

PROJECT INFORMATION

ASSOCIATED PHYSICIANS PARKING FACILITY- CONDITIONAL USE

215 PRICE PLACE
MADISON, WISCONSIN 53705



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PROJECT LOCATION



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PROJECT/BUILDING DATA

BUILDING AREAS:
LOWER LEVEL = 15,824 SF + STAIRWELLS & ELEVATOR= 16,396 GSF
FIRST FLOOR = 15,824 SF + STAIRWELLS = 16,320 GSF
SECOND FLOOR = 11,153 SF + STAIRWELLS = 11,649 GSF

PARKING RAMP TOTAL = 44,365 GSF

LOT PARCEL NUMBER: 070920118019

PARKING GENERAL NOTES

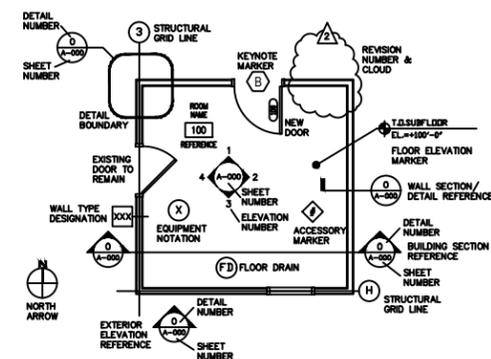
VEHICLE PARKING REQUIREMENT-
CLINICS- 1/2 EMPLOYEES OR 1/200 SF
85 EMPLOYEES = 43 STALLS REQUIRED

BIKE PARKING REQUIREMENT-
CLINICS- 1/5 EMPLOYEES - 85/5 = 17 REQUIRED

PARKING COUNT SUMMARY

LEVEL	SMALL CAR	LARGE CAR	TOTAL	BIKE STALLS
LOWER	5	36	40	4
FIRST	5	34	39	7
SECOND	4	26	30	0
4406 REGENT STREET:				
SURFACE	4	0	4	7
TOTALS	18	96	113	18
16%				

ARCHITECTURAL SYMBOLS LEGEND



CONTACT INFORMATION

DESIGN BUILDER:
TRI-NORTH BUILDERS
2525 RESEARCH PARK DRIVE
FITCHBURG, WI 53711
P: 608-271-8718
www.tri-north.com

CIVIL ENGINEER:
SNYDER & ASSOCIATES, INC
5010 VOGES ROAD
MADISON, WI 53718
P: 608-838-0444
www.snyder-associates.com

LANDSCAPE ARCHITECT:
PAUL SKIDMORE, ASLA
LANDSCAPE ARCHITECT, LLC
13 RED MAPLE TRAIL
MADISON, WI 53717
P: 608-826-0032

PROJECT:
ASSOCIATED PHYSICIANS
215 PRICE PLACE
MADISON, WI 53705

TITLE:
TITLE SHEET

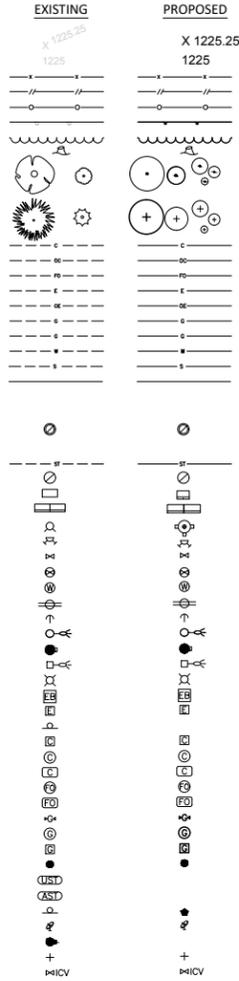
DRAWN BY: SH CHECKED BY: SH
PROJECT NO: 20550 DATE: 04/22/2020

T1.0

LEGEND

FEATURES

- Spot Elevation
- Contour Elevation
- Fence (Barbed, Field, Hog)
- Fence (Chain Link)
- Fence (Wood)
- Fence (Silt)
- Tree Line
- Tree Stump
- Deciduous Tree \ Shrub
- Coniferous Tree \ Shrub
- Communication
- Overhead Communication
- Fiber Optic
- Underground Electric
- Overhead Electric
- Gas Main
- High Pressure Gas Main
- Water Main
- Sanitary Sewer
- Duct Bank
- Test Hole Location for SUE w/ID



