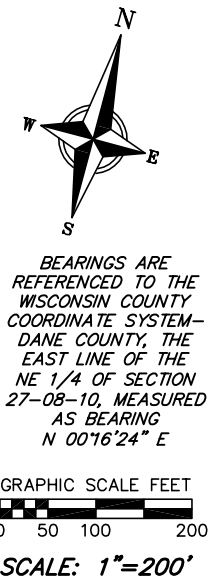
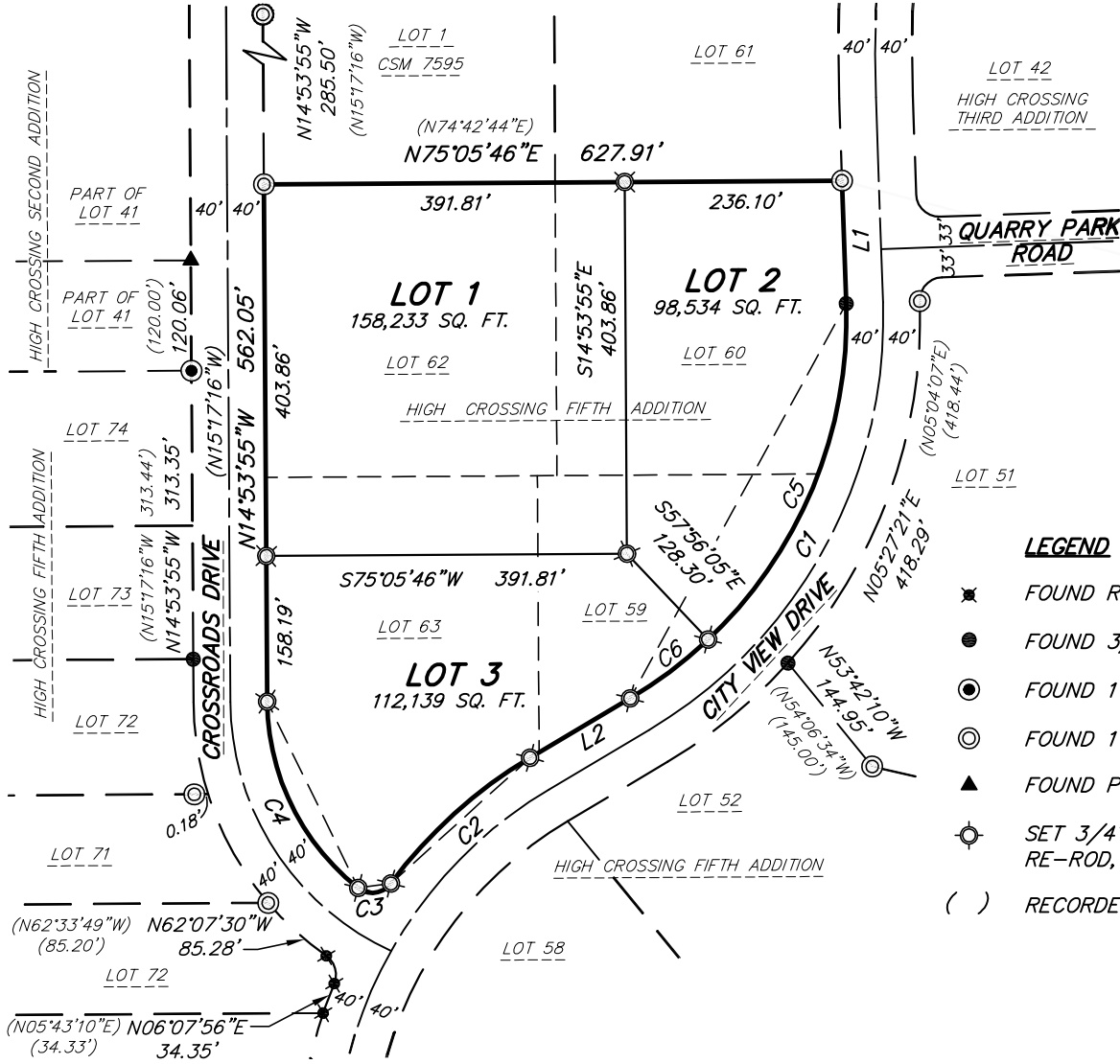


# CERTIFIED SURVEY MAP No. \_\_\_\_\_

ALL OF LOTS 59, 60, 62, 63, HIGH CROSSING FIFTH ADDITION, LOCATED IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 27, TOWNSHIP 08 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN



