

# URBAN DESIGN COMMISSION APPLICATION

# UDC

City of Madison  
Planning Division  
Madison Municipal Building, Suite 017  
215 Martin Luther King, Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## FOR OFFICE USE ONLY:

Paid \_\_\_\_\_ Receipt # \_\_\_\_\_

Date received \_\_\_\_\_

Received by \_\_\_\_\_

Aldermanic District \_\_\_\_\_

Zoning District \_\_\_\_\_

Urban Design District \_\_\_\_\_

Submission reviewed by \_\_\_\_\_

Legistar # \_\_\_\_\_

**RECEIVED**

8/12/2020

2:47 p.m.

Complete all sections of this application, including the desired meeting date and the action requested.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.*

## 1. Project Information

Address: 1701 Wright St.

Title: Madison College Truax Campus - Pool & Fitness Renovation

## 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested September 23 (or next available)

- New development       Alteration to an existing or previously-approved development  
 Informational       Initial approval       Final approval

## 3. Project Type

- Project in an Urban Design District  
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)  
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)  
 Planned Development (PD)  
     General Development Plan (GDP)  
     Specific Implementation Plan (SIP)  
 Planned Multi-Use Site or Residential Building Complex

### Signage

- Comprehensive Design Review (CDR)  
 Signage Variance (i.e. modification of signage height, area, and setback)  
 Signage Exception

### Other

- Please specify  
Public Building Project

## 4. Applicant, Agent, and Property Owner Information

**Applicant name** Fred Brechlin, AIA  
**Street address** 1701 Wright St.  
**Telephone** 608-246-6837

**Company** Madison College - Planning & Construction  
**City/State/Zip** Madison, WI 53704  
**Email** FBrechlin@madisoncollege.edu

**Project contact person** Justin Frahm, Project Consultant  
**Street address** 161 Horizon Dr. Suite #101  
**Telephone** 715-298-6330

**Company** JSD Professional Services, Inc.  
**City/State/Zip** Verona, WI 53593  
**Email** justin.frahm@jsdinc.com

**Property owner (if not applicant)** Same  
**Street address** \_\_\_\_\_  
**Telephone** \_\_\_\_\_

**City/State/Zip** \_\_\_\_\_  
**Email** \_\_\_\_\_

5. Required Submittal Materials

- Application Form
- Letter of Intent
  - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
  - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development Plans (Refer to checklist on Page 4 for plan details)
- Filing fee
- Electronic Submittal\*
- Notification to the District Alder
  - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

*\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to [udcapplications@cityofmadison.com](mailto:udcapplications@cityofmadison.com). The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaeser on July 30 & August 10, 2020.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Justin Frahm Relationship to property Consultant to Owner  
 Authorizing signature of property owner [Signature] Date 8/12/20

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

## Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

## Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

## Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

# URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

## 1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

### Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*\*\* All plans must be legible, including the full-sized landscape and lighting plans (if required)*

## 2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

## 3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*) **To be Provided**
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted) **To be Provided**
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

## 4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

August 12, 2020

Ms. Janine Glaeser  
Director, Urban Design Commission  
215 Martin Luther King Jr. Blvd.  
Madison, WI 53703

**RE: Letter of Intent**

UDC Initial-Final Approval Request  
Madison College – 1701 Wright St. – Pool & Fitness Renovation  
**(JSD Project #: 20-9825)**

Ms. Janine Glaeser:

On behalf of Madison College, the following is submitted together with plans and application for staff, Urban Design Commission's consideration of Initial-Final approval for this project.

**Team Contacts:**

**Owner:** Madison College  
Attn: Fred Brechlin, AIA  
1701 Wright St.  
Madison, WI 53704

**Architect:** Assemblage Architects  
Attn: Hamid Noughani  
7427 Elmwood Ave.  
Middleton, WI 53562

**Survey & Engineer:** JSD Professional Services, Inc.  
Attn: Justin Frahm  
7402 Stone Ridge Dr. Suite 4  
Weston, WI 54476

**Landscape Design:** JSD Professional Services, Inc.  
Attn: Justin Frahm  
7402 Stone Ridge Dr. Suite 4  
Weston, WI 54476

**Project Overview:**

The project consists of renovating the indoor pool building at Madison College Truax Campus to a fitness center. Renovations include replacing the roof structure, and other structural modifications to accommodate the new use, as well as providing a photovoltaic platform to expand the buildings current PV system.

The building exterior will be modified to reflect the College's on-going program to update the building's envelope, introducing better insulation, solar control, materials consistent with previous improvements and approvals at the main campus building, and improved fenestration.

This project also improves the Gym exterior envelope, linking the gateway renovation with the fitness renovation. There will also be a new vestibule addition (approximately 360 SF), which is the only addition of SF to the building.

Exterior (site) improvements include limited demolition of adjacent sidewalks with existing connections to be maintained and restored in proposed plans. A limited amount of landscape will be removed per the demolition plan and will be replaced in kind (points) within proposed plans. All existing building and sidewalk connections will be preserved and maintained.

**Project Schedule**

The project / building renovation is scheduled to begin in fall of 2020.

Thank you for considering this proposal. Please do not hesitate to reach out if you have questions.

Respectfully submitted,

A handwritten signature in blue ink that reads "JUSTIN FRAHM". The signature is stylized with a large initial "J" and a long horizontal flourish at the end.

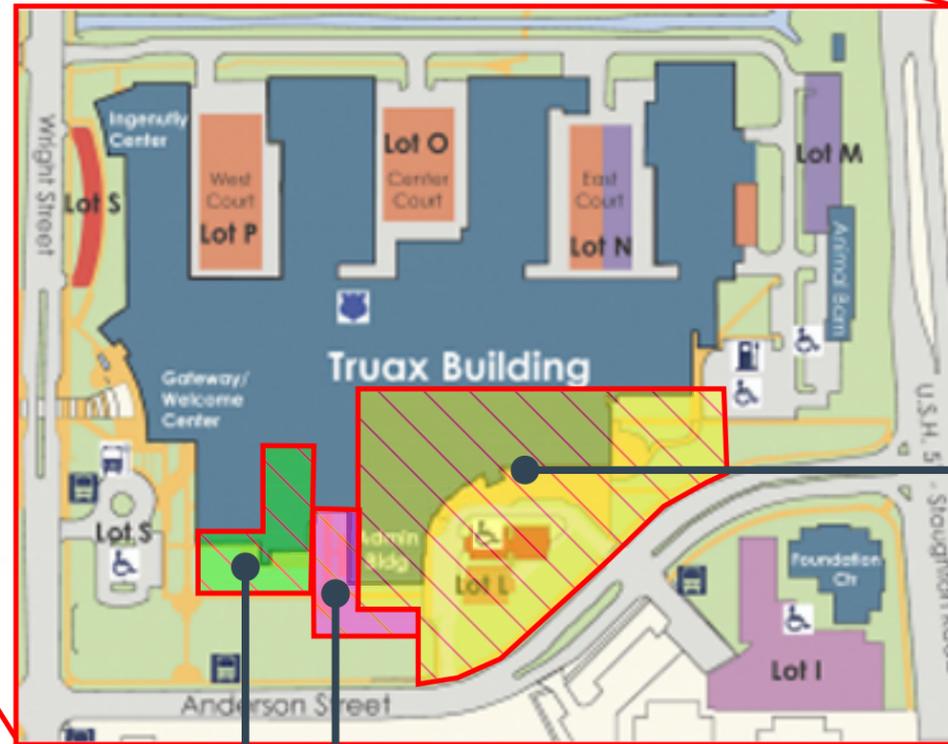
Justin Frahm, ASLA  
Project Consultant

Cell: 608-220-7583

Email: [justin.frahm@jsdinc.com](mailto:justin.frahm@jsdinc.com)



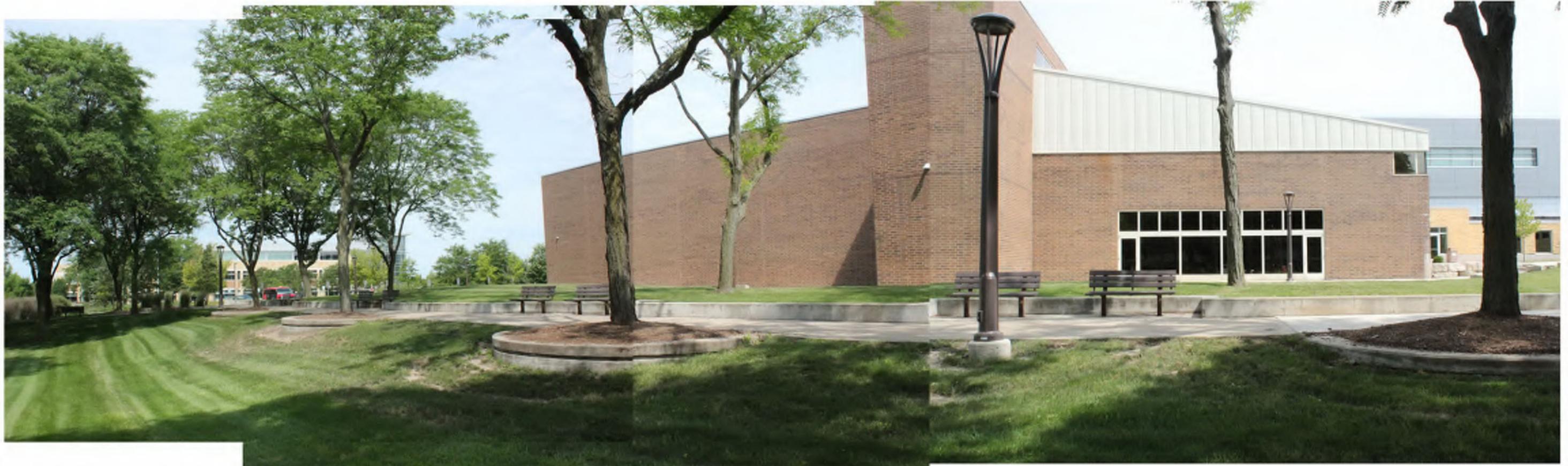
**RECENT TRUAX BUILDING PROJECT AREA DETAIL**



**PROPOSED PROJECT AREA IMPROVEMENT FOR POOL & FITNESS**

**RECENT ADMINISTRATION COURTYARD IMPROVEMENTS**

**RECENT CULINARY / ADMINISTRATION BUILDING IMPROVEMENTS**



**POOL AND FITNESS EXTERIOR BUILDING AREA**



**POOL AND FITNESS PROJECT AREA**



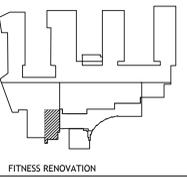
**RECENT ADJACENT ADMIN COURTYARD BUILDING AND SITE IMPROVEMENTS**



**RECENT ADMINISTRATION BUILDING EXTERIOR IMPROVEMENTS**







assemblage ARCHITECTS 7433 Elmwood Avenue Middleton, WI 53562 T 608.827.5047

DIGGERS HOTLINE Toll Free (800) 242-8511



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GENERAL NOTES

- 1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS. 2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS. 3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS. 4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES. 5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

