



SITE LOCATOR MAP

**SITE DEVELOPMENT DATA:**  
**ZONING: TRADITIONAL RESIDENTIAL - PLANNED DISTRICT**  
**CONDITIONAL USE - RESIDENTIAL BUILDING COMPLEX**

DENSITIES		ZONING REQUIREMENTS	
LOT AREA	102,416 S.F. (4.18 ACRES)	MIN. LOT AREA	10,000 S.F.
DWELLING UNITS	110 UNITS	MIN. DENSITY	1.638 S.F./UNIT
LOT AREA / D.U.	931 S.F./UNIT	MAX. FLOOR AREA	15,400 S.F. (140 S.F./UNIT)
DENSITY	26.3 UNITS/ACRE		

PROVIDED		ZONING REQUIREMENTS	
LOT COVERAGE	87,263 S.F. (85%)	MIN. LOT AREA	10,000 S.F.
USABLE OPEN SPACE	32,062 S.F. (291 S.F./UNIT)	MIN. DENSITY	1.638 S.F./UNIT
BUILDING HEIGHT	3-4 STORIES (38'-48")	MAX. FLOOR AREA	15,400 S.F. (140 S.F./UNIT)

DWELLING UNIT MIX	BLDG #1	#2	#3	TOTAL
STUDIO	5	2	3	10
ONE BED	15	20	21	57
ONE BED + DEN	3	-	-	3
TWO BED	16	12	28	56
TOTAL	39	34	52	125 UNITS

FLOOR AREA	COMMONS FLOOR AREA	TOTAL GROSS FLOOR AREA
57,434	50,207	107,641
159,255 S.F. (INCL. BASEMENT)	6,738 S.F.	165,993 S.F.

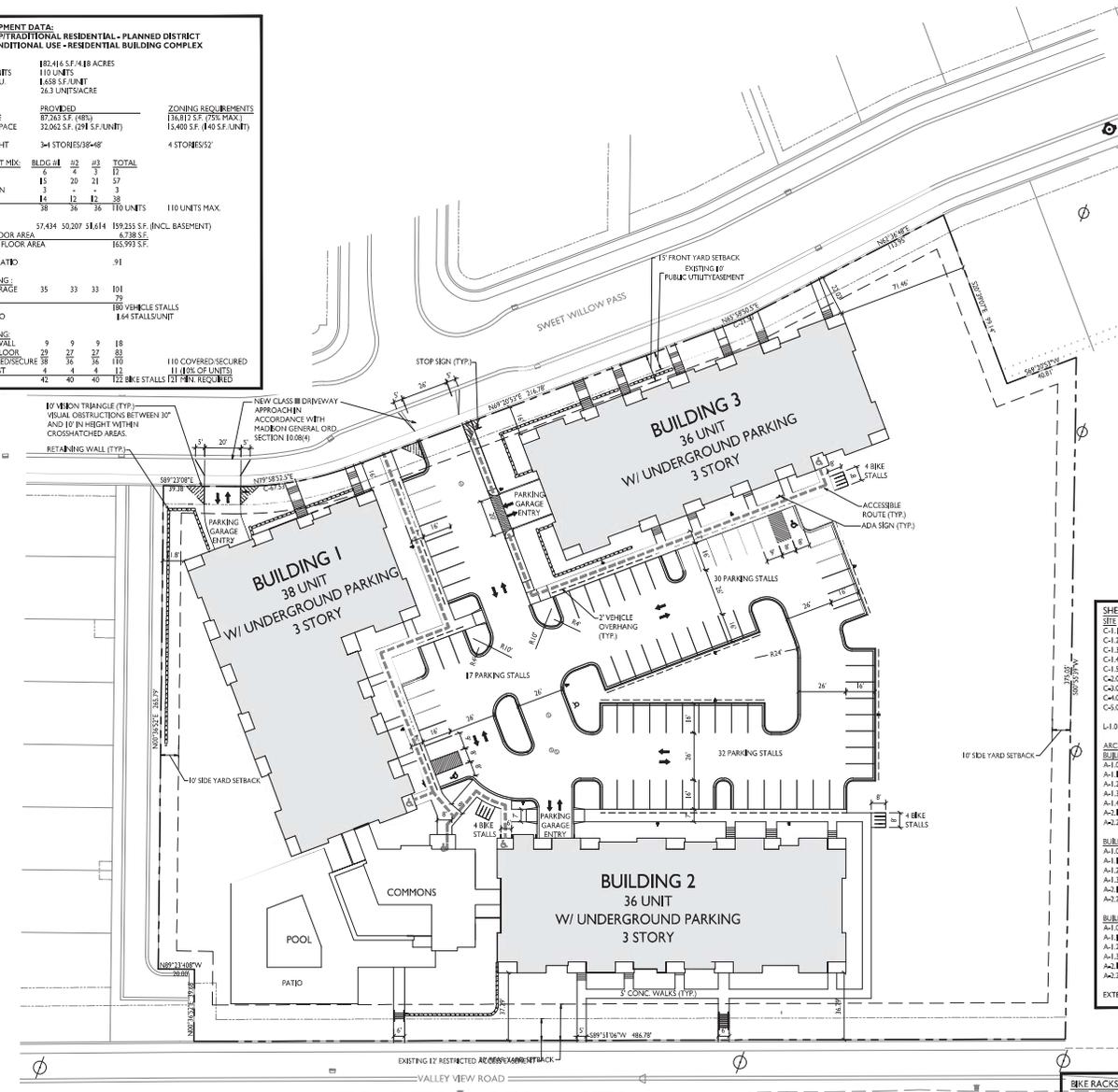
  

VEHICLE PARKING:	BASEMENT GARAGE SURFACE	35	33	33	101
TOTAL					180 VEHICLE STALLS
PARKING RATIO					1.54 STALLS/UNIT

BIKE PARKING:	GARAGE + WALL	9	9	9	18
GARAGE - FLOOR		29	27	27	83
TOTAL COVERED/SECURE		38	36	36	110
SURFACE/GUEST		3	4	4	11
TOTAL		42	40	40	121 BIKE STALLS (111 MIN. REQUIRED)

- GENERAL NOTES:**
- THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
  - ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
  - ALL DAMAGE TO THE PAVEMENT ON CITY STREETS, AND ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
  - ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHOSE DISTRICT IS AFFECTED BY THE STREET TREE REMOVALS PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
  - AS DEFINED BY THE SECTION 107.13(3) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (264-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/SPECS/16M](https://www.cityofmadison.com/business/specs/16m)
  - CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISGUISE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREES. THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 264-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
  - SECTION 107.13(5) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SOILS, OR DUMPING OF HAZARDOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
  - ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERRECTED BEFORE THE DIRT LOTION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND EXTEND AT LEAST 3 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
  - STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
  - APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER (264-4816).
  - THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NOTATIONS ON THIS SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANT'S EXPENSE UPON NOTIFICATION BY THE CITY.



**SHEET INDEX**

SITE	
C-1.1	SITE PLAN
C-1.2	SITE LIGHTING
C-1.3	FIRE DEPARTMENT ACCESS
C-1.4	LOT COVERAGE
C-1.5	USABLE OPEN SPACE
C-2.0	EXISTING CONDITIONS
C-3.0	GRADING & EROSION CONTROL
C-4.0	UTILITY PLAN
C-5.0	SITE CONSTRUCTION DETAILS
L-1.0	LANDSCAPE PLAN

ARCHITECTURAL BUILDING #1	
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-1.4	COMMONS PLANS
A-2.1	ELEVATIONS
A-2.2	ELEVATIONS

BUILDING #2	
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-2.1	ELEVATIONS
A-2.2	ELEVATIONS

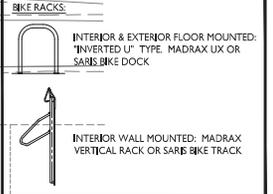
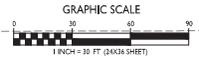
  

BUILDING #3	
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-2.1	ELEVATIONS
A-2.2	ELEVATIONS