### LEGEND

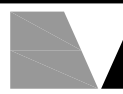
- ✖ FOUND RR SPIKE
- FOUND 3/4" Ø IRON ROD
- ⊙ FOUND 1 1/4" Ø IRON ROD
- ⊕ FOUND 1" Ø IRON PIPE
- ▲ FOUND PK NAIL
- ⊗ SET 3/4" x 18" SOLID IRON RE-ROD, MIN. WT. 1.50 lbs./ft.
- ( ) RECORDED AS INFORMATION

| LINE NO. | DIRECTION   | LENGTH  | DIRECTION     |
|----------|-------------|---------|---------------|
| L1       | S16°29'04"E | 133.58' | (S16°52'12"E) |
| L2       | S44°45'08"W | 126.52' | (S44°22'00"W) |

**NOTE:**  
SEE SHEETS 2 & 3 FOR NOTES.  
SEE SHEETS 4 & 5 FOR EASEMENTS.

| Curve # | Radius | Length   | Delta       | Chord Bearing | Chord Length | Tangent Bearing | Tangent Bearing |
|---------|--------|----------|-------------|---------------|--------------|-----------------|-----------------|
| C1      | 480.00 | 513.01   | 61°14'12"   | S14°08'02"W   | 488.94       |                 |                 |
| ( )     |        |          |             | (S13°44'54"W) |              |                 |                 |
| C2      | 515.00 | 205.02   | 22°48'34"   | S33°20'51"W   | 203.67       |                 | S21°56'34"W     |
| ( )     |        | (204.98) | (22°48'17") | (S32°57'52"W) | (203.63)     |                 | (S21°33'43"W)   |
| C3      | 25.00  | 40.06    | 91°49'19"   | S67°51'14"W   | 35.91        | S21°56'34"W     | N66°14'07"W     |
| ( )     |        |          | (91°49'04") | (S67°28'15"W) |              | (S21°33'43"W)   | (N66°37'13"W)   |
| C4      | 260.00 | 232.96   | 51°20'12"   | N40°34'01"W   | 225.24       | N66°14'07"W     |                 |
| ( )     |        | (232.94) | (51°19'57") | (N40°57'15"W) | (225.23)     | (N66°37'13"W)   |                 |
| C5      | 480.00 | 406.73   | 48°32'59"   | S07°47'26"W   | 394.67       |                 | S32°03'55"W     |
| C6      | 480.00 | 106.28   | 12°41'13"   | S38°24'32"W   | 106.07       | S32°03'55"W     |                 |

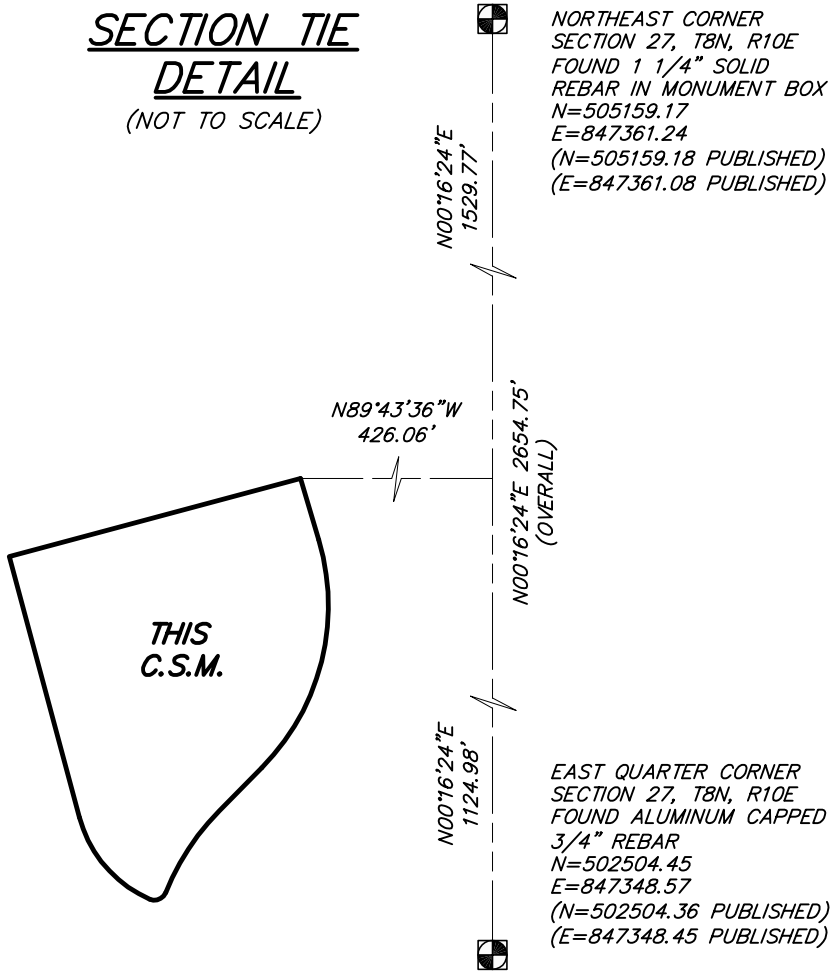
M:\Investors Associated\160397\_2305 Crossroads Dr\CADD\160397 - CSM.dwg by: pknv