GRADING AND SEEDING NOTES

- 1. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION. 2. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE. 3. PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED. 4. ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. 5. CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS. 6. ALL DISTURBED AREAS SHALL BE SOODED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOO/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN. 7. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION. 8. CONTRACTOR SHALL WATER ALL NEWLY SOODED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL. 9. CONTRACTOR TO DEEP TILL ALL COMPACTED PEROUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING. 10. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE. 11. ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE CONDUCTED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WMR TECHNICAL STANDARD 1059 AND CITY OF MADISON ORDINANCE.

UTILITY NOTES

- 1. ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGERS' HOTLINE" PRIOR TO ANY CONSTRUCTION. 2. PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR: EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS; ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION. OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK. VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITIES FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED. NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS. NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION. COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS. 3. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN - AND ALL STATE AND LOCAL SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES. 4. SPECIFICATIONS SHALL COMPLY WITH THE CITY OF MADISON SPECIAL PROVISIONS. 5. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION. 6. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS. 7. CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS. 8. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION. 9. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS. 10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE. 11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED. IF REQUIRED, ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES. 12. STORM SEWER SPECIFICATIONS - PIPE - PVC SHALL CONFORM TO ASTM D-3034 WITH SOLVENT WELD OR ELASTOMETRIC JOINTS. PIPE SHALL BE SDR-35, UNLESS OTHERWISE NOTED. INLETS - INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 28 OF THE "STANDARD SPECIFICATIONS" OR APPROVED EQUAL WITH A 1'-8" X 2'-0" MAXIMUM OPENING. CURB FRAME & GRATE SHALL BE NENEAH R-3067 WITH TYPE R GRATE, OR EQUAL. BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS". MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NENEAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL. FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.

EROSION CONTROL NOTES

- 1. CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS, ENGINEER OF RECORD AND APPROPRIATE CITY OF MADISON OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS. 2. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF MADISON ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS. 3. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE CITY OF MADISON PRIOR TO DEVIATION OF THE APPROVED PLAN. 4. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST. 5. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY. 6. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION. 7. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE MUNICIPALITY. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED. 8. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF MADISON. 9. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. 10. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER". 11. DITCH CHECKERS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION. 12. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.): A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH. B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION. C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH. 13. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WDOT) APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING, EROSION MATTING AND/OR NETTING LEASED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WORK TECHNICAL STANDARDS 1052 AND 1053. 14. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WMR TECHNICAL STANDARD 1068. 15. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES. 16. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDNR REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH WMR REQUIREMENTS. 17. STABILIZATION PRACTICES: 17.1. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS: THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE. CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED. (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED. STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES: PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(10LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (10LB/ACRE) HYDRO-MULCHING WITH TACKIFIER GEOTEXTILE EROSION MATTING SODDING

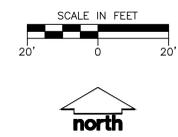
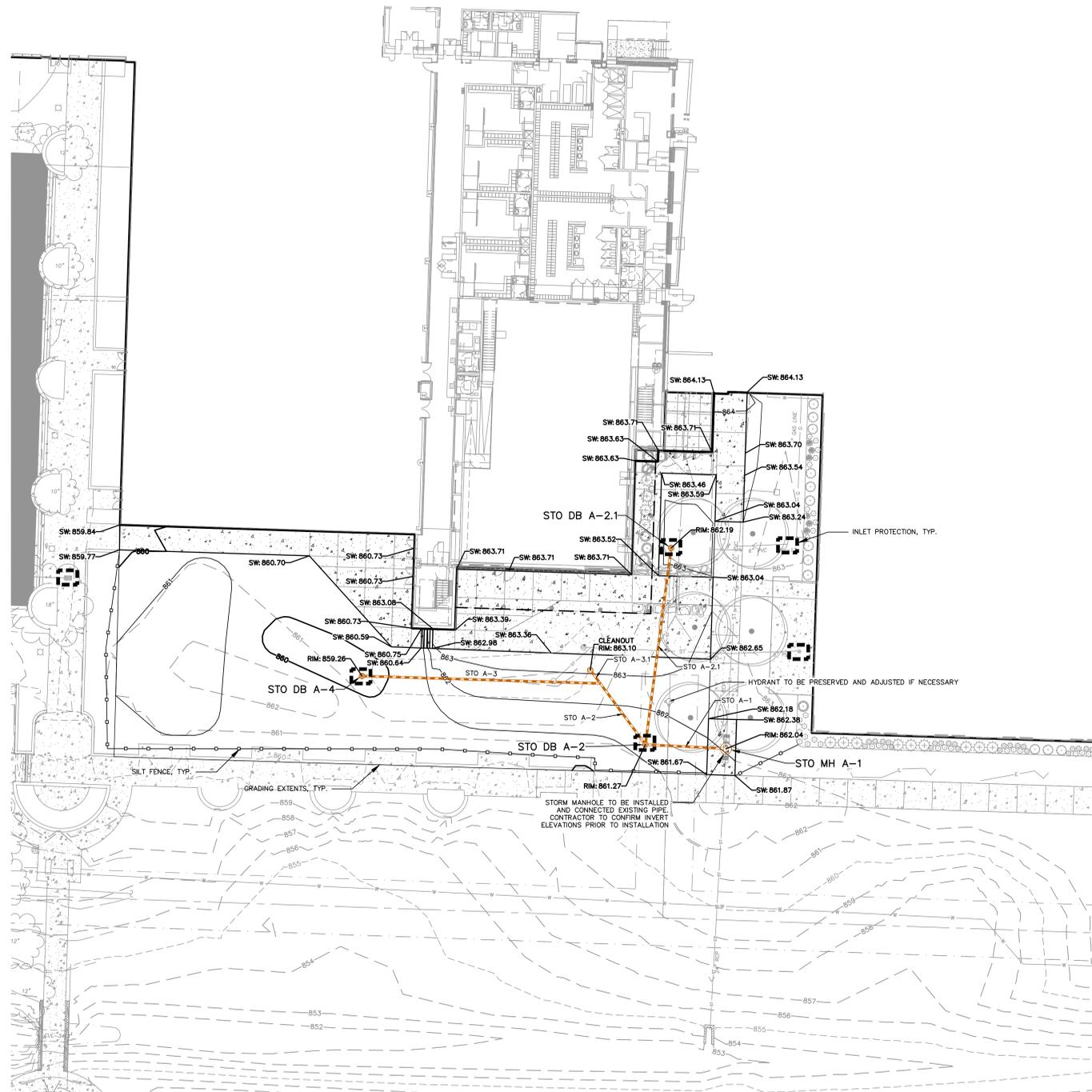
CONSTRUCTION SEQUENCING

- 1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE. 2. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE. 3. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AS NEEDED. 4. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION. 5. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC. 6. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS. 7. EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

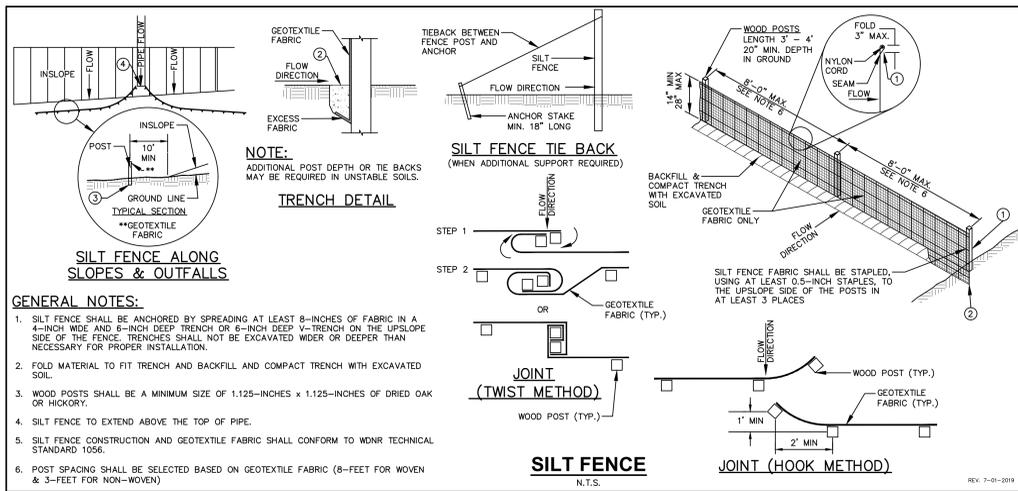
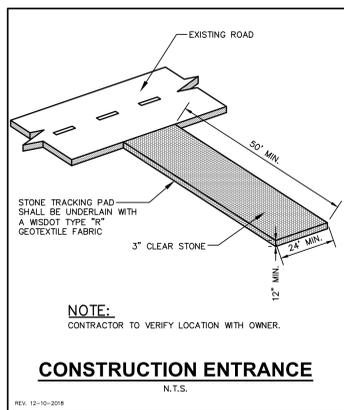
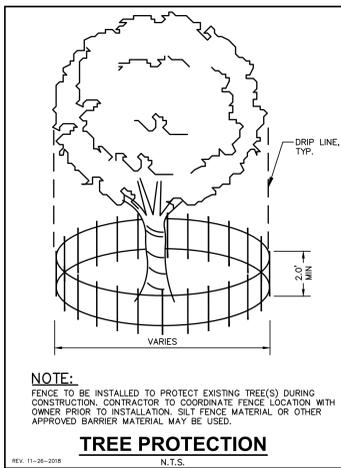
LEGEND