EXTERIOR RENDERINGS

**SITE PLAN**  
 C-1.1  
 1" = 30'-0"



ISSUED  
 Issued For Land Use Submittal - July 29, 2020

**PROJECT TITLE**  
 Cascade  
 1000 Oaks

Lot 412 Western Addition  
 To 1000 Oaks

Sweet Willow Pass  
 Madison, WI  
**SHEET TITLE**  
 Site Plan

SHEET NUMBER

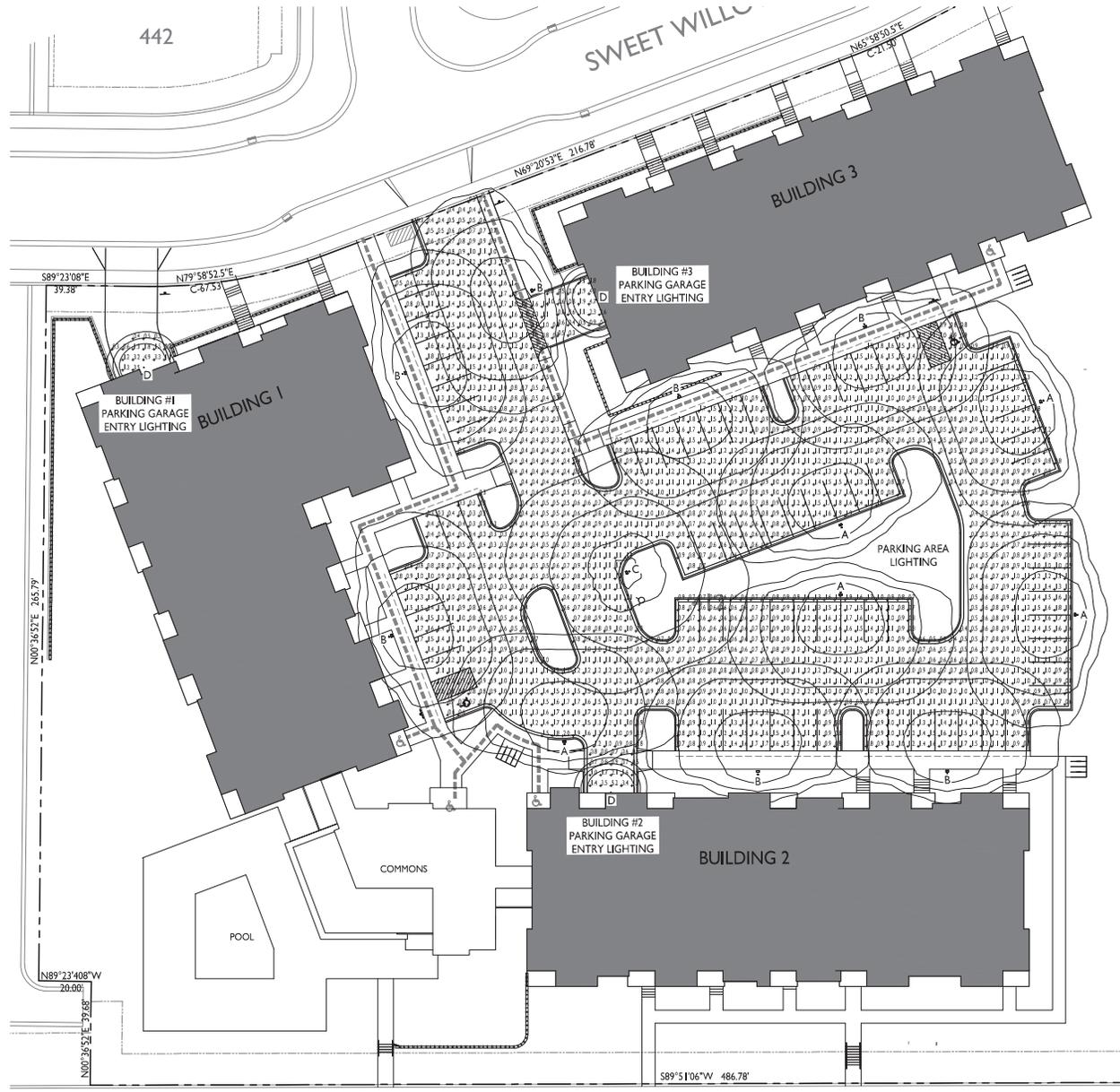
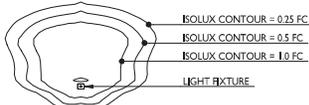
**C-1.1**

PROJECT NO. 1964  
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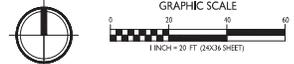
STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX. / MIN.	AVG. / MIN.
Parking Area Lighting	+	1.0 fc	2.0 fc	0.3 fc	6.7:1	3.3:1
Building #1 Parking Garage Entry Lighting	+	1.6 fc	4.9 fc	0.3 fc	16.3:1	5.3:1
Building #2 Parking Garage Entry Lighting	+	1.5 fc	5.2 fc	0.5 fc	10.4:1	3.0:1
Building #3 Parking Garage Entry Lighting	+	1.3 fc	4.7 fc	0.3 fc	15.7:1	4.3:1

LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QTY.	MANUF.	CATALOG	DESCRIPTION	FILE	MOUNTING
□	A	5	LITHONIA LIGHTING	DSX0 LED P1 30K T4M MVOLT HS	DSX0 LED P1 30K T4M MVOLT WITH HOUSE SIDE SHELD	DSX0_LED_P1_30K_T4M_MVOLT_HS.ies	16'40" POLE ON 2'-0" TALL CONC. BASE
□	B	7	LITHONIA LIGHTING	DSX0 LED P1 30K T4M MVOLT HS	DSX0 LED P1 30K T4M MVOLT WITH HOUSE SIDE SHELD	DSX0_LED_P1_30K_T4M_MVOLT_HS.ies	18'40" POLE ON FLUSH CONC. BASE
□	C	1	LITHONIA LIGHTING	DSX0 LED P1 30K TSM MVOLT	DSX0 LED P1 30K TSM MVOLT	DSX0_LED_P1_30K_TSM_MVOLT.ies	18'40" POLE ON FLUSH CONC. BASE
□	D	3	LITHONIA LIGHTING	UL LED 30K MVOLT	UL WALLPACK (STANDARD)	UL_LED_30K_MVOLT.ies	ON BUILDING 8'40" ABOVE GRADE

EXAMPLE LIGHT FIXTURE DISTRIBUTION



**C-1.2** SITE LIGHTING PLAN  
1" = 20'-0"



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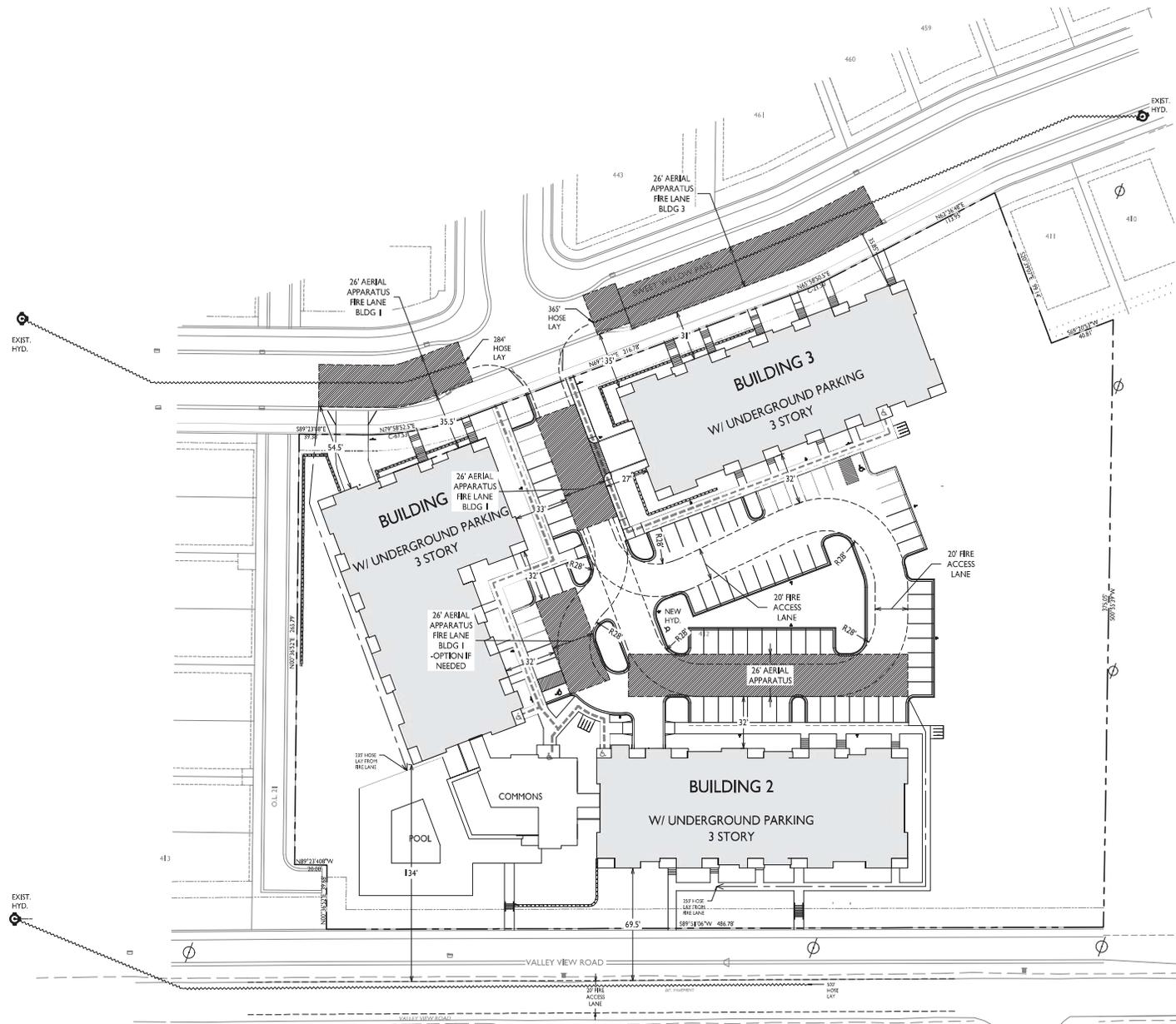
PROJECT TITLE  
Cascade  
1000 Oaks

Lot 412 Western Addition  
To 1000 Oaks

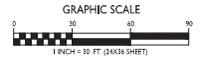
Sweet Willow Pass  
Madison, WI  
SHEET TITLE  
Site Lighting Plan