# CERTIFIED SURVEY MAP No. \_\_\_\_\_

ALL OF LOTS 59, 60, 62, 63, HIGH CROSSING FIFTH ADDITION, LOCATED IN THE  
SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 27, TOWNSHIP 08 NORTH,  
RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN

## SECTION TIE DETAIL (NOT TO SCALE)



BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM—DANE COUNTY, THE EAST LINE OF THE NE 1/4 OF SECTION 27—08—10, MEASURED AS BEARING N 00°16'24" E

### NOTES:

- 1) ALL LOTS CREATED BY THIS CERTIFIED SURVEY ARE INDIVIDUALLY RESPONSIBLE FOR COMPLIANCE WITH CHAPTER 37 OF THE MADISON GENERAL ORDINANCES IN REGARD TO STORM WATER MANAGEMENT AT THE TIME THEY DEVELOP.
- 2) NO CHANGES IN DRAINAGE PATTERNS ASSOCIATED WITH DEVELOPMENT ON ANY OR ALL LOTS WITHIN THIS CERTIFIED SURVEY SHALL BE ALLOWED WITHOUT PRIOR APPROVAL OF THE CITY ENGINEER.
- 3) DRAINAGE EASEMENT REQUIREMENTS PER CITY OF MADISON ORDINANCE, CHAPTER 16.23(9)(d)2.(a. & b.).

A) All lots within this plat are subject to public easements for drainage purposes which shall be a minimum of 6-feet in width measured from the property line to the interior of each lot except that the easements shall be 12-feet in width on the perimeter of the plat. For purposes of two (2) or more lots combined for a single development site, or where two (2) or more lots have a shared driveway agreement, the public easement for drainage purposes shall be a minimum of six (6) feet in width and shall be measured only from the exterior property lines of the combined lots that create a single development site, or have a shared driveway agreement, except that the easement shall be twelve (12) feet in width along the perimeter of the plat. Easements shall not be required on property lines shared with greenways or public streets. No buildings, driveways, or retaining walls shall be placed in any easement for drainage purposes, without the approval of the City Engineer at the time of site plan review. Fences may be placed in the easement only if they do not impede the anticipated flow of water. NOTE: IN THE EVENT OF A CITY OF MADISON PLAN COMMISSION AND/OR COMMON COUNCIL APPROVED REDIVISION OF A PREVIOUSLY SUBDIVIDED PROPERTY, THE UNDERLYING PUBLIC EASEMENTS FOR DRAINAGE PURPOSES ARE RELEASED AND REPLACED BY THOSE REQUIRED AND CREATED BY THE CURRENT APPROVED SUBDIVISION.

B) The intra-block drainage easements shall be graded with the construction of each principle structure in accordance with the approved storm water drainage plan on file with the City Engineer and the Zoning Administrator, as amended in accordance with the Madison General Ordinances.

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REEDSBURG - MADISON - PRAIRIE DU CHIEN  
999 Fourier Drive, Suite 201 Madison, Wisconsin 53717  
Phone: (608) 826-0532 Fax: (608) 826-0530

DATE: 4-5-2017

REV:

Drafted By: PKNU

Checked By: MSCH

#### SURVEYED FOR:

1A City View, LLC  
810 Cardinal Lane  
Suite 100  
Hartland, WI 53029

Doc. No. \_\_\_\_\_

C.S.M. No. \_\_\_\_\_

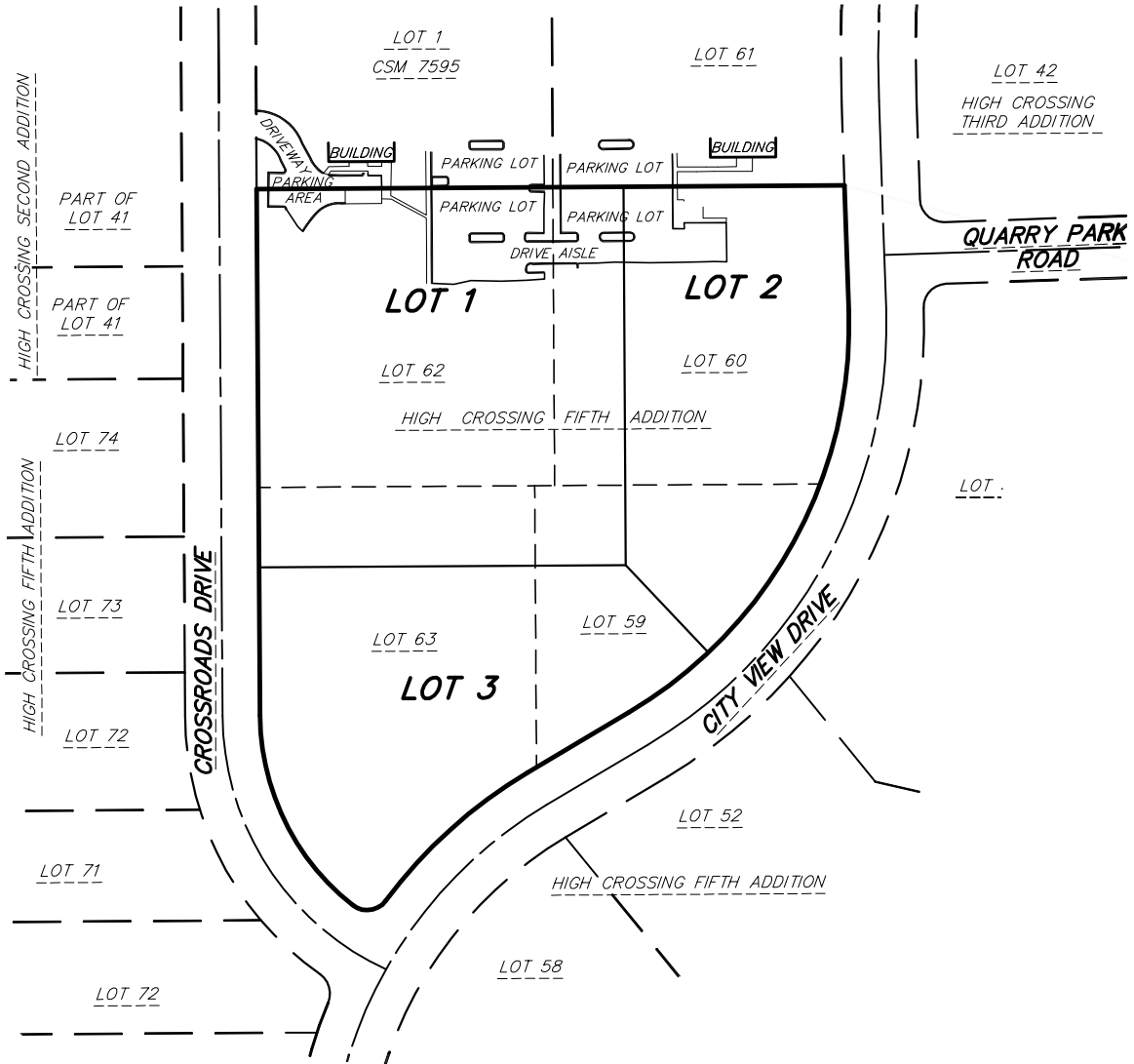
Vol. \_\_\_\_\_ Page \_\_\_\_\_

**SHEET  
2 OF 8**

# CERTIFIED SURVEY MAP No. \_\_\_\_\_

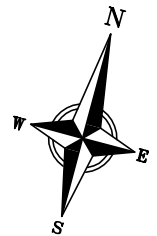
ALL OF LOTS 59, 60, 62, 63, HIGH CROSSING FIFTH ADDITION, LOCATED IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 27, TOWNSHIP 08 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN

## EXISTING SITE IMPROVEMENTS DETAIL

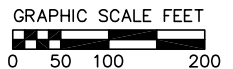


### NOTES – CONTINUED:

- 4) THIS CERTIFIED SURVEY IS SUBJECT TO THE DECLARATIONS OF RESTRICTIONS AND COVENANTS PER DOCUMENT NUMBERS 2464838, 2485517 AND 2564532.
- 5) THIS CERTIFIED SURVEY IS SUBJECT TO THE RESTATED DECLARATIONS OF RESTRICTIONS AND COVENANTS PER DOCUMENT NUMBER 4100793.
- 6) LOTS 1 AND 3 OF THIS CERTIFIED SURVEY ARE SUBJECT TO THE DECLARATION OF CONDITIONS, COVENANTS AND RESTRICTIONS PER DOCUMENT NUMBERS 3155315, 5260416 AND 5260417.
- 7) THIS CERTIFIED SURVEY IS SUBJECT TO THE DECLARATION OF CONDITIONS AND COVENANTS PER DOCUMENT NUMBER 4029076.
- 8) LOTS 1 AND 3 OF THIS CERTIFIED SURVEY ARE SUBJECT TO THE DECLARATION OF CONDITIONS AND COVENANTS PER DOCUMENT NUMBER 4029077.
- 9) THE UNDERLYING LOTS 59, 60, 62 AND 63 OF HIGH CROSSING FIFTH ADDITION WERE SUBJECT TO 6 FOOT WIDE PUBLIC UTILITY EASEMENTS. SAID PUBLIC UTILITY EASEMENTS HAVE BEEN RELEASED ON SAID PLATTED LOTS PER DOCUMENT NUMBER \_\_\_\_\_.



BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM—DANE COUNTY, THE EAST LINE OF THE NE 1/4 OF SECTION 27-08-10, MEASURED AS BEARING N 00°16'24" E



SCALE: 1"=200'

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DATE: 4-5-2017  
REV:  
Drafted By: PKN  
Checked By: MSCH

**SURVEYED FOR:**  
IA City View, LLC  
810 Cardinal Lane  
Suite 100  
Hartland, WI 53029

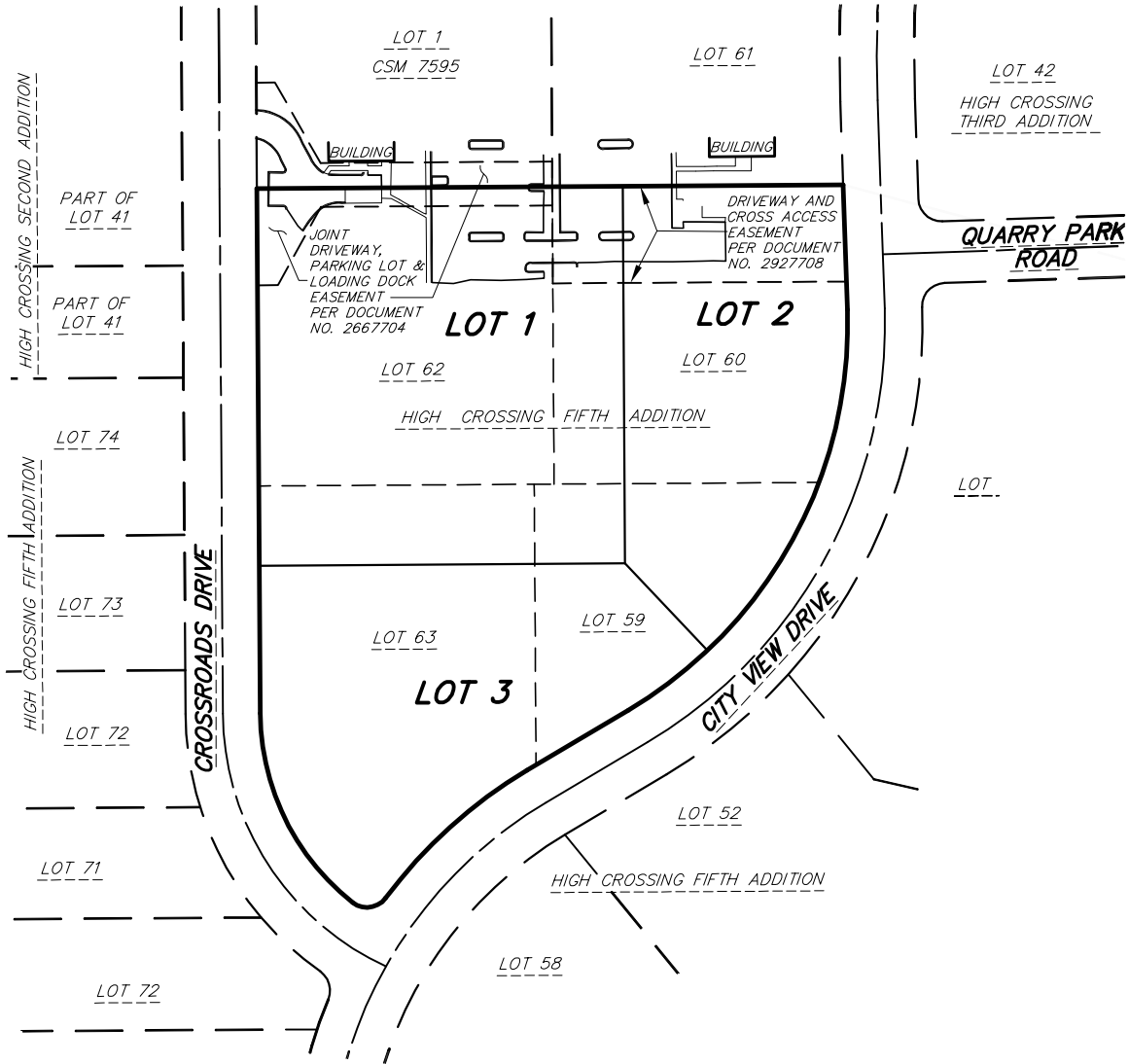
Doc. No. \_\_\_\_\_  
C.S.M. No. \_\_\_\_\_  
Vol. \_\_\_\_\_ Page \_\_\_\_\_