- PROPERTY LINE (dashed line)
RIGHT-OF-WAY (dashed line)
EASEMENT LINE (dashed line)
BUILDING OUTLINE (solid line)
BUILDING OVERHANG (dashed line)
EDGE OF PAVEMENT (solid line)
STANDARD CURB AND GUTTER (hatched pattern)
REJECT CURB AND GUTTER (hatched pattern)
MOUNTABLE CURB AND GUTTER (hatched pattern)
8" CONCRETE RIBBON CURB (hatched pattern)
ASPHALT PAVEMENT (hatched pattern)
HEAVY DUTY ASPHALT PAVEMENT (hatched pattern)
CONCRETE PAVEMENT (hatched pattern)
HEAVY DUTY CONCRETE PAVEMENT (hatched pattern)
PROPOSED 1 FOOT CONTOUR (dashed line)
PROPOSED 5 FOOT CONTOUR (dashed line)
EXISTING 1 FOOT CONTOUR (dashed line)
EXISTING 5 FOOT CONTOUR (dashed line)
DRAINAGE DIRECTION (arrow)
GRADE BREAK (dashed line)
STORMWATER MANAGEMENT AREA (hatched pattern)
RETAINING WALL (hatched pattern)
BOULDER WALL (hatched pattern)
RAILING (hatched pattern)
FENCE (hatched pattern)
SILT FENCE (hatched pattern)
RIP-RAP (hatched pattern)
CONSTRUCTION ENTRANCE (hatched pattern)
EROSION MATTING (hatched pattern)
TURF REINFORCEMENT MATTING (hatched pattern)
SPOT ELEVATION (FG:XXX.XX)
EP - EDGE OF PAVEMENT
EC - EDGE OF CONCRETE
BOC - BACK OF CURB
MATCH - MATCH EXISTING GRADE
HP - HIGH POINT
SW - SIDEWALK
DITCH CHECK (hatched pattern)
INLET PROTECTION (hatched pattern)
SANITARY SEWER (hatched pattern)
WATERMAIN (hatched pattern)
STORM SEWER (hatched pattern)
8'x4'x2" INSULATION (PLAN VIEW)
8'x4'x2" INSULATION (PROFILE VIEW)



PROPOSED STRUCTURES TABLE with columns: LABEL, RIM EL. (FT), INVERT EL. (FT), DEPTH (FT), STRUCTURE DESC., FRAME & GRATE

PROPOSED PIPES TABLE with columns: LABEL, TO, FROM, LENGTH, INVERT EL. (FT), DISCHARGE EL. (FT), SLOPE, SIZE & MATERIAL



**FLEXSTORM INLET FILTERS TO MEET DANE COUNTY EROSION CONTROL STANDARDS**

CATCH-INLET FILTER (Temporary Inlet Protection)							
Neenah Casting	Inlet Type	Grate Size	Opening Size	Bag Cap (ft)	Flow Ratings (CFS)	ADS PIN	
					HB (Bygged Bag)	Bypass	
3307	Curb Box	35.25 x 17.75	33.0 x 19.0	4.4	2.0	5.8	62LCEBXT8H
3246A	Curb Box	35.75 x 23.875	33.5 x 21.0	4.2	1.1	3.3	62LCEB24H8
3330	Square/Rect (SQ)	23 x 16	20.5 x 13.5	1.8	0.7	2.2	62MCEB318H8
3307-C	Square/Rect (SQ)	35.25 x 17.75	33 x 19	3.2	1.0	5.2	62LCEB18H8
R-2501	Round (RD)	-26	-24	2.3	0.8	5.2	62MRD28H8
R-1772/2580	Round (RD)	22.25-23.5	20.5-21	1.9	0.8	4.8	62MRD22H8

**(HB) HYBRID FILTER BAG SPECIFICATIONS:**

Woven and Non-Woven Geotextile Filter Bag Properties (Minimum Average Roll Values)			
PROPERTY	TEST METHOD	WOVEN (LBS)	NON-WOVEN (LBS)
TENSILE STRENGTH	ASTM D4852	350 x 225 lbs	300 lbs
ELONGATION	ASTM D4852	20% x 10%	50%
IMP PUNCTURE	ASTM D6241	1000 lbs	65 lbs
PARTICULATE TENS	ASTM D4851	150 x 75 lbs	45 lbs
UV RESISTANCE	ASTM D4853	90%	70%
OPENING SIZE (AST)	ASTM D4753	20/16 STD SEIVE	40/16 STD SEIVE
PERMEABILITY	ASTM D4891	1.5 sec <sup>2</sup>	2.0 sec <sup>2</sup>
WATER FLOW RATE	ASTM D4891	200 gal/min/ft <sup>2</sup>	140 gal/min/ft <sup>2</sup>
MINIMUM FILTER BAG VOLUME			2 CU YD FT

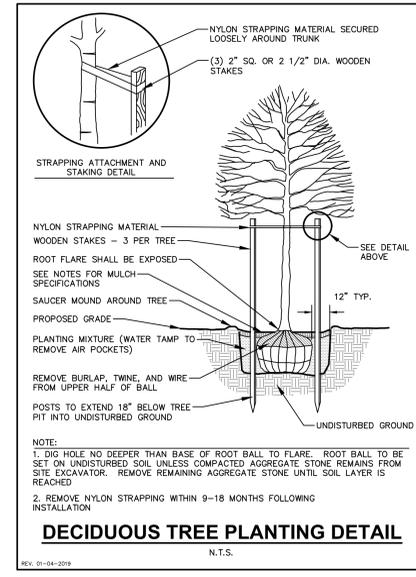
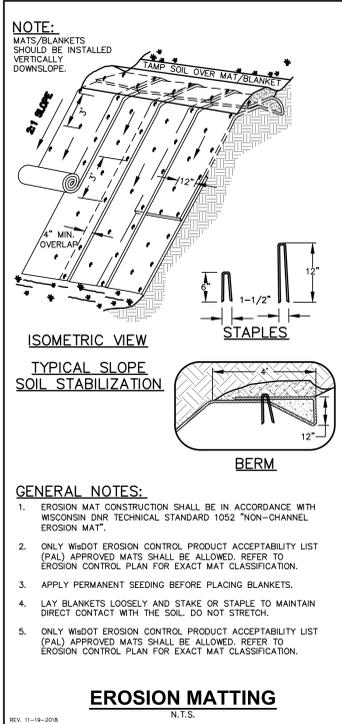
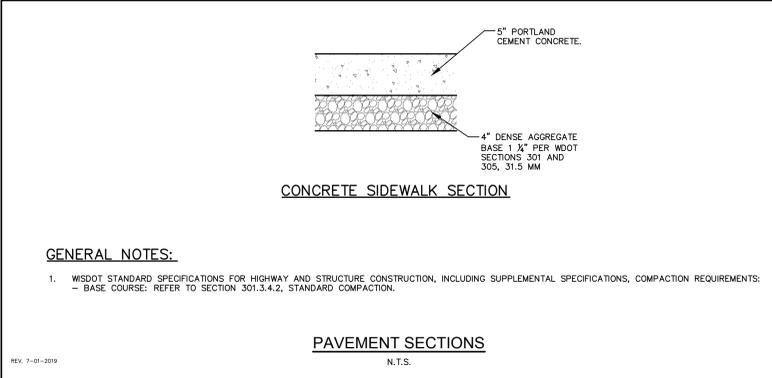
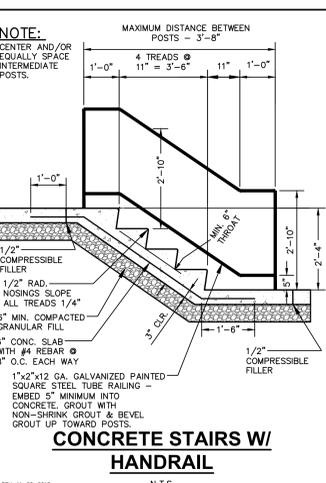
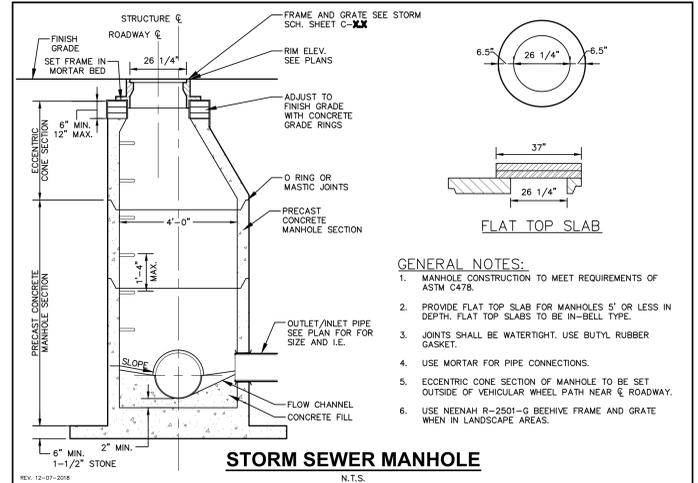
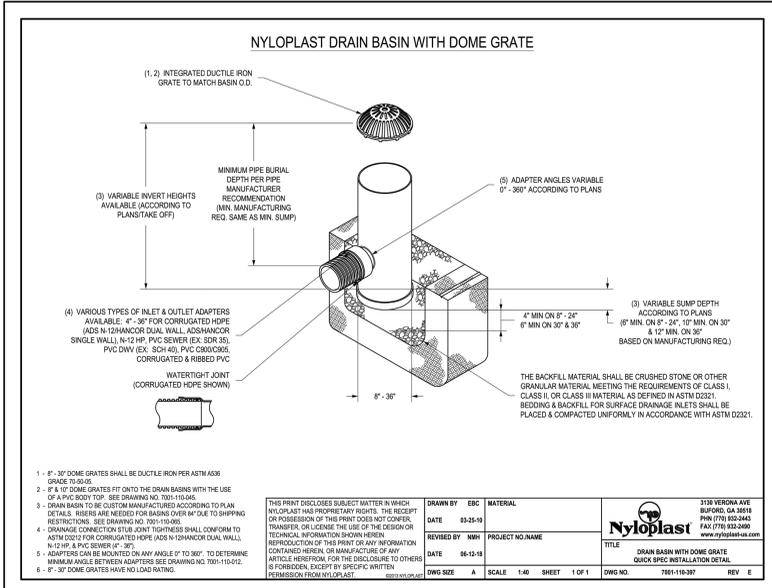
**INSTALLATION INSTRUCTIONS:**