SHEET NUMBER

**C-1.2**  
PROJECT NO. 1964  
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**1** SITE PLAN  
C-1.3  
1" = 30'-0"



ISSUED  
Issued For Last Use Submitted - July 29, 2020

PROJECT TITLE  
Cascade  
1000 Oaks

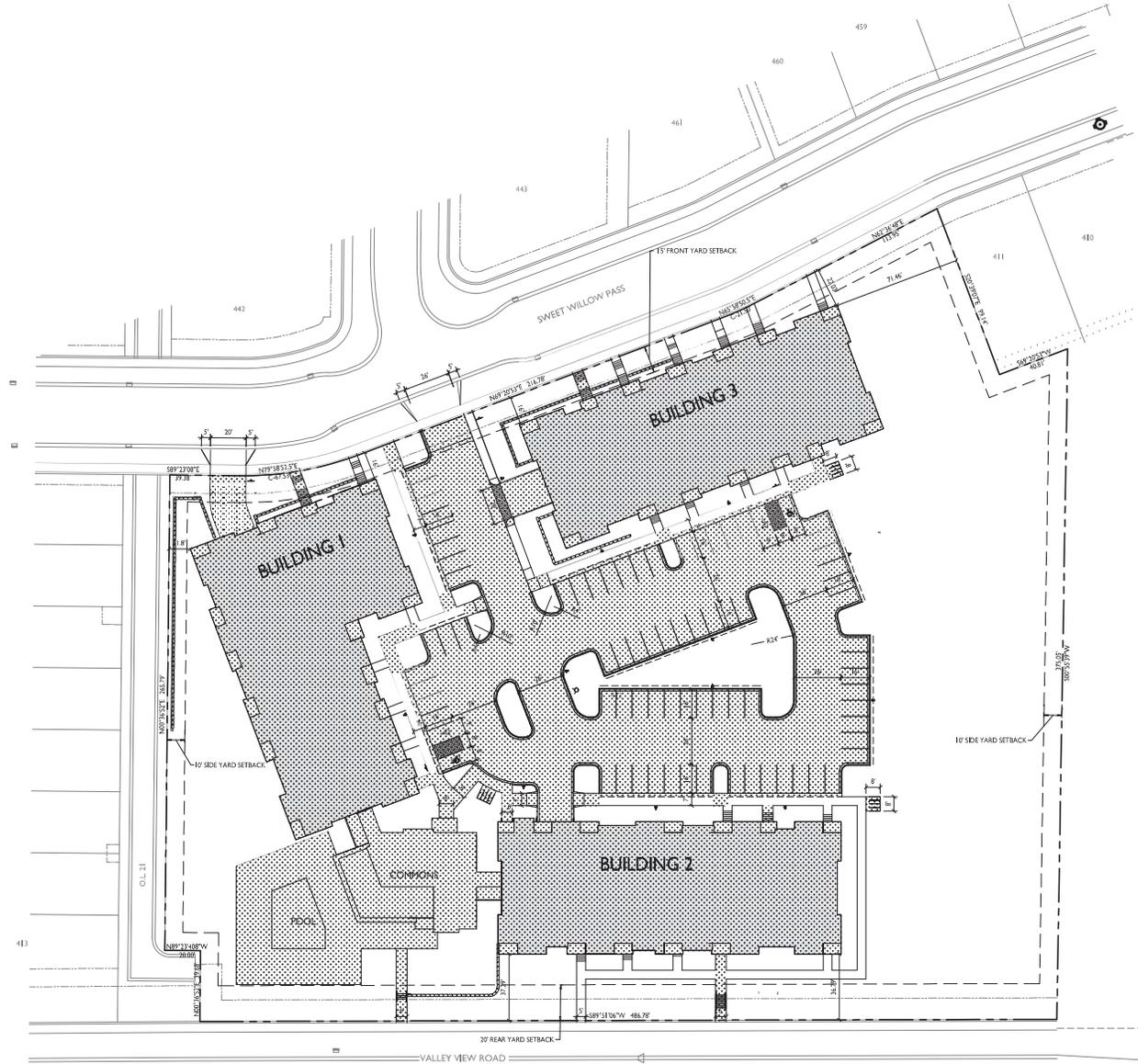
Lot 412 Western Addition  
To 1000 Oaks

Sweet Willow Pass  
Madison, WI  
SHEET TITLE  
Fire Department  
Access Plan

SHEET NUMBER

**C-1.3**

PROJECT NO. 1964  
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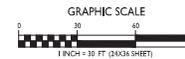
ISSUED  
 Issued For Land Use Submittal - July 29, 2020

PROJECT TITLE  
 Cascade  
 1000 Oaks

Lot 412 Western Addition  
 To 1000 Oaks

Sweet Willow Pass  
 Madison, WI  
 SHEET TITLE  
 Lot Coverage

**1** LOT COVERAGE  
 C-1.4 1" = 30'-0"



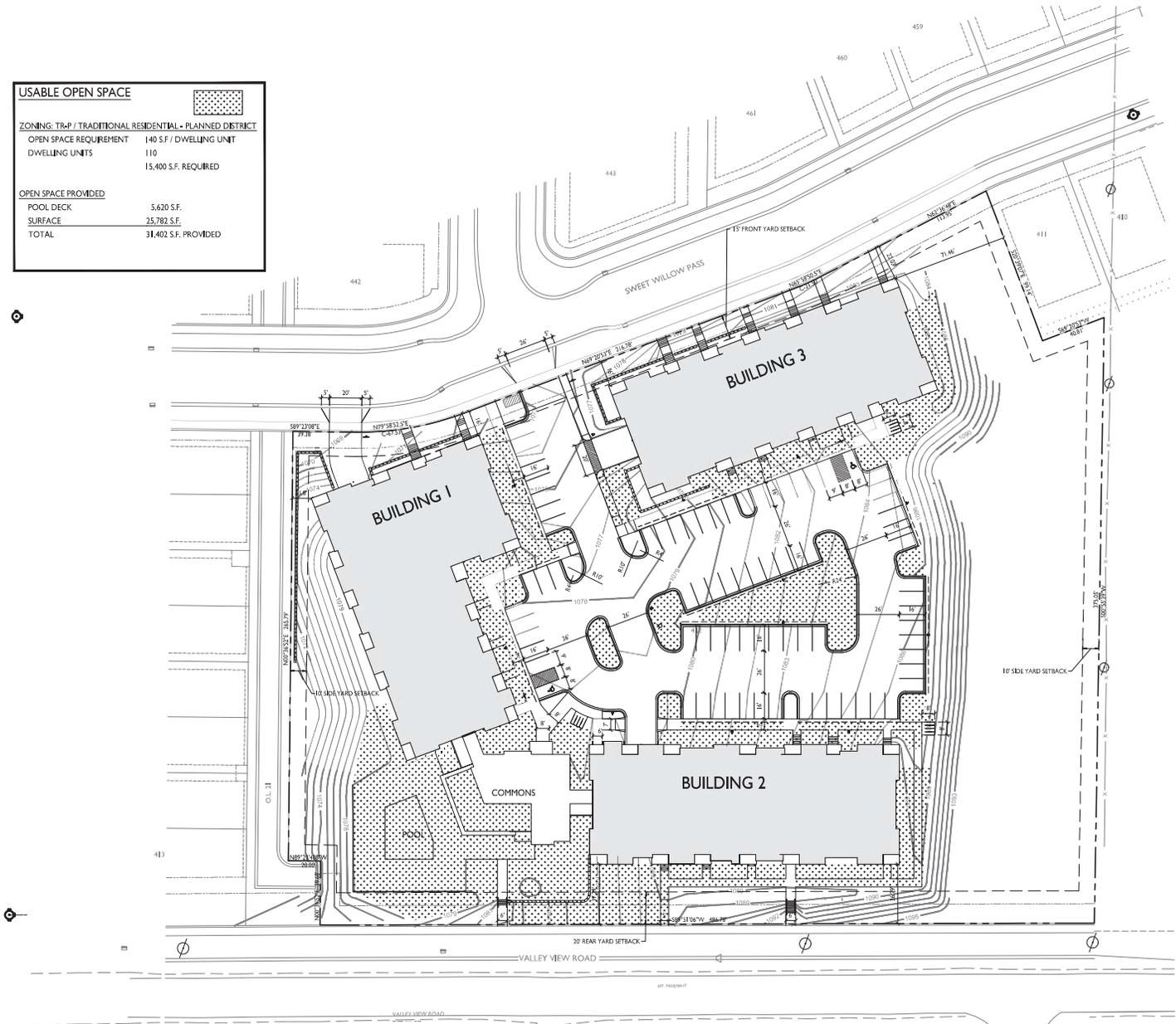
LOT COVERAGE	
ZONING: TR-P / TRADITIONAL RESIDENTIAL - PLANNED DISTRICT	
TOTAL LOT AREA	182,416 S.F.
MAX. ALLOWED	136,812 S.F. (75%)
PROPOSED LOT COVERAGE	87,263 S.F. (48%)

