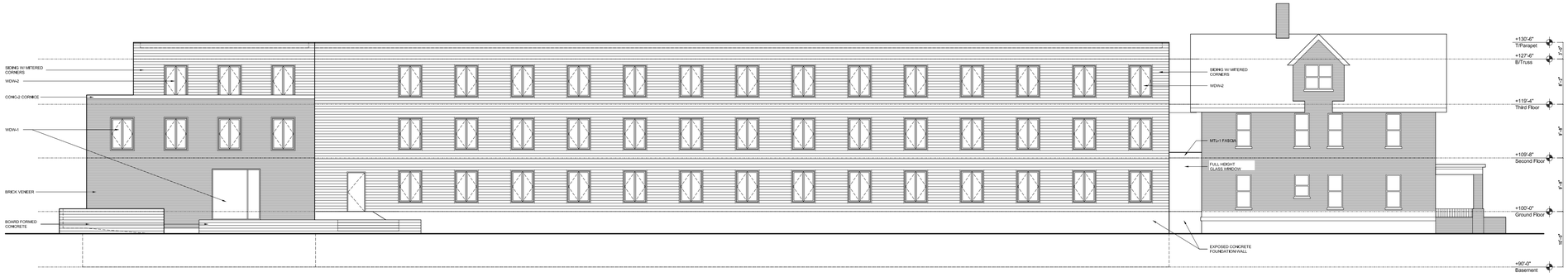
EXTERIOR ELEVATIONS

SHEET NUMBER

A200

EXTERIOR MATERIALS LEGEND

TAG	DESCRIPTION	MANUFACTURER	TYPE / STYLE	COLOR / APPEARANCE
BRICK-1	BRICK VENEER	TBD	TBD	RED ORANGE BLEND
MTL-1	METAL CANOPY AND LINTELS	TBD	TBD	BLACK
SIDING	6" PAINTED SIDING	TBD	TBD	WARM GREY
CONC-1	BOARD FORMED CONCRETE	-	-	EXPOSED CONCRETE W/ BOARD FORMED TEXTURE
CONC-2	ACID ETCHED PRECAST CONCRETE	TBD	TBD	COLOR TO MATCH BRICK
WDW-1	FIBERGLASS WINDOWS AT BRICK	TBD	TBD	BLACK
WDW-2	FIBERGLASS WINDOWS AT WOOD SIDING	TBD	TBD	WARM GREY



West Elevation

scale: 3/32" = 1'-0"

South Elevation

scale: 3/32" = 1'-0"

JLA ARCHITECTS

MADISON : MILWAUKEE

jla-ap.com

Eastman Lee Architects

DESIGN ARCHITECT

JLA PROJECT NUMBER: 21-1006

McGRATH Property Group

DAYTON-MIFFLIN HOTEL

SCHEMATIC DESIGN

PROGRESS DOCUMENTS

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DATE OF ISSUANCE APRIL 11, 2022

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A201

EXTERIOR MATERIALS LEGEND

TAG	DESCRIPTION	MANUFACTURER	TYPE / STYLE	COLOR / APPEARANCE
BRICK-1	BRICK VENEER	TBD	TBD	RED ORANGE BLEND
MTL-1	METAL CANOPY AND LINTELS	TBD	TBD	BLACK
SIDING	6" PAINTED SIDING	TBD	TBD	WARM GREY
CONC-1	BOARD FORMED CONCRETE	-	-	EXPOSED CONCRETE W/ BOARD FORMED TEXTURE
CONC-2	ACID ETCHED PRECAST CONCRETE	TBD	TBD	COLOR TO MATCH BRICK
WDW-1	FIBERGLASS WINDOWS AT BRICK	TBD	TBD	BLACK
WDW-2	FIBERGLASS WINDOWS AT WOOD SIDING	TBD	TBD	WARM GREY

North Elevation

scale: 3/32" = 1'-0"

East Elevation

scale: 3/32" = 1'-0"

4/8/2022 12:38:53 PM

JLA ARCHITECTS

MADISON : MILWAUKEE

jla-ap.com

Eastman Lee Architects

DESIGN ARCHITECT

JLA PROJECT NUMBER: 21-1006

McGRATH Property Group

DAYTON-MIFFLIN HOTEL

SCHEMATIC DESIGN

PROGRESS DOCUMENTS

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DATE OF ISSUANCE APRIL 11, 2022

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A202

EXTERIOR MATERIALS LEGEND

TAG	DESCRIPTION	MANUFACTURER	TYPE / STYLE	COLOR / APPEARANCE
BRICK-1	BRICK VENEER	TBD	TBD	RED ORANGE BLEND
MTL-1	METAL CANOPY AND LINTELS	TBD	TBD	BLACK
SIDING	6" PAINTED SIDING	TBD	TBD	WARM GREY
CONC-1	BOARD FORMED CONCRETE	-	-	EXPOSED CONCRETE W/ BOARD FORMED TEXTURE
CONC-2	ACID ETCHED PRECAST CONCRETE	TBD	TBD	COLOR TO MATCH BRICK
WDW-1	FIBERGLASS WINDOWS AT BRICK	TBD	TBD	BLACK
WDW-2	FIBERGLASS WINDOWS AT WOOD SIDING	TBD	TBD	WARM GREY