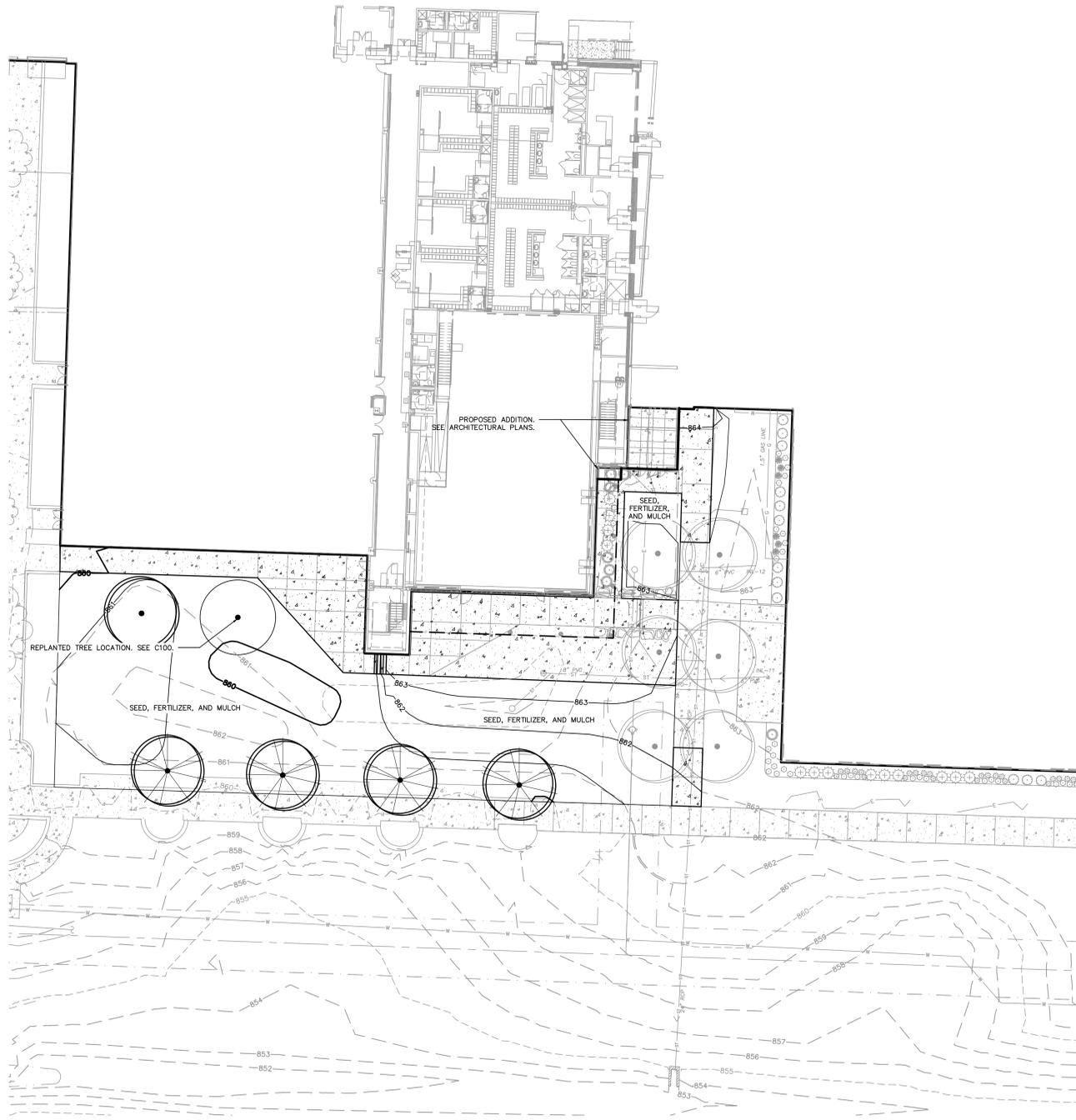
- REMOVE GRATE FROM THE DRAINAGE STRUCTURE.
- CLEAN STONE AND DIRT FROM LEDGE (LIP) OF DRAINAGE STRUCTURE.
- DROP THE INLET FILTER THROUGH THE CLEAR OPENING SUCH THAT THE HANGERS REST FIRMLY ON THE LIP OF THE STRUCTURE.
- REPLACE THE GRATE AND CONFIRM IT IS NOT ELEVATED MORE THAN 1/8"

**MAINTENANCE GUIDELINES:**

- EMPTY THE SEDIMENT BAG IF MORE THAN HALF FILLED WITH SEDIMENT AND DEBRIS.
- REMOVE THE GRATE, ENGAGE THE LIFTING POINTS, AND LIFT FILTER FROM THE DRAINAGE STRUCTURE.
- DISPOSE OF SEDIMENT AND DEBRIS BY THE ENGINEERING OR MAINTENANCE CONTRACTOR. ALTERNATIVELY, AN INDUSTRIAL VACUUM CAN BE USED TO COLLECT SEDIMENT FROM THE FILTER BAG.

**FRAMED INLET PROTECTION**  
N.T.S.





PLANT SCHEDULE				
TREES	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	<i>Acer truncatum</i> x <i>A. platanoides</i> 'Warrenred' / Pacific Sunset Maple	B & B	2.5" Cal	1
	<i>Gymnocladus dioica</i> 'Espresso' / Kentucky Coffeetree	B & B	2.5" Cal	4

- ### GENERAL NOTES
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
  - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
  - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
  - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
  - THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
  - CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT PRIOR TO DIGGING.
  - DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE.

- ### GENERAL NOTES
- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-240-8811 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
  - DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
  - MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
  - PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH IWA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS IN SEASON. DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
  - CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL, REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES, BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
  - ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  - CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

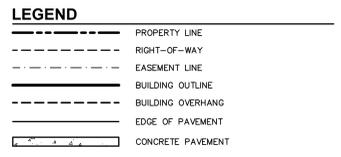
- ### SEEDING NOTES
- MATERIALS - TURFGRASS SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 8" OF TOPSOIL AND EARTH CARPETS MADISON PARKS' GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. MULCH SHALL BE CERTIFIED NOXIOUS WEED SEED-FREE.
- ### LANDSCAPE MATERIAL NOTES
- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
  - MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FRABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DETERIOROUS MATERIALS. TOPSOIL SHALL HAVE A PH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE TOLERANCE TO TOXINS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
  - MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOODEN WEED BARRIER FABRIC.
  - MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4" DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5" DIAMETER ABOUT THE CENTER OF THE TREE. TREE RINGS SHOULD BE INSTALLED WITH A TREE-EMERGENT GRANULAR FERTILIZER. FERTILIZER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
  - MATERIALS - TREE PROTECTION: ALL TREES TO BE INSTALLED WITH LUPE TREE GUARDS AS MANUFACTURED BY A.M. LEONARD HORTICULTURAL TOOL & SUPPLY CO., OR APPROVED EQUAL.
  - MATERIALS - (ALTERNATE 1): TREE WATERING BAGS: ALL TREES TO BE INSTALLED WITH ONE (1) WATER BAG. PRODUCT TO BE "TREE GATOR ORIGINAL SLOW RELEASE WATERING BAG," PRODUCT NO. 98183-R OR APPROVED EQUAL. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
  - MATERIALS - (ALTERNATE 2): ROOT WATERING SYSTEM: ALL TREES TO BE INSTALLED WITH TWO (2) DEEP TREE ROOT WATER AERATION/WATERING TUBES. PRODUCT TO BE "ROOTWELL PRO-318, OR APPROVED EQUAL. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO TREE ROOT BALL.