SHEET NUMBER

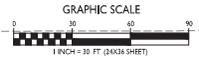
**C-1.4**

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USABLE OPEN SPACE	
ZONING: TR-P / TRADITIONAL RESIDENTIAL - PLANNED DISTRICT	
OPEN SPACE REQUIREMENT	140 S.F. / DWELLING UNIT
DWELLING UNITS	110
	15,400 S.F. REQUIRED
OPEN SPACE PROVIDED	
POOL DECK	5,620 S.F.
SURFACE	25,782 S.F.
TOTAL	31,402 S.F. PROVIDED



**USABLE OPEN SPACE**  
C-1.5  
1" = 30'-0"



ISSUED  
Issued for Land Use Submittal - 1/4 29, 2020

PROJECT TITLE  
Cascade  
1000 Oaks

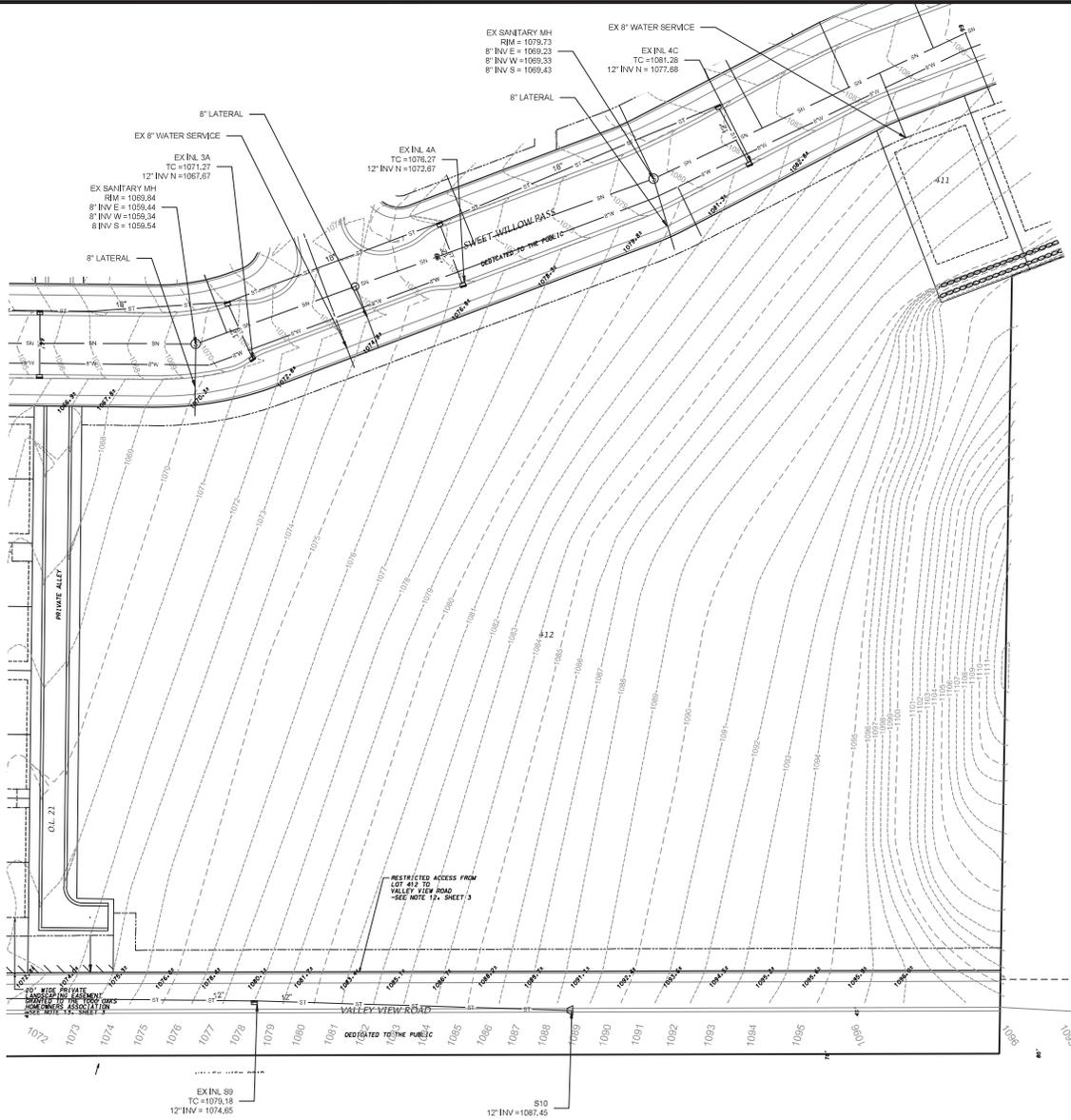
Lot 412 Western Addition  
To 1000 Oaks

Sweet Willow Pass  
Madison, WI  
SHEET TITLE  
Usable Open  
Space

SHEET NUMBER

**C-1.5**

PROJECT NO. 1964  
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- LEGEND:**
- FOUND 1-1/4" REBAR
  - FOUND 3/4" REBAR
  - SS — SS — SANITARY SEWER
  - W — W — WATER MAIN
  - ST — ST — STORM SEWER
  - G — G — GAS MAIN
  - MANHOLE
  - ⊗ CATCH BASIN/INLET
  - ⊕ VALVE
  - ⊙ HYDRANT
  - ⊕ EDGE OF TREES
  - ▭ CONCRETE
  - X FENCE
  - ▬ CONCRETE CURB AND GUTTER
  - 810 — EXISTING CONTOUR (8 DECIMAL FT.)
  - 918.32 SPOT ELEVATION (8 DECIMAL FT.)
  - ( ) "RECORDED AS" INFORMATION

**DIGGERS HOTLINE AND ASSOCIATES, INC.**  
 7250 Wisconsin Way, Madison, WI 53717  
 Telephone: (608) 255-2500 Fax: (608) 255-1189  
 Website: www.diggershotline.com

EXISTING CONDITIONS  
**CASCADE - 1000 OAKS**  
**LOT 412 WESTERN ADDITION TO 1000 OAKS**  
 MADISON, WISCONSIN

  
 (PAGE SIZE: 24x36)  
 DATE: 07/28/20  
 REVISION:  
 DESIGNED BY: GSP  
 DRAWN BY: GSP  
 SHEET NUMBER: C-2.0

TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**DIGGERS HOTLINE**  
 Dial 811 or (800) 242-8511  
 DiggersHotline.com



**DIGGERS HOTLINE AND ASSOCIATES, INC.**  
 7250 Wisconsin Way, Madison, WI 53717  
 Phone: (608) 242-8511 Fax: (608) 242-8510  
 Email: info@diggershotline.com Website: www.diggershotline.com

**UTILITY NOTES**

1. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. PROTECTION OF EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY.
2. CONTRACTOR TO VERIFY LOCATION, DEPTH & SIZE OF EXISTING WATER, STORM AND SEWER PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO VERIFY AND COORDINATE SANITARY, STORM AND WATER BUILDING SERVICE CONNECTION LOCATION, SIZES, & DEPTHS WITH ARCHITECTURAL PLUMBING PLAN PRIOR TO CONSTRUCTION.
4. CONTRACTOR TO COORDINATE ELECTRIC, GAS, PHONE & CABLE INSTALLATION WITH THE RESPECTIVE UTILITY COMPANIES.
5. ALL WATER SERVICES AND HYDRANTS SHALL BE INSTALLED WITH A VALVE.
6. ALL STORM CATCHBASINS TO BE 48" DIAMETER WITH NEENAH R-2501 INLET FRAME, GRATE WITH TYPE G LID UNLESS NOTED AS SOLID LID ON PLAN.
7. ALL STORM CURB INLETS TO BE 2'X3' INLET BOXES WITH NEENAH R-3067 COMBINATION INLET FRAME, GRATE, CURB BOX WITH TYPE C LID.
8. PLACE 8' X 4' X 2" WATERMAIN INSULATION AT ALL STORM SEWER CROSSINGS.
9. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SANITARY AND STORM SEWERS MAINS AND WATER SERVICES MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THESE CODE SECTIONS SPS 382.30 (1)(h), SPS 382.36(7)(d)10.a, AND SPS 382.40(6)(k) AS PER 182.0715(2) OF THE STATUTES.
10. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SUD. 2 TO 7 NR 81.08.
11. ALL INLETS RECEIVING RUNOFF FROM PARKING LOTS SHALL BE INSTALLED WITH POST CONSTRUCTION FLEXSTORM INLET INSERTS TO REMOVE OIL AND GREASE OR EQUIVALENT.