**SHEET  
3 OF 8**

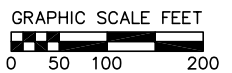
# CERTIFIED SURVEY MAP No. \_\_\_\_\_

ALL OF LOTS 59, 60, 62, 63, HIGH CROSSING FIFTH ADDITION, LOCATED IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 27, TOWNSHIP 08 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN

## EXISTING EASEMENTS DETAIL



BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM - DANE COUNTY, THE EAST LINE OF THE NE 1/4 OF SECTION 27-08-10, MEASURED AS BEARING N 00°16'24" E



SCALE: 1"=200'

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REV:

Drafted By: PKNU

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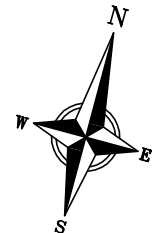
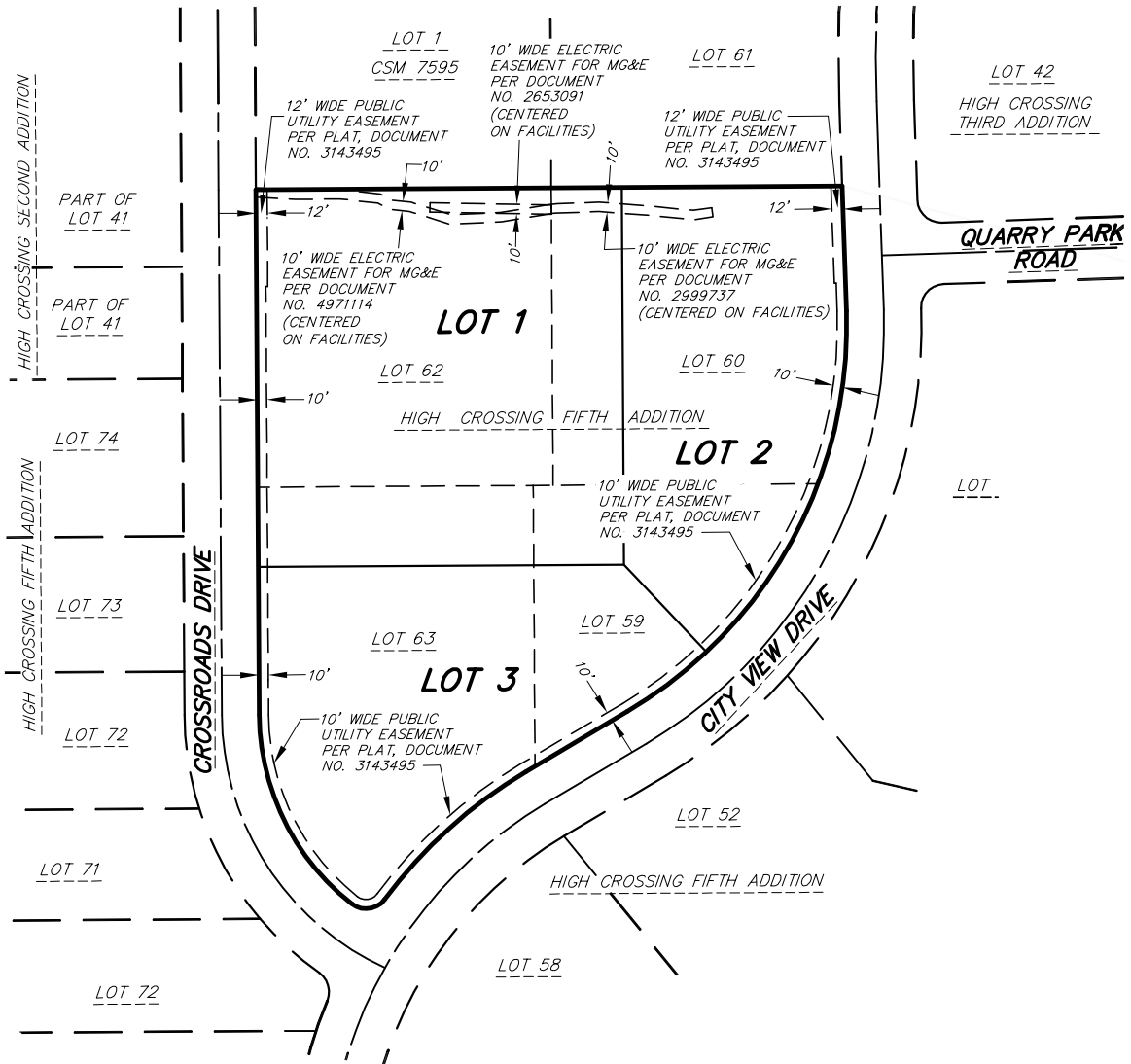
Vol. \_\_\_\_\_ Page \_\_\_\_\_