- ### CONTRACTOR AND OWNER RESPONSIBILITY NOTES
- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
  - CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
  - MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS AND SEEDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
  - MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

### LANDSCAPE WORKSHEET

ITEM	EXISTING TO BE REMOVED	EXISTING POINTS	PROPOSED	PROPOSED POINTS
OVERSTORY TREES	4	140	5	175
UPRIGHT EVERGREEN	0	0	0	0
DECIDUOUS SHRUBS	4	12	0	0
EVERGREEN SHRUBS	6	24	0	0
ANNUALS/PERENNIALS	0	0	0	0
ORNAMENTAL GRASSES	0	0	0	0
<b>TOTAL LANDSCAPE POINTS SUBTRACTED:</b>		<b>176</b>	<b>TOTAL LANDSCAPE POINTS ADDED:</b>	<b>175</b>

\* SEE DEMO PLAN FOR EXISTING PLANT MATERIAL TO BE REMOVED



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MADISON COLLEGE  
 TRUAX BUILDING

FITNESS RENOVATION  
 Madison, Wisconsin

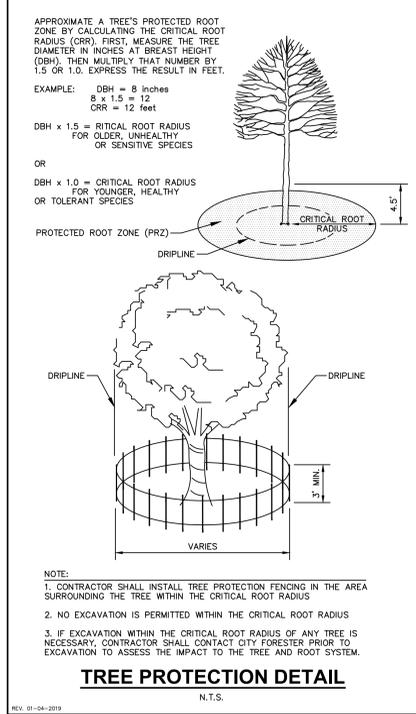
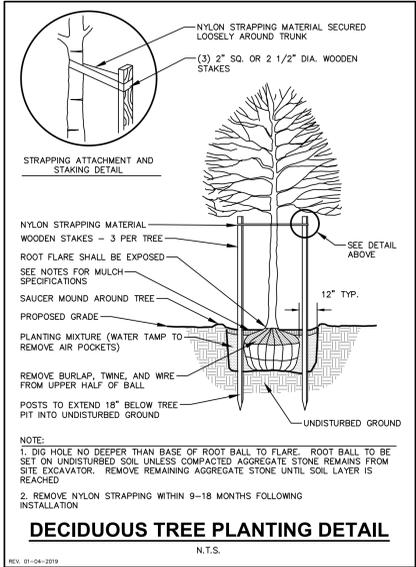
Issued for: UDC INITIAL-FINAL  
 Issue date: 08-12-2020  
 AA Project No.: 2020-03  
 MC Project No.: RFB20-XYZ  
 Bid Pkg No.:

REVISION DATE

FITNESS RENOVATION

**assemblage ARCHITECTS**  
 7433 Elmwood Avenue  
 Middleton, WI 53562  
 T 608.827.5047

SCALE  
 AS NOTED  
 SHEET TITLE  
 LANDSCAPE PLAN  
 SHEET NUMBER  
 L100



**DIGGERS HOTLINE**  
 Toll Free (800) 242-8511

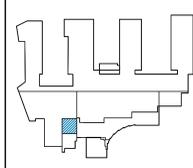
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FITNESS RENOVATION  
**assemblage ARCHITECTS**  
7433 Elmwood Avenue  
Middleton, WI 53562  
T 608.827.5047

SCALE  
1/8" = 1'-0"

SHEET TITLE  
PARTIAL FIRST FLOOR PLAN - NORTH

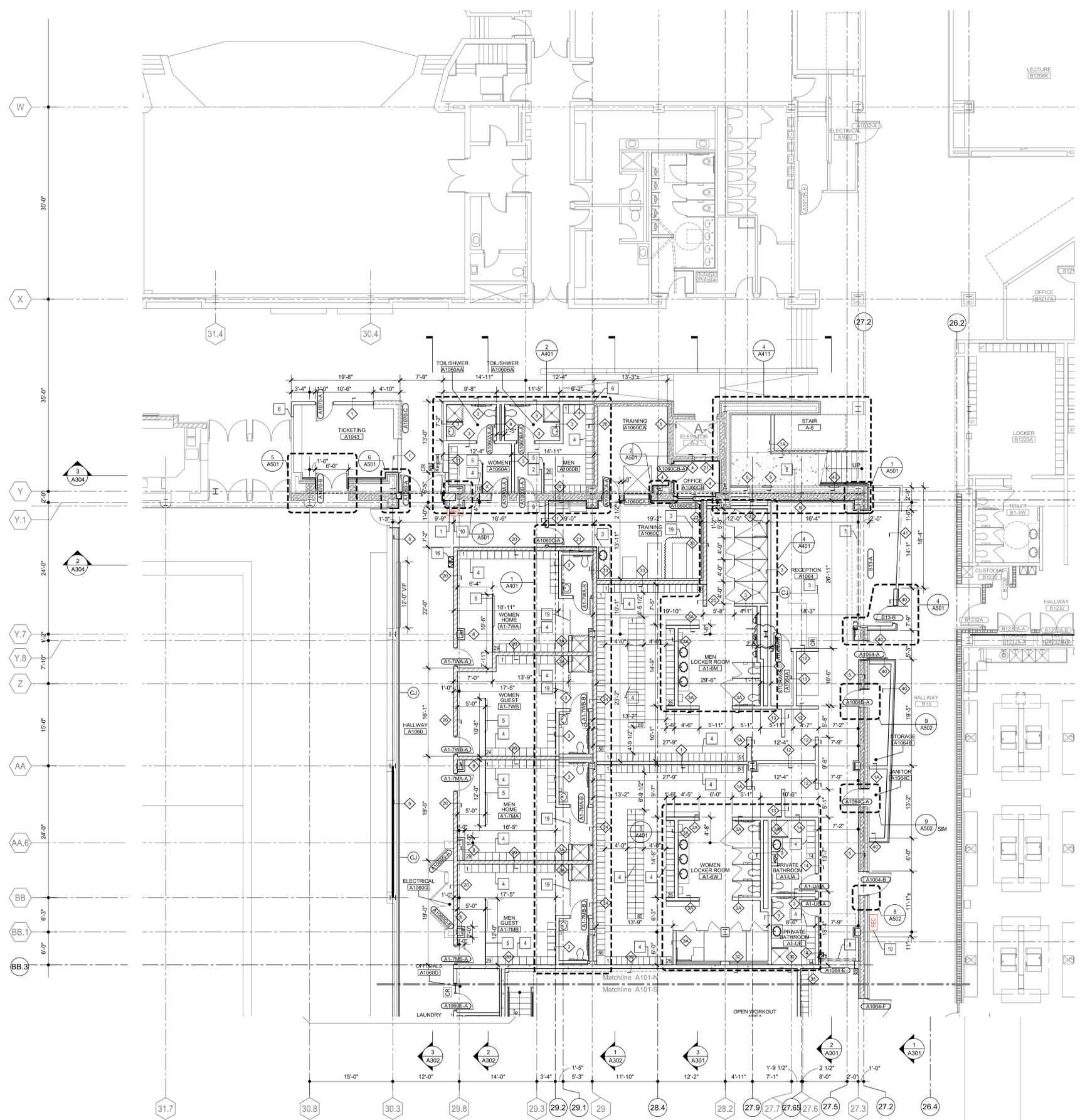
SHEET NUMBER

A101-N

- GENERAL PLAN NOTES:
1. REFER TO DRAWING XXX FOR GENERAL NOTES.
  2. REFER TO ALL DRAWINGS INCLUDING ALL OTHER DISCIPLINES FOR ADDITIONAL GENERAL NOTES, ABBREVIATIONS AND SYMBOLS.
  3. GO SHALL COORDINATE MECHANICAL, ELECTRICAL, PLUMBING ROOF, WALL SLEEVE AND SHAFTS WITH OTHER TRADES AND DOCUMENTS.
  4. FIRST FLOOR ELEVATION IS ASSUMED 100'-0" IN THESE DRAWINGS.
  5. REFER TO DRAWING A601 FOR PARTITION TYPES AND DETAILS.
  6. REFER TO PROJECT'S GENERAL REQUIREMENTS FOR PROJECT CONSTRUCTION SEQUENCING.
  7. DIMENSIONS ARE TO FINISHED FACE UNLESS OTHERWISE NOTED.
  8. REFER TO ROOM FINISH SCHEDULE FOR FINAL FINISHES. PREP SURFACES TO RECEIVE FINAL FINISH.
  9. PROVIDE BLOCKING AND REINFORCING TO ACCOMMODATE CASEWORK, EQUIPMENT AND OTHER DEVICES.
  10. COORDINATE OWNER SUPPLIED EQUIPMENT.
  11. REFER TO FINISH PLAN AND SCHEDULE FOR INTERIOR FINISHES.

- PLAN KEY:
- 251A DOOR NUMBER - REFER TO DOOR SCHEDULE
  - PARTITION TYPE TAG
  - ELEVATION
  - WINDOW TAG
  - SPECIFIC NOTE

- SPECIFIC PLAN NOTES: [X]
1. INFILL RATED WALL OPENING, REFER TO PARTITION TYPES
  2. 1" EXPANSION JOINT
  3. CASEWORK, REFER TO INTERIOR ELEVATIONS
  4. LOCKERS, REFER TO INTERIOR ELEVATIONS AND ENLARGED PLANS
  5. MODULAR RESIN PARTITION
  6. ALIGN NEW PARTITION FLUSH WITH EXISTING ADJACENT PARTITION
  7. COILING FIRE SHUTTER
  8. SECTIONAL OVERHEAD DOOR
  9. TRENCH DRAIN, REFER TO PLUMBING
  10. RECESSED FIRE EXTINGUISHER CABINET
  11. WASHER AND DRYER
  12. TILE SHOWER, REFER TO DETAIL XXXX
  13. CLEAR MAPLE SLAT SYSTEM, REFER TO INTERIOR ELEVATIONS
  14. ARCHITECTURAL CAST IN PLACE CONCRETE
  15. INSTALL EXISTING RECEPTION DESK
  16. HIGH/LOW DRINKING FOUNTAIN
  17. SHOE MOUNTED GLASS GUARD RAIL
  18. LINEN CHUTE DOOR
  19. PRIVACY CURTAIN AND TRACK
  20. TILE SHOWER, REFER TO DETAIL XXXX
  21. INFILL FLOOR AT STAIRS, REFER TO DETAIL XXXX