**GENERAL NOTES**

1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY.
4. IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION.
6. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
7. THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION / PLAN OF THE TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
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**GENERAL NOTES**

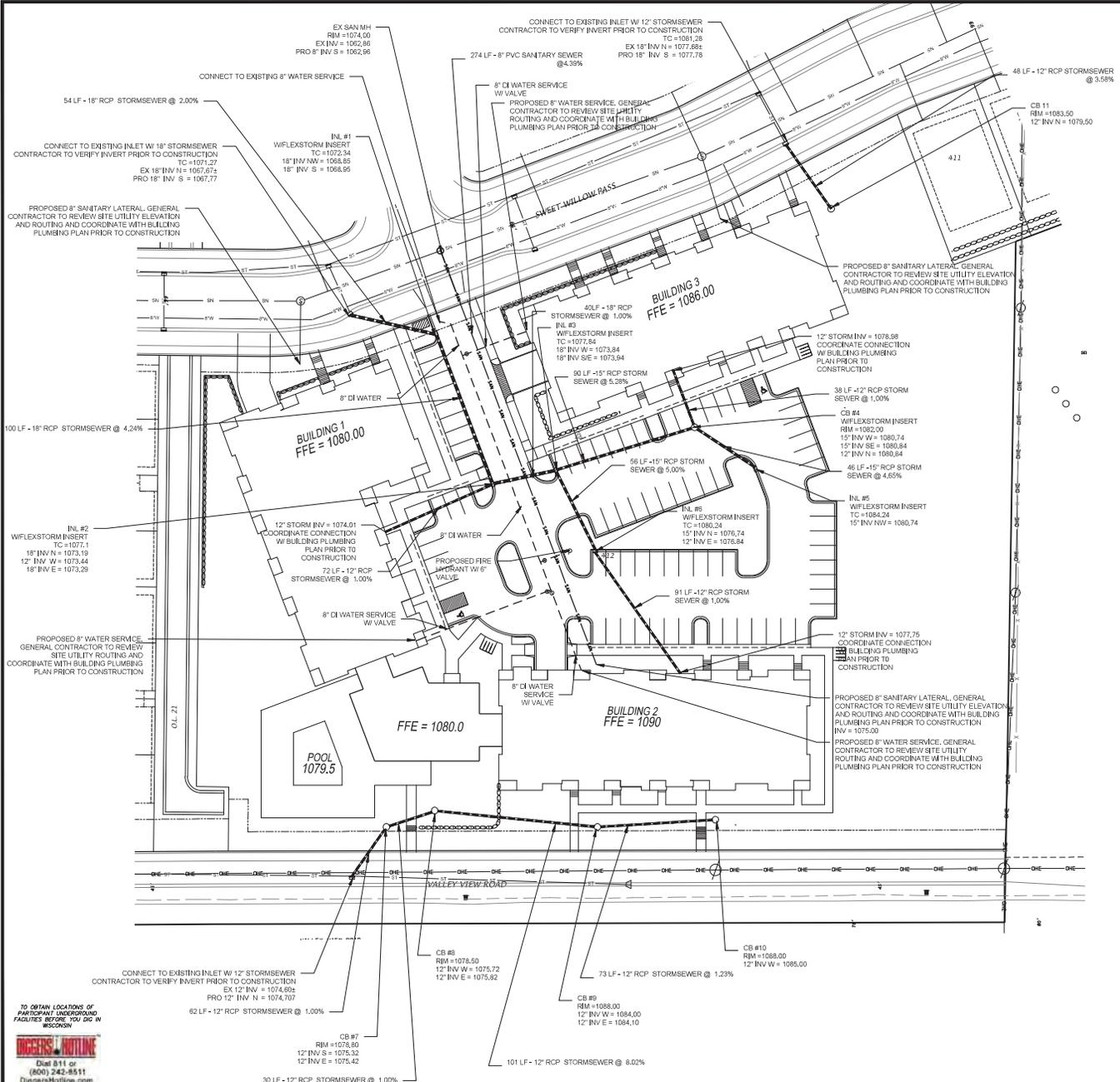
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City of Madison, WI Landscape Worksheet  
Planned Development District  
8/20/2020

DEVELOPED LOTS	SQUARE FEET	LANDSCAPE POINTS REQ.
Total Developed Area (82,429 (net) - 47,103 (building footprint))	145,634	240

PLANT TYPE / ELEMENT	POINT VALUE	QUANTITY	TOTAL POINTS
Decorative Deciduous	35	39	805
Tall Evergreen Tree	35	17	595
Ornamental Tree	15	32	480
Height Evergreen Shrub (i.e. arbovitae)	10	2	20
Shrub, deciduous	3	242	726
Shrub, evergreen	3	71	213
Ornamental Grasses (Perennials)	2	137	274
Ornamental/Decorative Fencing or Wall	4	0	0
Plant Specimen Tree	19	0	0
Landscaping Furniture for public seating and/or transit connections	5	0	0
<b>POINTS PROVIDED</b>			<b>1368</b>

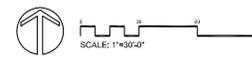
**PLANT LIST**

KEY	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	ROOT	STEM
<b>DECIDUOUS TREES</b>						
AT	<i>Juniperus horizontalis</i>	Horizontal Blue Juniper	7	4"	Ball	
BT	<i>Quercus laevis</i>	Shiny Horn-Oak	8	2"	Ball	
CT	<i>Quercus macrocarpa</i>	Swamp White Oak	3	2"	Ball	
LT	<i>Liquidambar styraciflua</i>	Sweetgum	3	2"	Ball	
SL	<i>Syringa vulgaris</i>	Common Lilac	2	2"	Ball	
<b>CONIFER TREES</b>						
AG	<i>Abies balsamea</i>	Blue Spruce	10	2"	Ball	Tree form
ML	<i>Metasequoia glyptostrobilus</i>	Redwood	2	2"	Ball	
MR	<i>Metasequoia glyptostrobilus</i>	Redwood	1	2"	Ball	
SR	<i>Syringa reticulata</i>	Japanese Tree Lilac	10	2"	Ball	
<b>EVERGREEN TREES</b>						
PD	<i>Prunella domestica</i>	Black Cherry	6	2"	Ball	
PR	<i>Prunella domestica</i>	Black Cherry	11	2"	Ball	
TE	<i>Thuja occidentalis</i>	Eastern Arborvitae	2	2"	Ball	
<b>EVERGREEN SHRUBS</b>						
BS	<i>Buxus sempervirens</i>	Common Boxwood	14	4"	Cont.	
CS	<i>Camellia japonica</i>	Japanese Camellia	10	4"	Cont.	
DS	<i>Daphne genkwa</i>	Genkwa	5	4"	Cont.	
ES	<i>Euonymus japonicus</i>	Japanese Euonymus	10	4"	Cont.	
FS	<i>Forsythia intermedia</i>	Common Forsythia	10	4"	Cont.	
GS	<i>Garrya elliptica</i>	Chinese Paper Birch	5	4"	Cont.	
IS	<i>Illicium anisatum</i>	Spice Bush	10	4"	Cont.	
JS	<i>Juniperus horizontalis</i>	Horizontal Blue Juniper	7	4"	Cont.	
KS	<i>Kalmia latifolia</i>	Common Kalmia	10	4"	Cont.	
LS	<i>Lonicera japonica</i>	Japanese Honeysuckle	10	4"	Cont.	
MS	<i>Myrica pensylvanica</i>	Common Myrica	10	4"	Cont.	
NS	<i>Nandina domestica</i>	Heavenly Bamboo	10	4"	Cont.	
OS	<i>Osmanthus fragrans</i>	Common Osmanthus	10	4"	Cont.	
PS	<i>Prunella domestica</i>	Black Cherry	6	4"	Cont.	
RS	<i>Rosa rugosa</i>	Common Rose	10	4"	Cont.	
SS	<i>Syringa vulgaris</i>	Common Lilac	10	4"	Cont.	
TS	<i>Taxus canadensis</i>	Canadian Hemlock	10	4"	Cont.	
VS	<i>Viburnum cedricum</i>	Common Viburnum	10	4"	Cont.	
WS	<i>Wisteria floribunda</i>	Common Wisteria	10	4"	Cont.	
<b>ORNAMENTAL GRASSES &amp; PERENNIALS</b>						
AS	<i>Anemone pulsatilla</i>	Common Anemone	10	4"	Cont.	
BS	<i>Berberis thunbergii</i>	Japanese Barberry	10	4"	Cont.	
CS	<i>Camellia japonica</i>	Japanese Camellia	10	4"	Cont.	
DS	<i>Daphne genkwa</i>	Genkwa	10	4"	Cont.	
ES	<i>Euonymus japonicus</i>	Japanese Euonymus	10	4"	Cont.	
FS	<i>Forsythia intermedia</i>	Common Forsythia	10	4"	Cont.	
GS	<i>Garrya elliptica</i>	Chinese Paper Birch	10	4"	Cont.	
IS	<i>Illicium anisatum</i>	Spice Bush	10	4"	Cont.	
JS	<i>Juniperus horizontalis</i>	Horizontal Blue Juniper	10	4"	Cont.	
KS	<i>Kalmia latifolia</i>	Common Kalmia	10	4"	Cont.	
LS	<i>Lonicera japonica</i>	Japanese Honeysuckle	10	4"	Cont.	
MS	<i>Myrica pensylvanica</i>	Common Myrica	10	4"	Cont.	
NS	<i>Nandina domestica</i>	Heavenly Bamboo	10	4"	Cont.	
OS	<i>Osmanthus fragrans</i>	Common Osmanthus	10	4"	Cont.	
PS	<i>Prunella domestica</i>	Black Cherry	10	4"	Cont.	
RS	<i>Rosa rugosa</i>	Common Rose	10	4"	Cont.	
SS	<i>Syringa vulgaris</i>	Common Lilac	10	4"	Cont.	
TS	<i>Taxus canadensis</i>	Canadian Hemlock	10	4"	Cont.	
VS	<i>Viburnum cedricum</i>	Common Viburnum	10	4"	Cont.	
WS	<i>Wisteria floribunda</i>	Common Wisteria	10	4"	Cont.	