**SHEET  
4 OF 8**

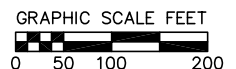
# CERTIFIED SURVEY MAP No. \_\_\_\_\_

ALL OF LOTS 59, 60, 62, 63, HIGH CROSSING FIFTH ADDITION, LOCATED IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 27, TOWNSHIP 08 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN

## EXISTING EASEMENTS DETAIL



BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM—DANE COUNTY, THE EAST LINE OF THE NE 1/4 OF SECTION 27-08-10, MEASURED AS BEARING N 00°16'24" E



SCALE: 1"=200'

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REV:  
Drafted By: PKNV  
Checked By: MSCH

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C.S.M. No. \_\_\_\_\_  
Vol. \_\_\_\_\_ Page \_\_\_\_\_

**SHEET  
5 OF 8**

# CERTIFIED SURVEY MAP No.

ALL OF LOTS 59, 60, 62, 63, HIGH CROSSING FIFTH ADDITION, LOCATED IN THE  
SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 27, TOWNSHIP 08 NORTH,  
RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN

**SURVEYOR’S CERTIFICATE:**

*I, Paul R. Knudson, Professional Land Surveyor, hereby certify: That in full compliance with the provisions of Section 236.34 of the Wisconsin Statutes and the subdivision regulations of the City of Madison, and under the direction of IA City View, LLC, owner of said land, I have surveyed, divided and mapped this Certified Survey; that such Certified Survey correctly represents all exterior boundaries of the land surveyed; and that this land is All of Lots 59, 60, 62 and 63, High Crossing Fifth Addition, recorded in Volume 57-130B of Plats, Pages 521-522, as Document Number 3143495, located in part of the Southeast 1/4 of the Northeast 1/4 of Section 27, Township 08 North, Range 10 East, City of Madison, Dane County, Wisconsin.*

*Said parcel contains 368,906 square feet or 8.47 acres, more or less.*

*Vierbicher Associates, Inc.  
By: Paul R. Knudson*

*Dated this \_\_\_\_\_ day of \_\_\_\_\_, 201\_\_.*

*Signed: \_\_\_\_\_  
Vierbicher Associates, Inc.  
Paul R. Knudson, P.L.S. No. 1556*

**OWNER’S CERTIFICATE:**

*IA City View, LLC, a Wisconsin limited liability company, duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that we caused land described on this Certified Survey to be surveyed, divided, mapped, and dedicated as represented hereon. We further certify that this Certified Survey is required by s. 236.10 or 236.12 Wisconsin Statutes, to be submitted to the City of Madison for approval.*

*IN WITNESS WHEREOF, the said IA City View, LLC, has caused these presents to be signed by Investors Associated, LLP, its sole member, by Richard H. Bibler, its Chairman of the Board, at Hartland, Wisconsin, on this \_\_\_\_\_ day of \_\_\_\_\_20\_\_\_\_.*

*In the Presence of:*

*IA City View, LLC  
By: Investors Associated, LLP,  
Sole Member*


*By: \_\_\_\_\_  
Richard H. Bibler, Chairman of the Board*

*State of Wisconsin )  
  ) ss  
County of Waukesha )*

*Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, the above named, Richard H. Bibler, Chairman of the Board of the above named Investors Associated, LLP, to me known to be the person who executed the foregoing instrument and acknowledged the same.*