West Elevation

scale: 3/32" = 1'-0"

South Elevation

scale: 3/32" = 1'-0"

JLA ARCHITECTS

MADISON : MILWAUKEE

jla-ap.com

Eastman Lee Architects

DESIGN ARCHITECT

JLA PROJECT NUMBER: 21-1006

McGRATH Property Group

DAYTON-MIFFLIN HOTEL

SCHEMATIC DESIGN

PROGRESS DOCUMENTS

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REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A203

Dayton Street Elevation

McGRATH PROPERTY GROUP

DESIGN ARCHITECT

Eastman Lee Architects

ARCHITECT OF RECORD

JLA ARCHITECTS

Dayton Hotel

609 E. Dayton Street | Madison, Wisconsin

Mifflin Street Elevation

DESIGN ARCHITECT

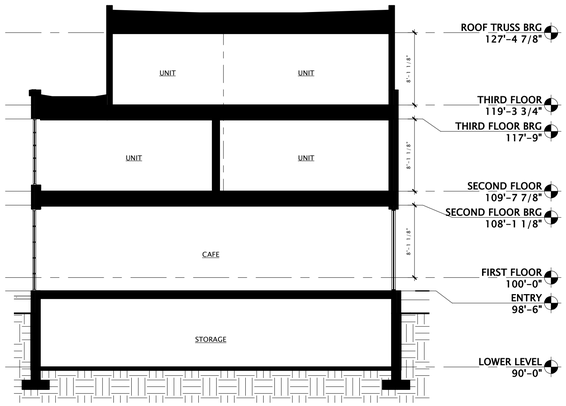
Eastman Lee Architects

ARCHITECT OF RECORD

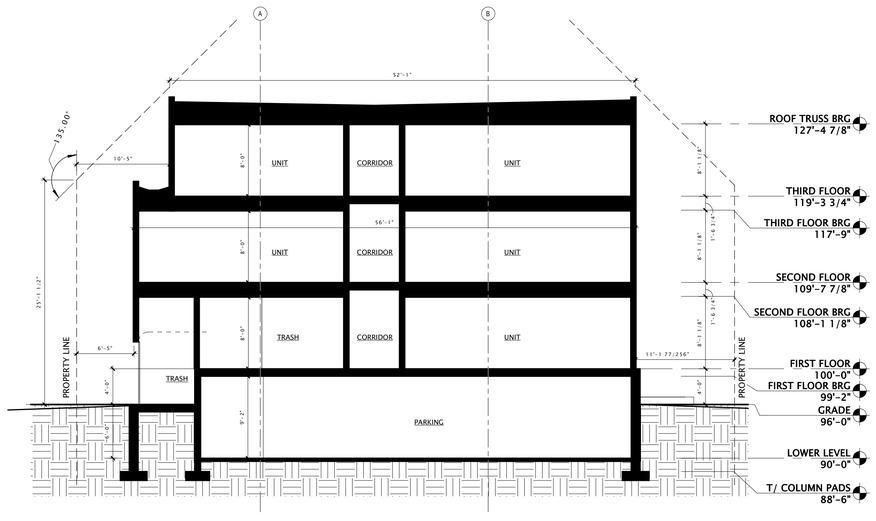
JLA ARCHITECTS

Dayton Hotel

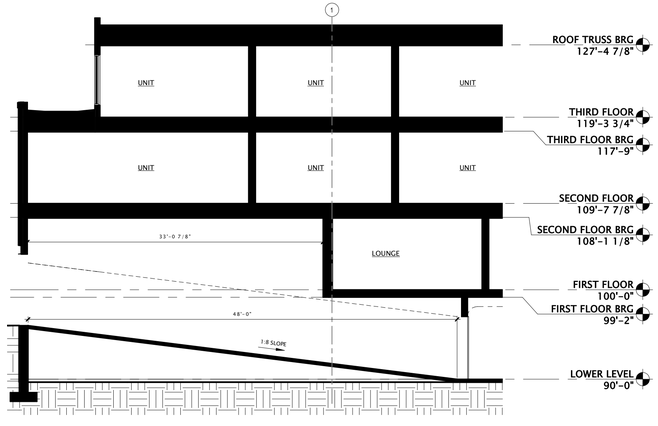
609 E. Dayton Street | Madison, Wisconsin