- Stonegrass Inexpensive Profile Seed Mix
- Urnstone Rocking Wall
- Brown Dye Wood Mulch (Black Vinyl Edging)
- ProFlon Kentucky Bluegrass sod
- Fine-leafed sun seed blend with straw mat (Class 1 Type B single roll)

**LANDSCAPE NOTES:**

- Please refer to Grading & Erosion Control Plan for final contour information.
- Individual tree and shrub groupings in finish areas to receive wood mulch rings with shored cut edge.
- Add street trees per the direction of the City Forester.
- Vinyl edge is Dimex EdgePro polyvinyl edging or equivalent



**CASCADE-1000 OAKS**  
LOT 412 WESTER ADDITION TO 1000 OAKS  
MADISON, WISCONSIN

Date: July 27, 2020  
Scale: 1" = 30'-0"  
Designer: kms  
JOB #

Note:  
To protect against legal liability, the plans presented herein are "schematic" and should not be reproduced as "bid" or "construction documents" unless approved by the Landscape Designer. This is not an original document unless stamped in ink as ORIGINAL.

Revisions:  
8.26.2020  
9.11.2020

Reference Name:  
Cascade Development



**BLDG I - FIRST FLOOR PLAN**  
 A-1.1 1/8" = 1'-0"





ISSUED  
 based for Land Use Submittal - 11/29/2020

PROJECT TITLE  
 Cascade  
 1000 Oaks

Lot 412 Western Addition  
 To 1000 Oaks

Sweet Willow Pass  
 Madison, WI  
 SHEET TITLE  
 Building I  
 Second Floor Plan

SHEET NUMBER

**A-1.2**

PROJECT NO. 1964  
 © Knothe & Bruce Architects, LLC

**BLDG I - SECOND FLOOR PLAN**  
 1/8" = 1'-0"





ISSUED  
 Issued for Land Use Submittal - 11/29/2020

PROJECT TITLE  
 Cascade  
 1000 Oaks

Lot 412 Western Addition  
 To 1000 Oaks

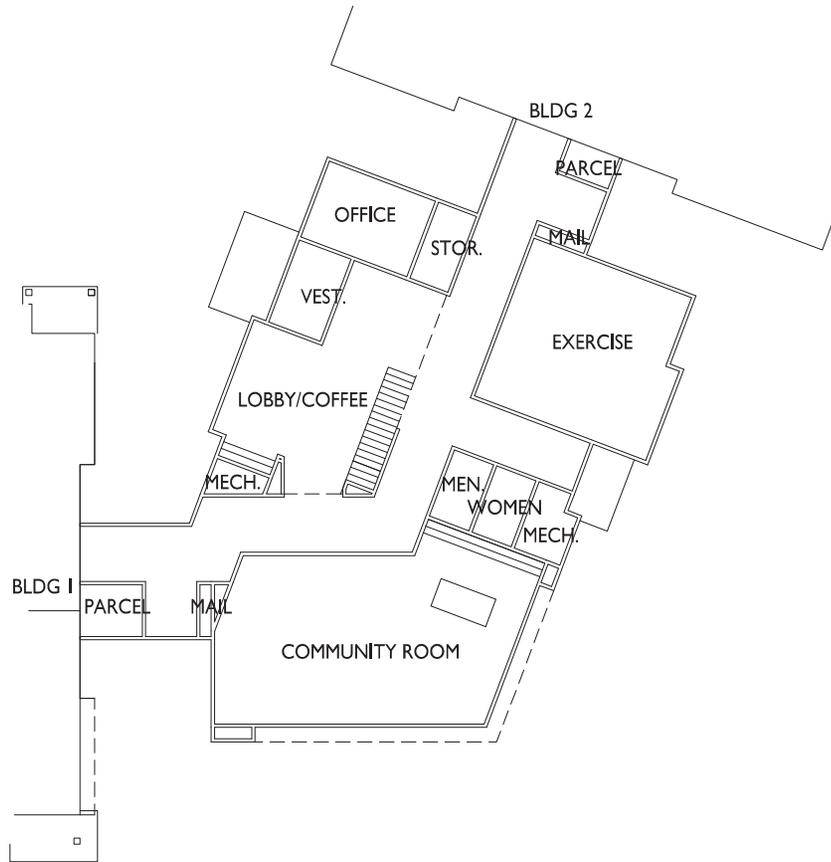
Sweet Willow Pass  
 Madison, WI  
 SHEET TITLE  
 Building I  
 Third Floor Plan

SHEET NUMBER

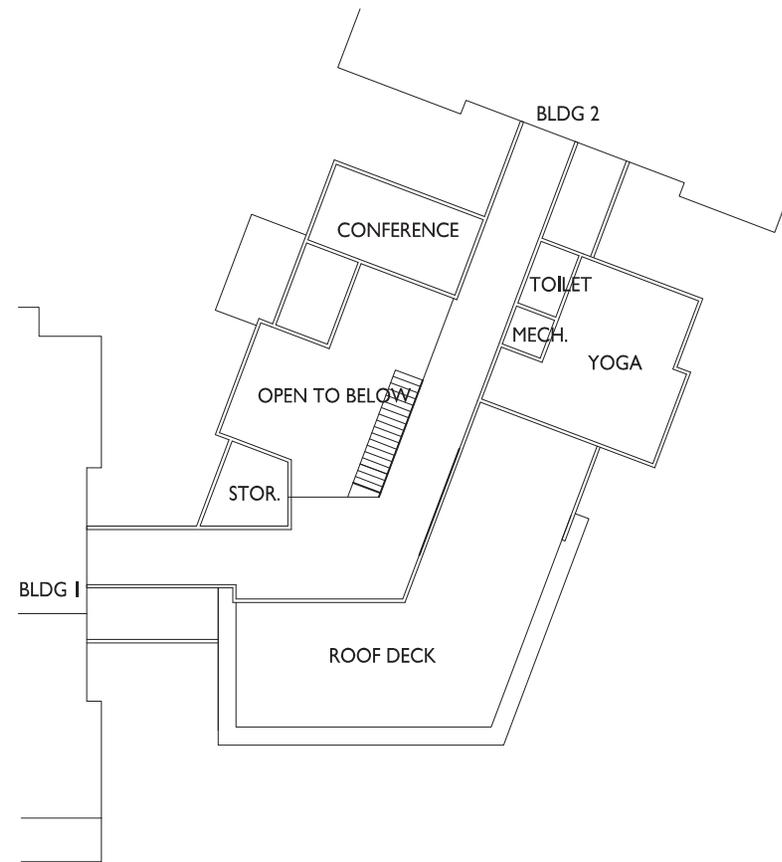
**A-1.3**  
 PROJECT NO. 1964  
 © Knothe & Bruce Architects, LLC

**BLDG I - THIRD FLOOR PLAN**  
 1/8" = 1'-0"





1 COMMONS - FIRST FLOOR PLAN  
 A-1.4 1/8" = 1'-0"



2 COMMONS - SECOND FLOOR PLAN  
 A-1.4 1/8" = 1'-0"

ISSUED  
 Issued for Land Use Submittal - 1/4/2020

PROJECT TITLE  
 Cascade  
 1000 Oaks

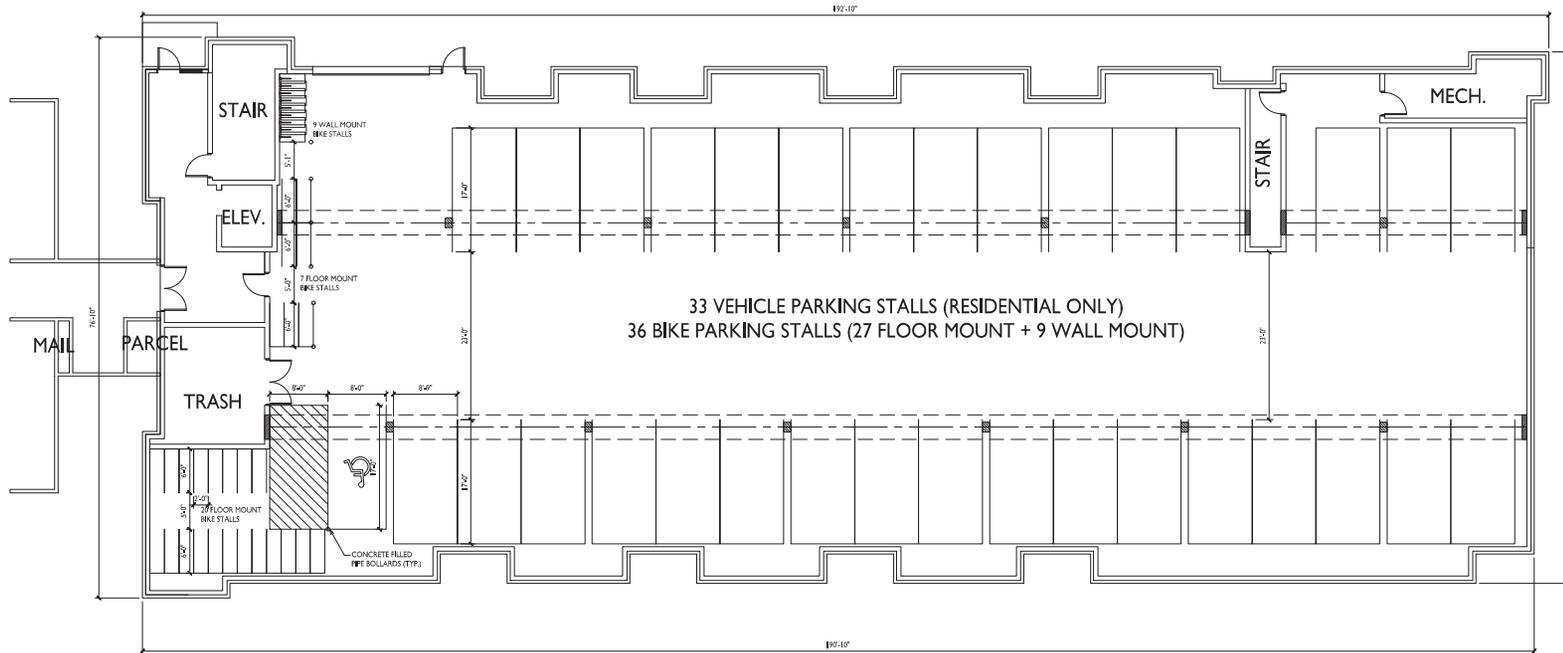
Lot 412 Western Addition  
 To 1000 Oaks