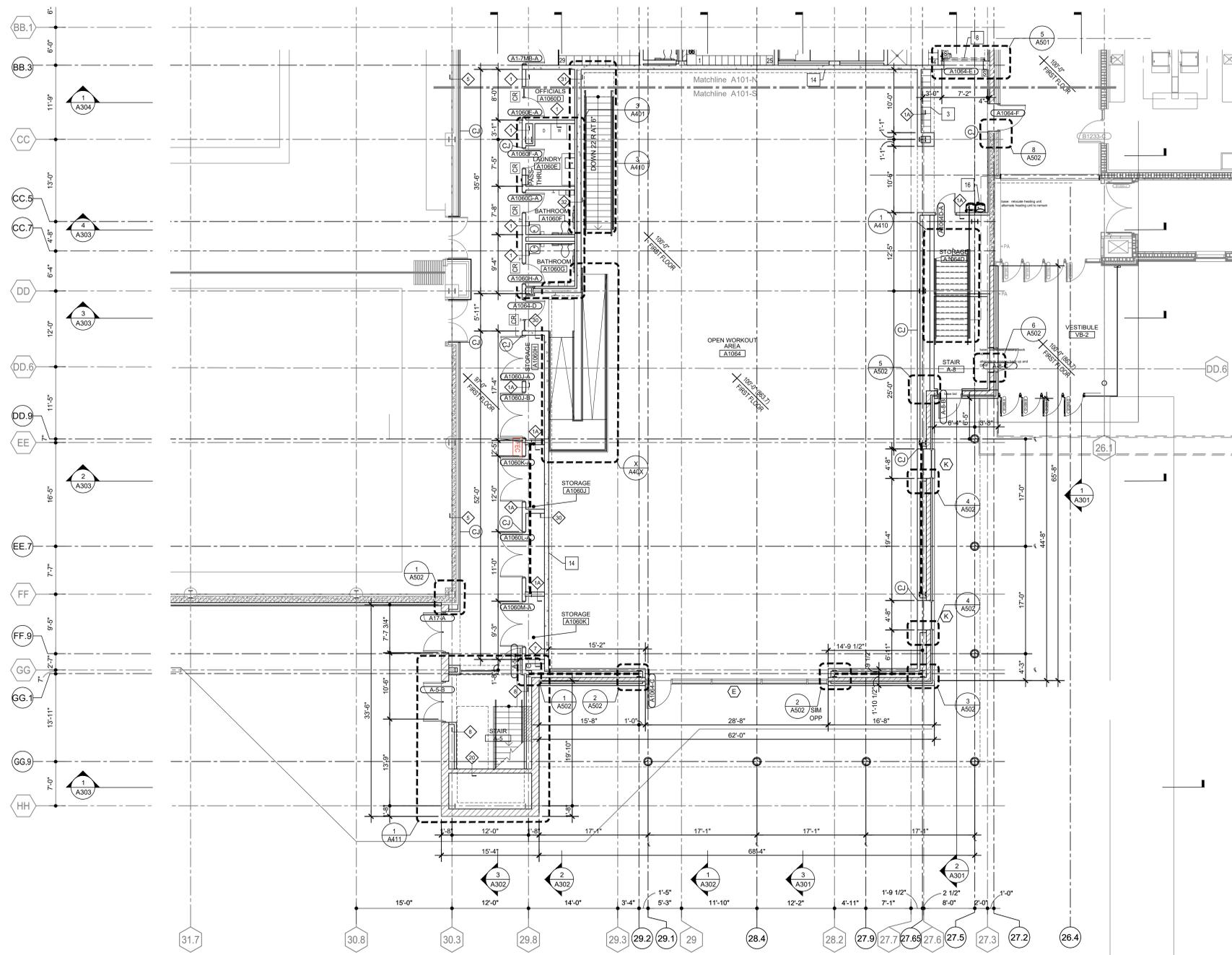


**1 FLOOR PLAN**  
1/8" = 1'-0"

- GENERAL PLAN NOTES:
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- PLAN KEY:
- 251A DOOR NUMBER - REFER TO DOOR SCHEDULE
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  - ELEVATION
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  18. LINEN CHUTE DOOR
  19. PRIVACY CURTAIN AND TRACK
  20. TILE SHOWER, REFER TO DETAIL XXXX
  21. INFILL FLOOR AT STAIRS, REFER TO DETAIL XXXX



1 PARTIAL FIRST FLOOR PLAN  
1/8" = 1'-0"

Issued for:	BID SET
Issue date:	0x-xy-2020
AA Project No.:	2020-02
MC Project No.:	RFB21-001
Bid Pkg No.:	

REVISION	DATE

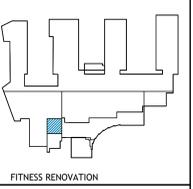
FITNESS RENOVATION

**assemblage ARCHITECTS**  
7433 Elmwood Avenue  
Middleton, WI 53562  
T 608.827.5047

SCALE	1/8" = 1'-0"
SHEET TITLE	PARTIAL FIRST FLOOR PLAN - SOUTH
SHEET NUMBER	

A101-S

REVISION	DATE



FITNESS RENOVATION  
**assemblage**  
**ARCHITECTS**  
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 Middleton, WI 53562  
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SCALE  
 1/8" = 1'-0"

SHEET TITLE  
 PARTIAL SECOND FLOOR PLAN  
 - NORTH

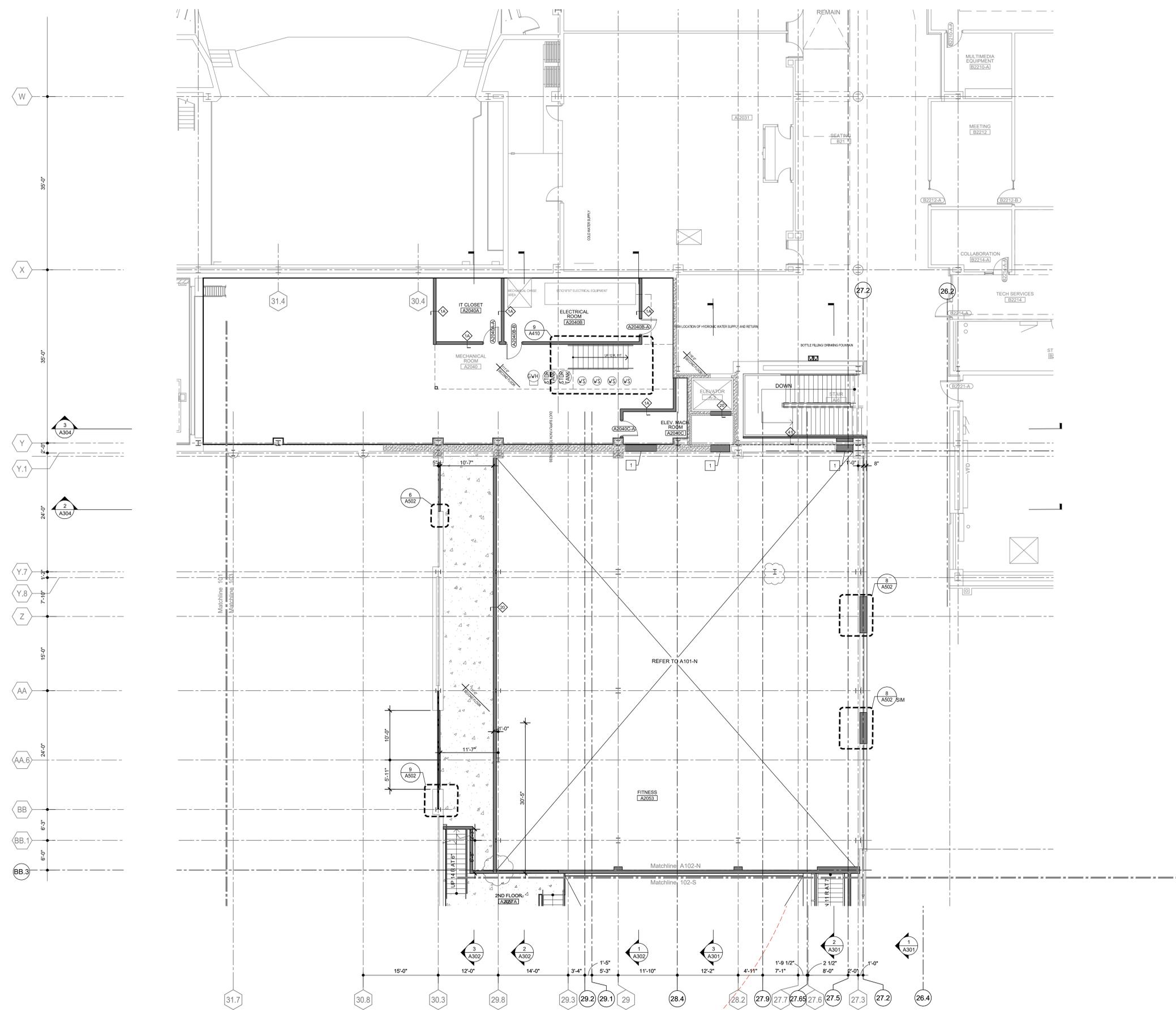
SHEET NUMBER

**A102-N**

- GENERAL PLAN NOTES:**
- REFER TO DRAWING XXX FOR GENERAL NOTES.
  - REFER TO ALL DRAWINGS INCLUDING ALL OTHER DISCIPLINES FOR ADDITIONAL GENERAL NOTES, ABBREVIATIONS AND SYMBOLS.
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  - COORDINATE OWNER SUPPLIED EQUIPMENT.
  - REFER TO FINISH PLAN AND SCHEDULE FOR INTERIOR FINISHES.

- PLAN KEY:**
- DOOR NUMBER - REFER TO DOOR SCHEDULE
  - PARTITION TYPE TAG
  - ELEVATION
  - WINDOW TAG
  - SPECIFIC NOTE

- SPECIFIC PLAN NOTES:** [X]
- INFILL RATED WALL OPENING, REFER TO PARTITION TYPES
  - 1" EXPANSION JOINT
  - CASEWORK, REFER TO INTERIOR ELEVATIONS
  - LOCKERS, REFER TO INTERIOR ELEVATIONS AND ENLARGED PLANS
  - MODULAR RESIN PARTITION
  - ALIGN NEW PARTITION FLUSH WITH EXISTING ADJACENT PARTITION
  - COILING FIRE SHUTTER
  - SECTIONAL OVERHEAD DOOR
  - TRENCH DRAIN, REFER TO PLUMBING
  - RECESSED FIRE EXTINGUISHER CABINET
  - WASHER AND DRYER
  - TILE SHOWER, REFER TO DETAIL XXXX
  - CLEAR MAPLE SLAT SYSTEM, REFER TO INTERIOR ELEVATIONS
  - ARCHITECTURAL CAST IN PLACE CONCRETE
  - INSTALL EXISTING RECEPTION DESK
  - HIGH/LOW DRINKING FOUNTAIN
  - SHOE MOUNTED GLASS GUARD RAIL
  - LINEN CHUTE DOOR
  - PRIVACY CURTAIN AND TRACK
  - TILE SHOWER, REFER TO DETAIL XXXX
  - INFILL FLOOR AT STAIRS, REFER TO DETAIL XXXX



**1 PARTIAL SECOND FLOOR PLAN**  
 1/8" = 1'-0"

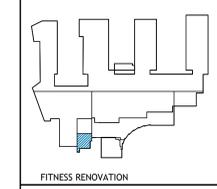
- GENERAL PLAN NOTES:
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  11. REFER TO FINISH PLAN AND SCHEDULE FOR INTERIOR FINISHES.