6 BUILDING SECTION
1/8" = 1'-0"



16 BUILDING SECTION
1/8" = 1'-0"



18 BUILDING SECTION
1/8" = 1'-0"

4/11/2022 9:29:18 AM

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DAYTON-MIFFLIN HOTEL

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REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

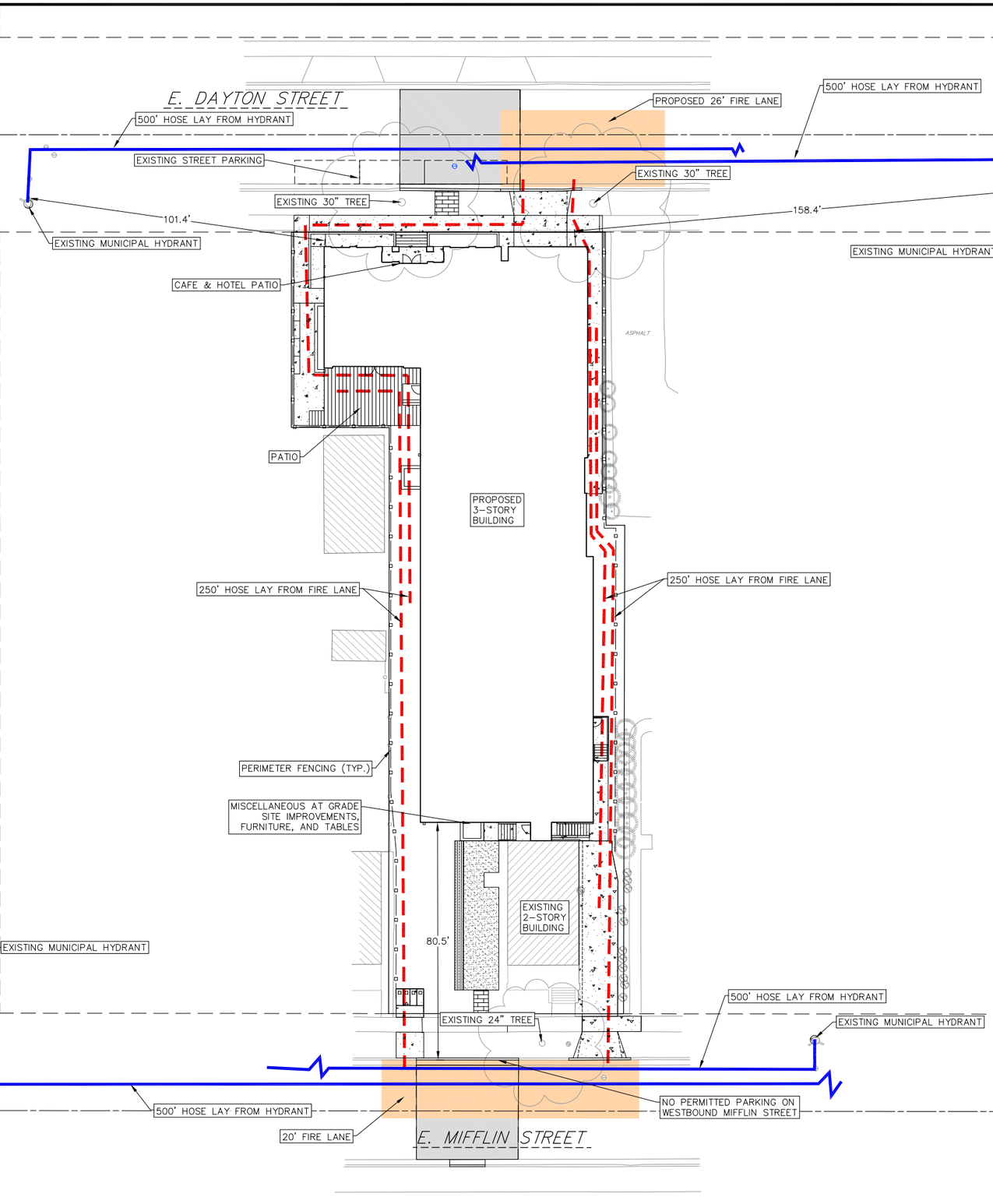
BUILDING SECTIONS

SHEET NUMBER

A300

GRAPHIC SCALE FEET
0 10 20 40

LINEWORK LEGEND
- 500' HOSE LAY FROM HYDRANT
- 250' HOSE LAY FROM FIRE LANE
- FIRE LANE



NOT FOR CONSTRUCTION

vierbicher
planners | engineers | advisors
Phone: (800) 261-3898

FIRE ACCESS PLAN

615 E DAYTON ST
CITY OF MADISON
DANE COUNTY, WI

REVISIONS			
NO.	DATE	REMARKS	

REVISIONS			
NO.	DATE	REMARKS	

DATE 2022-2-1
DRAFTER CLAN
CHECKED ####
PROJECT NO. 210331

EXH 1