Sweet Willow Pass  
 Madison, WI  
 SHEET TITLE  
 Commons  
 First & Second  
 Floor Plan

SHEET NUMBER

**A-1.4**

PROJECT NO. 1964  
 © Knothe & Bruce Architects, LLC



ISSUED  
 Issued for Land Use Submittal - 11/29/2020

PROJECT TITLE  
 Cascade  
 1000 Oaks

Lot 412 Western Addition  
 To 1000 Oaks

Sweet Willow Pass  
 Madison, WI  
 SHEET TITLE  
 Building 2  
 Basement Floor  
 Plan

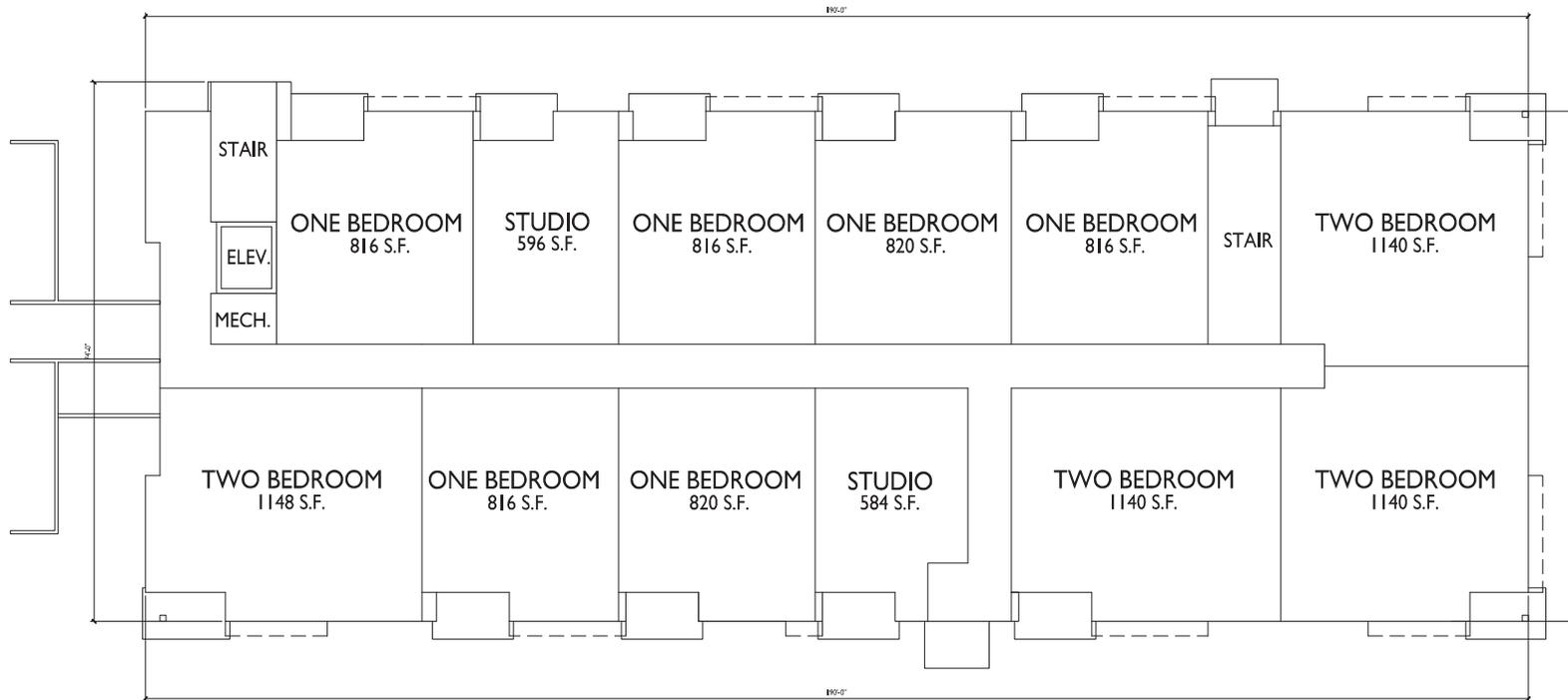
SHEET NUMBER

**A-1.0**

PROJECT NO. 1964  
 © Knothe & Bruce Architects, LLC

**BLDG 2 - BASEMENT FLOOR PLAN**  
 A-1.0 1/8" = 1'-0"





ISSUED  
 Issued for Land Use Submittal - 11/29/2020

PROJECT TITLE  
 Cascade  
 1000 Oaks

Lot 412 Western Addition  
 To 1000 Oaks

Sweet Willow Pass  
 Madison, WI  
 SHEET TITLE  
 Building 2  
 First Floor Plan

SHEET NUMBER

**A-1.1**

PROJECT NO. 1964  
 © Knothe & Bruce Architects, LLC

**BLDG 2 - FIRST FLOOR PLAN**  
 A-1.1 1/8" = 1'-0"





ISSUED  
 Issued for Land Use Submittal - 11/29/2020

PROJECT TITLE  
 Cascade  
 1000 Oaks

Lot 412 Western Addition  
 To 1000 Oaks

Sweet Willow Pass  
 Madison, WI  
 SHEET TITLE  
 Building 2  
 Second Floor Plan

SHEET NUMBER

**A-1.2**

PROJECT NO. 1964  
 © Knothe & Bruce Architects, LLC

**BLDG 2 - SECOND FLOOR PLAN**  
 A-1.2 1/8" = 1'-0"





ISSUED  
 Issued for Land Use Submittal - 11/29/2020

PROJECT TITLE  
 Cascade  
 1000 Oaks

Lot 412 Western Addition  
 To 1000 Oaks

Sweet Willow Pass  
 Madison, WI  
 SHEET TITLE  
 Building 2  
 Third Floor Plan