- PLAN KEY:
- 251A DOOR NUMBER - REFER TO DOOR SCHEDULE
  - 01 WINDOW TAG
  - ELEVATION
  - PARTITION TYPE TAG
  - SPECIFIC NOTE

- SPECIFIC PLAN NOTES: [X]
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  19. PRIVACY CURTAIN AND TRACK
  20. TILE SHOWER, REFER TO DETAIL XXXX
  21. INFILL FLOOR AT STAIRS, REFER TO DETAIL XXXX

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AA Project No.:	2020-02
MC Project No.:	RFB21-001
Bid Pkg No.:	

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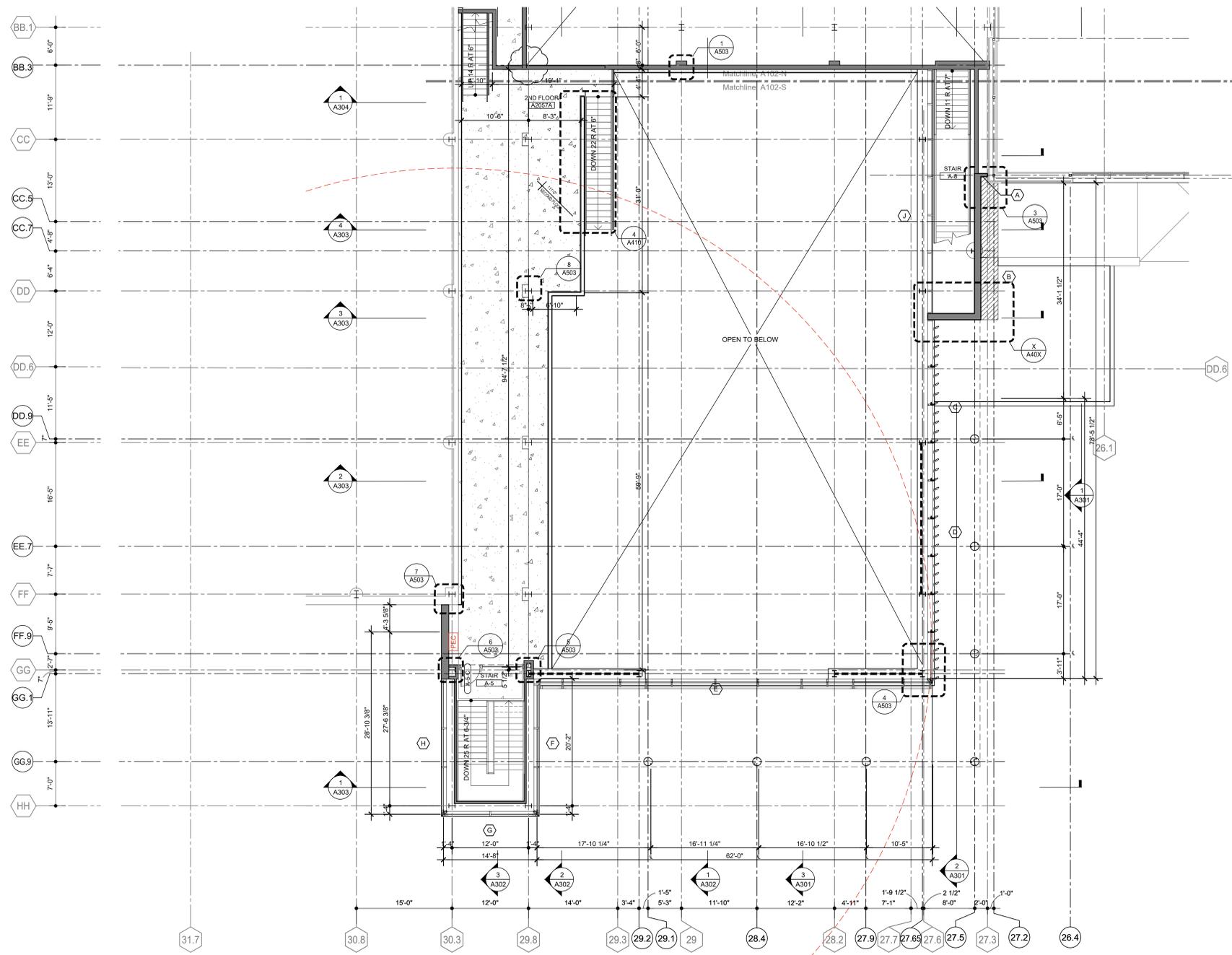
FITNESS RENOVATION  
**assemblage ARCHITECTS**  
 7433 Elmwood Avenue  
 Middleton, WI 53562  
 T 608.827.5047

SCALE  
 1/8" = 1'-0"

SHEET TITLE  
 PARTIAL SECOND FLOOR PLAN - SOUTH

SHEET NUMBER

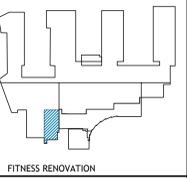
A102-S



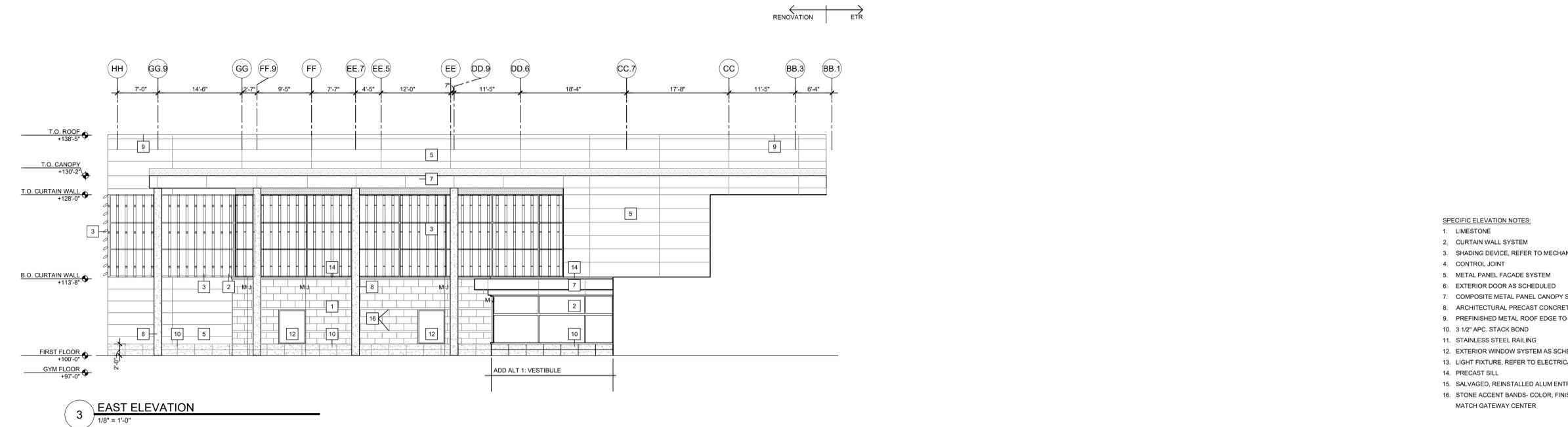
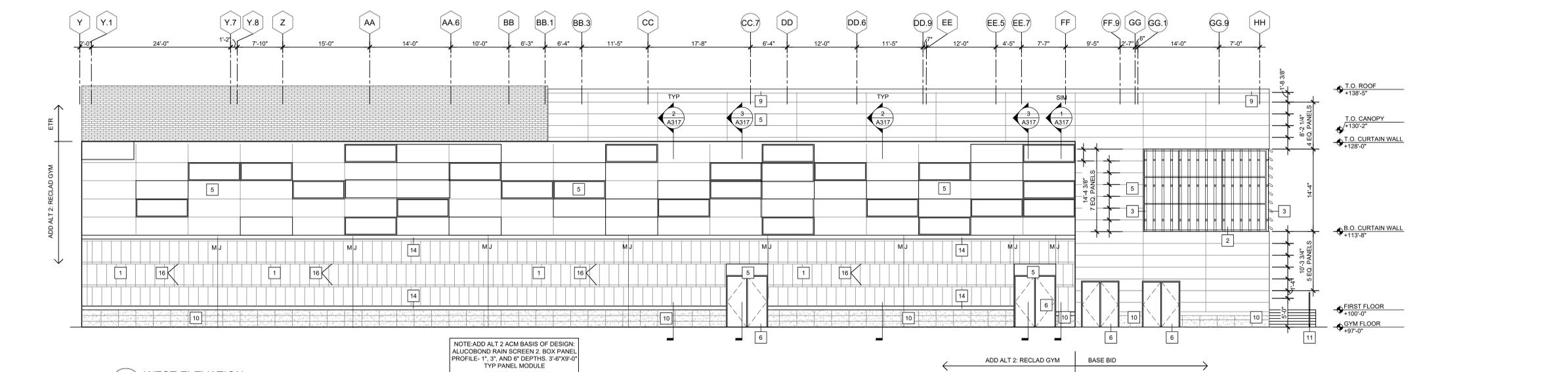
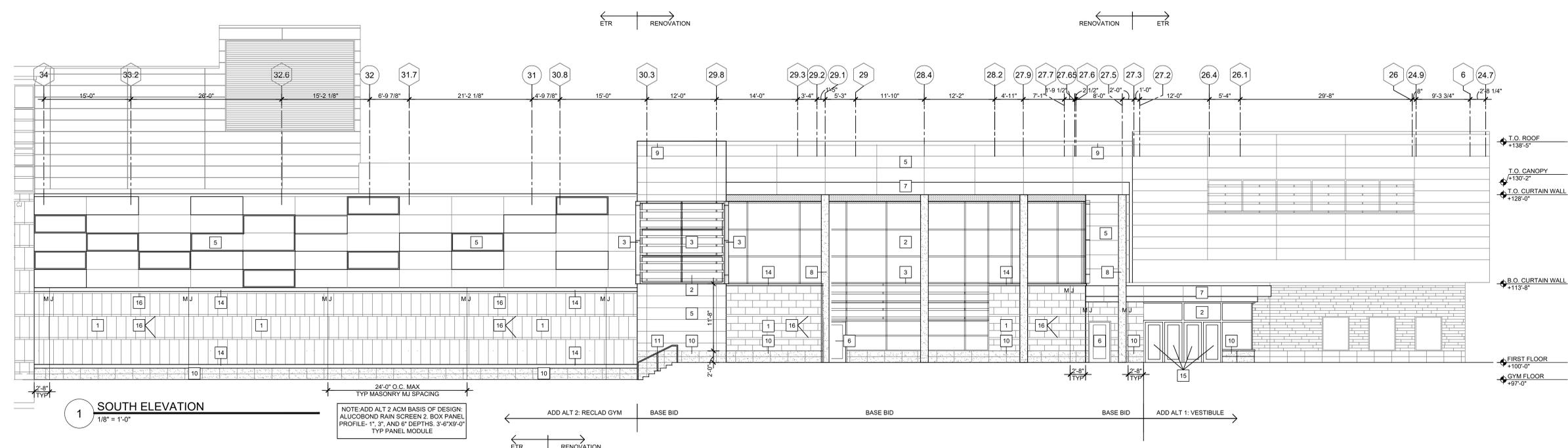
1 PARTIAL SECOND FLOOR PLAN  
 1/8" = 1'-0"