*My Commission Expires: \_\_\_\_\_  
\_\_\_\_\_  
Notary Public, State of Wisconsin*

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|   |   |                                 |                                 |   |                 |
|---|---|---------------------------------|---------------------------------|---|-----------------|
| <b style="font-size: 1.2em;">vierbicher</b><br>planners   engineers   advisors<br><small>REEDSBURG - MADISON - PRAIRIE DU CHIEN<br/>                 999 Fourier Drive, Suite 201 Madison, Wisconsin 53717<br/>                 Phone: (608) 826-0532 Fax: (608) 826-0530</small> |  | <small>DATE:</small> 4-5-2017   | <small>SURVEYED FOR:</small>    | Doc. No. _____<br>C.S.M. No. _____<br>Vol. _____ Page _____ | SHEET<br>6 OF 8 |
|   |   | <small>REV:</small>             | IA City View, LLC               |   |                 |
|   |   | <small>Drafted By:</small> PKNU | 810 Cardinal Lane               |   |                 |
|   |   | <small>Checked By:</small> MSCH | Suite 100<br>Hartland, WI 53029 |   |                 |

**CERTIFIED SURVEY MAP No.** \_\_\_\_\_

**ALL OF LOTS 59, 60, 62, 63, HIGH CROSSING FIFTH ADDITION, LOCATED IN THE  
SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 27, TOWNSHIP 08 NORTH,  
RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN**

**MORTGAGEE CERTIFICATE**

*Town Bank, a banking corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping, and dedicating of the land described on this Certified Survey and does hereby consent to the Owner's Certificate.*

*IN WITNESS WHEREOF, the said Town Bank, has caused these presents to be signed by \_\_\_\_\_, its \_\_\_\_\_, at Madison, Wisconsin, on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.*

*Town Bank*

By: \_\_\_\_\_  
(name), (title)

State of Wisconsin )  
                                  )ss.  
County of Dane     )

*Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, \_\_\_\_\_, of the above named banking corporation, to me known to be the person who executed the foregoing instrument, and to me known to be such \_\_\_\_\_ of said banking corporation, and acknowledged that he/she executed the foregoing instrument as such officer as the deed of said banking corporation, by its authority.*

\_\_\_\_\_  
Notary Public, State of Wisconsin

My Commission expires: \_\_\_\_\_

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DATE: 4-5-2017  
REV:  
Drafted By: PKNU  
Checked By: MSCH

**SURVEYED FOR:**  
1A City View, LLC  
810 Cardinal Lane  
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Hartland, WI 53029

Doc. No. \_\_\_\_\_  
C.S.M. No. \_\_\_\_\_  
Vol. \_\_\_\_\_ Page \_\_\_\_\_

**SHEET  
7 OF 8**

**CERTIFIED SURVEY MAP No. \_\_\_\_\_**

**ALL OF LOTS 59, 60, 62, 63, HIGH CROSSING FIFTH ADDITION, LOCATED IN THE  
SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 27, TOWNSHIP 08 NORTH,  
RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN**

**MADISON PLAN COMMISSION CERTIFICATE:**

Approved for recording per the City of Madison Plan Commission.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 201\_\_.

Signed: \_\_\_\_\_  
Natalie Erdman, Secretary  
City of Madison Plan Commission

**MADISON COMMON COUNCIL CERTIFICATE:**

Resolved that this Certified Survey Map located in the City of Madison was hereby approved by  
Enactment Number \_\_\_\_\_, File ID Number \_\_\_\_\_, adopted on the  
\_\_\_\_\_ day of \_\_\_\_\_, 201\_\_; that said enactment provided for the  
acceptance of those lands dedicated and rights conveyed by said Certified Survey Map to the  
City of Madison for public use.

Dated this \_\_\_\_ day of \_\_\_\_\_, 201\_\_.

Signed: \_\_\_\_\_  
Maribeth Witzel-Behl, City Clerk, City of Madison  
Dane County, Wisconsin

**REGISTER OF DEEDS CERTIFICATE:**

Received for recording on this \_\_ day of \_\_\_\_\_, 201\_\_, at  
\_\_\_\_ o'clock \_\_.m., and recorded in Volume \_\_\_\_\_ of Certified Surveys  
on Pages \_\_\_\_\_. as Document Number \_\_\_\_\_.

\_\_\_\_\_  
Kristi Chlebowski, Dane County Register of Deeds

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Vol. \_\_\_\_\_ Page \_\_\_\_\_

**SHEET  
8 OF 8**