SHEET NUMBER

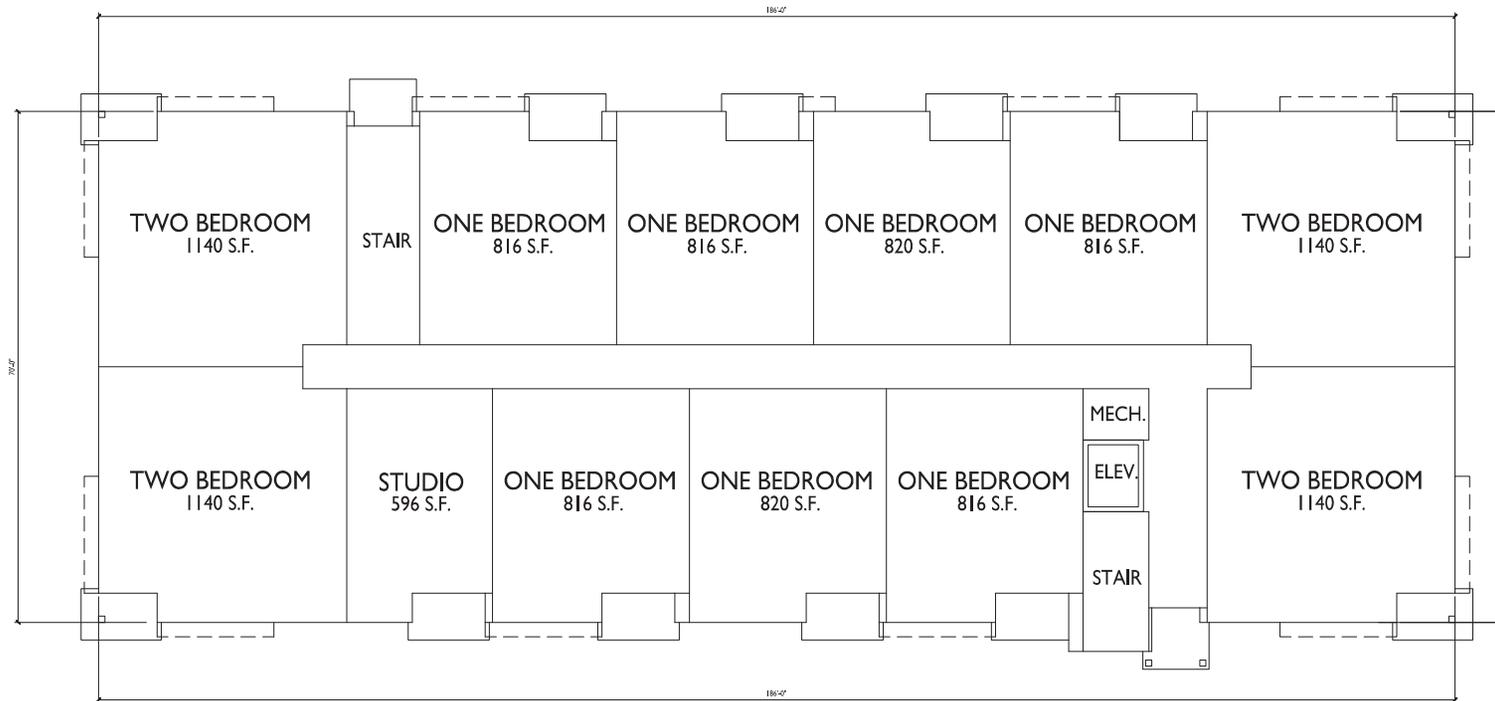
**A-1.3**

PROJECT NO. 1964  
 © Knothe & Bruce Architects, LLC

**BLDG 2 - THIRD FLOOR PLAN**  
 A-1.3 1/8" = 1'-0"







ISSUED  
 Issued for Land Use Submittal - 11/29/2020

PROJECT TITLE  
 Cascade  
 1000 Oaks

Lot 412 Western Addition  
 To 1000 Oaks

Sweet Willow Pass  
 Madison, WI  
 SHEET TITLE  
 Building 3  
 First Floor Plan

SHEET NUMBER

**A-1.1**  
 PROJECT NO. 1964  
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**BLDG 3 - FIRST FLOOR PLAN**  
 A-1.1 1/8" = 1'-0"



ISSUED  
 based for Land Use Submittal - 11/29/2020

PROJECT TITLE  
 Cascade  
 1000 Oaks

Lot 412 Western Addition  
 To 1000 Oaks

Sweet Willow Pass  
 Madison, WI  
 SHEET TITLE  
 Building 3  
 Second Floor Plan

SHEET NUMBER

**A-1.2**

PROJECT NO. 1964  
 © Knothe & Bruce Architects, LLC

**BLDG 3 - SECOND FLOOR PLAN**  
 1/8" = 1'-0"





ISSUED  
 Issued for Land Use Submittal - 11/29/2020

PROJECT TITLE  
 Cascade  
 1000 Oaks

Lot 412 Western Addition  
 To 1000 Oaks

Sweet Willow Pass  
 Madison, WI  
 SHEET TITLE  
 Building 3  
 Third Floor Plan

SHEET NUMBER

**A-1.3**

PROJECT NO. 1964  
 © Knothe & Bruce Architects, LLC

**BLDG 3 - THIRD FLOOR PLAN**  
 1/8" = 1'-0"





**1**  
 A-2.3  
**NORTH ELEVATION COLOR**  
 1/8" = 1'-0"

ISSUED  
 Issued for Land Use - August 29, 2020



**2**  
 A-2.3  
**EAST ELEVATION COLOR**  
 1/8" = 1'-0"

PROJECT TITLE  
**CASCADE**  
**1000 OAKS**

LOT 412 WESTERN  
 ADDITION  
 TO 1000 OAKS

SWEET WILLOW  
 PASS  
 MADISON, WI

SHEET TITLE  
**BLDG 1**  
**EXTERIOR**  
**ELEVATIONS**  
**COLOR**

SHEET NUMBER

**A-2.3**

PROJECT NUMBER **1964**  
 © Knothe & Bruce Architects, LLC



1  
A-2.4  
WEST ELEVATION - APARTMENT COLOR  
1/8" = 1'-0"



2  
A-2.4  
SOUTH ELEVATION COLOR  
1/8" = 1'-0"



3  
A-2.4  
WEST ELEVATION - CLUBHOUSE COLOR  
1/8" = 1'-0"

PROJECT TITLE  
**CASCADE**  
**1000 OAKS**

LOT 412 WESTERN  
 ADDITION  
 TO 1000 OAKS

SWEET WILLOW  
 PASS  
 MADISON, WI

SHEET TITLE  
**BLDG 1**  
**EXTERIOR**  
**ELEVATIONS**  
**COLOR**

SHEET NUMBER

**A-2.4**

PROJECT NUMBER **1964**  
 © Knothe & Bruce Architects, LLC



1  
 A-2.3  
 NORTH ELEVATION - APARTMENT COLOR  
 1/8" = 1'-0"



2  
 A-2.3  
 EAST ELEVATION COLOR  
 1/8" = 1'-0"



3  
 A-2.3  
 NORTH ELEVATION - CLUBHOUSE COLOR  
 1/8" = 1'-0"

PROJECT TITLE  
**CASCADE**  
**1000 OAKS**

LOT 412 WESTERN  
 ADDITION  
 TO 1000 OAKS

SWEET WILLOW  
 PASS  
 MADISON, WI

SHEET TITLE  
**BLDG 2**  
**EXTERIOR**  
**ELEVATIONS**  
**COLOR**

SHEET NUMBER



1  
 A-2.4 SOUTH ELEVATION - APARTMENT COLOR  
 1/8" = 1'-0"



2  
 A-2.4 SOUTH ELEVATION - CLUBHOUSE COLOR  
 1/8" = 1'-0"



3  
 A-2.4 WEST ELEVATION COLOR  
 1/8" = 1'-0"



1 NORTH ELEVATION COLOR  
 1-2.3 N.T.S.



2 EAST ELEVATION COLOR  
 2-2.3 N.T.S.

PROJECT TITLE  
**CASCADE**  
**1000 OAKS**

LOT 412 WESTERN  
 ADDITION  
 TO 1000 OAKS

SWEET WILLOW  
 PASS  
 MADISON, WI

SHEET TITLE  
**BLDG 3**  
**EXTERIOR**  
**ELEVATIONS**  
**COLOR**

SHEET NUMBER

**A-2.3**

PROJECT NUMBER **1964**  
 © Knothe & Bruce Architects, LLC



ISSUED  
 Issued for Land Use - August 29, 2020

1 SOUTH ELEVATION COLOR  
 A-2.4 N.T.S.



2 WEST ELEVATION COLOR  
 A-2.4 N.T.S.

PROJECT TITLE  
**CASCADE**  
**1000 OAKS**

LOT 412 WESTERN  
 ADDITION  
 TO 1000 OAKS

SWEET WILLOW  
 PASS  
 MADISON, WI

SHEET TITLE  
**BLDG 3**  
**EXTERIOR**  
**ELEVATIONS**  
**COLOR**

SHEET NUMBER

**A-2.4**

PROJECT NUMBER **1964**  
 © Knothe & Bruce Architects, LLC



CASCADE 1000 OAKS

LOT 412  
WESTERN ADDITION TO 1000 OAKS

RENDERED PERSPECTIVE





CASCADE 1000 OAKS

LOT 412  
WESTERN ADDITION TO 1000 OAKS

RENDERED PERSPECTIVE





CASCADE 1000 OAKS

LOT 412  
WESTERN ADDITION TO 1000 OAKS

RENDERED PERSPECTIVE





CASCADE 1000 OAKS

LOT 412  
WESTERN ADDITION TO 1000 OAKS

RENDERED PERSPECTIVE





CASCADE 1000 OAKS

LOT 412  
WESTERN ADDITION TO 1000 OAKS

RENDERED PERSPECTIVE



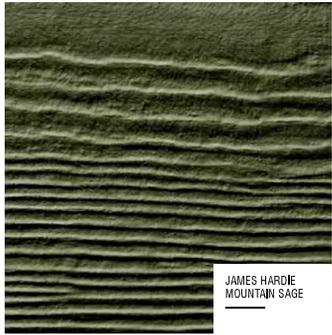


CASCADE 1000 OAKS

LOT 412  
WESTERN ADDITION TO 1000 OAKS

RENDERED PERSPECTIVE





JAMES HARDIE  
MOUNTAIN SAGE

COMPOSITE SIDING  
& TRIM



BLACK

COMPOSITE PANEL SIDING  
& WINDOWS



ROCKCAST  
CREAM

STONE SILLS  
& BANDS



MORIN  
SILVERSMITH

VERTICAL  
STEEL



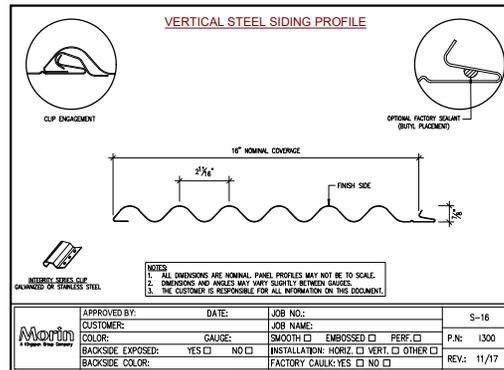
SILVER

ALUM. RAILINGS  
& DECK



GLEN-GERY  
SAND(R33)

BRICK VENEER



**MATERIALS - ALL BUILDINGS**

Lot 412 WESTERN ADDITION TO 1000 OAKS

SWEET WILLOW PASS, MADISON, WI

AUGUST 19, 2020