REVISION	DATE



assemblage  
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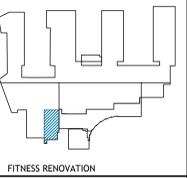
- SPECIFIC ELEVATION NOTES:**
- LIMESTONE
  - CURTAIN WALL SYSTEM
  - SHADING DEVICE, REFER TO MECHANICAL
  - CONTROL JOINT
  - METAL PANEL FACADE SYSTEM
  - EXTERIOR DOOR AS SCHEDULED
  - COMPOSITE METAL PANEL CANOPY SYSTEM
  - ARCHITECTURAL PRECAST CONCRETE COLUMN
  - PREFINISHED METAL ROOF EDGE TO MATCH METAL PANEL SYSTEM
  - 3/2" APC, STACK BOND
  - STAINLESS STEEL RAILING
  - EXTERIOR WINDOW SYSTEM AS SCHEDULED
  - LIGHT FIXTURE, REFER TO ELECTRICAL
  - PRECAST SILL
  - SALVAGED, REINSTALLED ALUM ENTRY SYSTEM AS SCHEDULED
  - STONE ACCENT BANDS- COLOR, FINISH, TEXTURE, AND ELEVATION TO MATCH GATEWAY CENTER

SCALE  
 1/8" = 1'-0"

SHEET TITLE  
 ELEVATIONS

SHEET NUMBER  
 A201

REVISION	DATE



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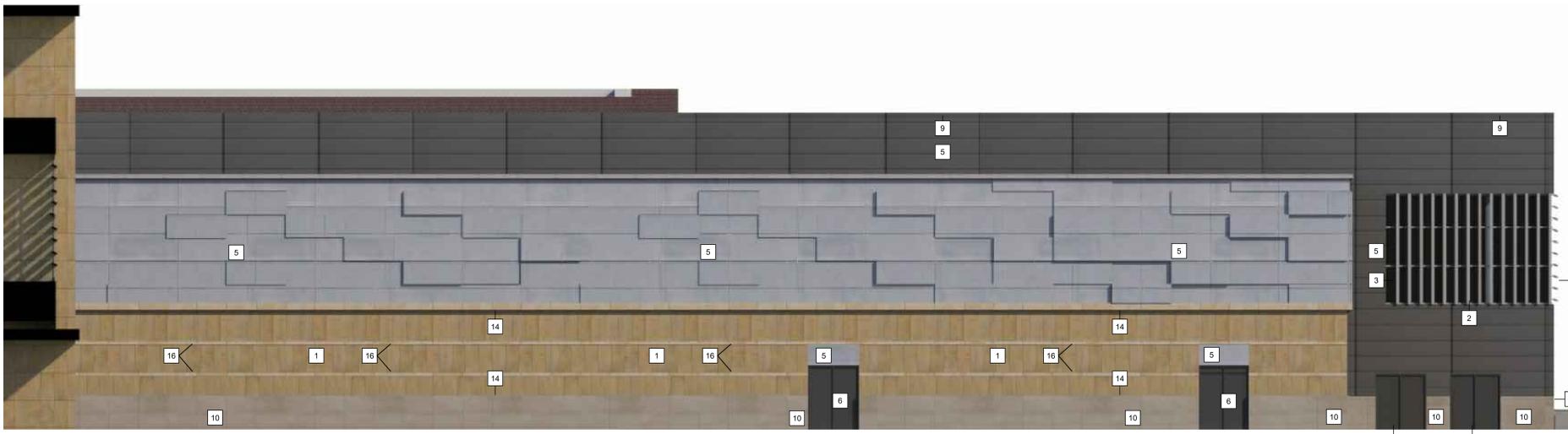


1 SOUTH ELEVATION  
1/8" = 1'-0"

NOTE-ADD ALT 2 ACM BASIS OF DESIGN, ALUCOBOND RAIN SCREEN 2, BOX PANEL PROFILE- 1", 3", AND 6" DEPTHS, 3'-6"X9'-0" TYP PANEL MODULE

← ADD ALT 2: RECLAD GYM BASE BID → BASE BID → BASE BID → ADD ALT 1: VESTIBULE →

- T.O. ROOF +138'-5"
- T.O. CANOPY +130'-2"
- T.O. CURTAIN WALL +128'-0"
- B.O. CURTAIN WALL +113'-8"
- FIRST FLOOR +100'-0"
- GYM FLOOR +97'-0"

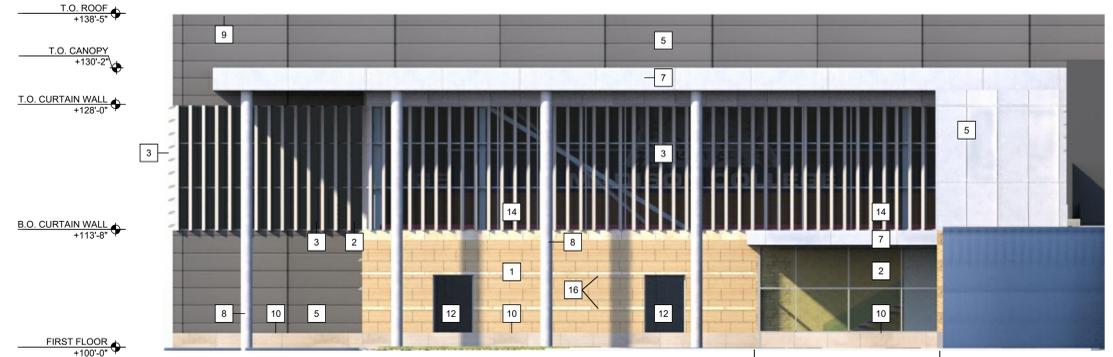


2 WEST ELEVATION  
1/8" = 1'-0"

NOTE-ADD ALT 2 ACM BASIS OF DESIGN, ALUCOBOND RAIN SCREEN 2, BOX PANEL PROFILE- 1", 3", AND 6" DEPTHS, 3'-6"X9'-0" TYP PANEL MODULE

← ADD ALT 2: RECLAD GYM BASE BID →

- T.O. ROOF +138'-5"
- T.O. CANOPY +130'-2"
- T.O. CURTAIN WALL +128'-0"
- B.O. CURTAIN WALL +113'-8"
- FIRST FLOOR +100'-0"
- GYM FLOOR +97'-0"



3 EAST ELEVATION  
1/8" = 1'-0"

← ADD ALT 1: VESTIBULE →

- T.O. ROOF +138'-5"
- T.O. CANOPY +130'-2"
- T.O. CURTAIN WALL +128'-0"
- B.O. CURTAIN WALL +113'-8"
- FIRST FLOOR +100'-0"
- GYM FLOOR +97'-0"

- SPECIFIC ELEVATION NOTES:
1. LIMESTONE
  2. CURTAIN WALL SYSTEM
  3. SHADING DEVICE, REFER TO MECHANICAL
  4. CONTROL JOINT
  5. METAL PANEL FACADE SYSTEM
  6. EXTERIOR DOOR AS SCHEDULED
  7. COMPOSITE METAL PANEL CANOPY SYSTEM
  8. ARCHITECTURAL PRECAST CONCRETE COLUMN
  9. PREFINISHED METAL ROOF EDGE TO MATCH METAL PANEL SYSTEM
  10. 3 1/2" APC, STACK BOND
  11. STAINLESS STEEL RAILING
  12. EXTERIOR WINDOW SYSTEM AS SCHEDULED
  13. LIGHT FIXTURE, REFER TO ELECTRICAL
  14. PRECAST SILL
  15. SALVAGED, REINSTALLED ALUM ENTRY SYSTEM AS SCHEDULED
  16. STONE ACCENT BANDS- COLOR, FINISH, TEXTURE, AND ELEVATION TO MATCH GATEWAY CENTER

SCALE
1/8" = 1'-0"
SHEET TITLE
ELEVATIONS
SHEET NUMBER

A201