CONSTRUCTION SEQUENCE

- 1.0 INSTALL AND MAINTAIN THE TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXITS AS DESCRIBED IN THE DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL. ADDITIONALLY INSTALL CONSTRUCTION EQUIPMENT PARKING AREAS. STABILIZE BARE AREAS IMMEDIATELY WITH GRAVEL AND TEMPORARY VEGETATION AS CONSTRUCTION TAKES PLACE. THE TEMPORARY ACCESS POINT SHALL BE PLACED IN THE LOCATION SHOWN ON THE GRADING AND EROSION CONTROL PLAN. THE ENTRANCE/EXITS WILL BE INSPECTED DAILY. IF THE AGGREGATE WITHIN THE TEMPORARY ACCESS PADS BECOMES COVERED WITH SOIL OR IF SIGNIFICANT QUANTITIES OF SOIL ARE TRACKED ONTO THE EXISTING ROADWAY THEN ADDITIONAL AGGREGATE WILL BE INSTALLED TO ALLOW THE ENTRANCE/EXITS TO FUNCTION PROPERLY.
2. INSTALL EROSION AND SEDIMENT CONTROL BARRIERS (SILT FENCE) IMMEDIATELY DOWNSLOPE OF AREAS TO BE DISTURBED DURING CONSTRUCTION AS SHOWN ON THE APPROVED GRADING PLAN. THE BARRIERS MUST BE INSTALLED PARALLEL TO THE SITE CONTOURS TO THE EXTENT PRACTICABLE WITH THE ENDS EXTENDED UPSLOPE ONE TO TWO FEET TO PREVENT FLANKING OF THE RUNOFF. AT NO TIME FROM THE START OF ROUGH GRADING UNTIL SITE STABILIZATION SHALL AN UNBROKEN SLOPE EXIST BETWEEN DISTURBED AREAS AND THE RECEIVING WATERS. THE DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL WILL BE REFERENCED FOR THE PROPER INSTALLATION AND MAINTENANCE OF SILT FENCE AND ALL OTHER EROSION CONTROL MEASURES ON THE SITE.
3. STRIP TOPSOIL FROM THE AREAS OF THE SITE THAT WILL BE GRADED WITHIN 48 HOURS. ANY AREAS THAT WILL NOT BE IMMEDIATELY GRADED MUST NOT BE STRIPPED OF TOPSOIL UNTIL THE PRECEDING AREAS ARE TOPSOILED, SEEDED AND MULCHED. PLACE SOIL STOCKPILES AT LEAST 25 FEET AWAY FROM ANY DOWNSLOPE STREET, DRIVEWAY, OR DITCH. ALL TOPSOIL PILES WILL HAVE SILT FENCE PLACED ON THEIR DOWNSLOPE SIDES. TOPSOIL PILES WILL BE SEEDED WITH ANNUAL RYE IF THEY ARE IN PLACE FOR MORE THAN 7 DAYS. ANY AREAS LEFT INACTIVE FOR MORE THAN 7 DAYS WILL BE STABILIZED IMMEDIATELY WITH SEED AND MULCH.
4. GRADING WILL BE PHASED TO THE EXTENT PRACTICABLE TO LIMIT THE AMOUNT OF THE EXPOSED SOIL AT ANY ONE TIME AND TO PROVIDE A BUFFER BETWEEN THE GRADED AREAS AND THE RECEIVING WATERS. THE INTENT OF THESE GRADING RESTRICTIONS IS TO PROVIDE AN UNDISTURBED BUFFER AREA ALLOWING ADDITIONAL EROSION AND SEDIMENTATION PROTECTION DURING CONSTRUCTION.
5. TOPSOIL, SEED AND MULCH ALL AREAS WHICH ARE AT FINAL GRADE AND WHICH WILL NOT BE DISTURBED DURING SUBSEQUENT PHASES OF CONSTRUCTION. ANY AREAS LEFT INACTIVE FOR MORE THAN 7 DAYS MUST BE STABILIZED IMMEDIATELY.
6. INSTALL SANITARY SEWER, WATER MAIN, & STORM SEWER.
7. COMPLETE FINAL GRADING FOR PARKING LOT & ROADWAY AND STABILIZE WITH GRAVEL.
8. COMPLETE FINAL GRADE OF THE SITE.
9. UTILITY TRENCHES SHALL BE FILLED WITH SUITABLE BACKFILL MATERIAL AND COMPACTED AS NEEDED. TOPSOIL SHALL BE REPLACED, FERTILIZED, SEEDED AND PROTECTED AS CALLED FOR BELOW IN ITEMS 11 AND 12. UTILITY CONSTRUCTION SHALL BE COORDINATED WITH OTHER GRADING ACTIVITIES SO THAT RESTORATION CAN BE COMPLETED AS SOON AS POSSIBLE AFTER CONSTRUCTION.
9. WITHIN 7 DAYS OF THE COMPLETION OF FINAL GRADING, A MINIMUM OF 4 INCHES OF TOPSOIL SHALL BE REPLACED ON ALL DISTURBED SURFACES THAT ARE TO BE REVEGETATED. TOPSOIL SHALL BE UNIFORMLY PLACED, GRADED SMOOTH AND SCARIFIED FOR SEEDING.
10. FERTILIZE ALL AREAS TO BE SEEDED OR SODDED WITH 500LBS. PER ACRE OF 16-8-8 (MINIMUM). INCORPORATE THE FERTILIZER INTO THE SOIL BY SCARIFYING AS INDICATED ABOVE IN ITEM 11. SEED ALL DISTURBED AREAS WITH THE FOLLOWING SEEDING MIXTURE:
 - 30.50 LBS/ACRE OF KENTUCKY BLUEGRASS
 - 17.50 LBS/ACRE OF RED FESCUE
 - 17.50 LBS/ACRE OF HARD FESCUE
 - 22.00 LBS/ACRE OF PERENNIAL RYE GRASS
11. MULCH ALL SEEDED AREAS WITH 1.5 TONS PER ACRE OF CLEAN STRAW. STRAW SHALL BE ANCHORED IN PLACE WITH SUITABLE EQUIPMENT OR STAKING WITH TWINE.
12. FOR AREAS ON WHICH GRADING IS COMPLETED AFTER SEPTEMBER 30.
13. TEMPORARY SEED SHALL INCLUDE A SOIL STABILIZING POLYMER AND COVER CROP OF WINTER RYE (AT A RATE OF 75#/ACRE) AND MUST BE APPLIED AS SOON AS THESE AREAS REACH THEIR FINAL GRADE. ADDITIONAL EROSION CONTROL BARRIERS MAY BE NEEDED DOWNSLOPE OF THESE AREAS UNTIL FINAL SEEDING OR SODDING IS COMPLETED IN SPRING (BY JUNE 1). ANY AREAS WITH SLOPES GREATER THAN 6:1 MUST BE SEEDED AND MULCHED BUT NOT TOPSOILED. AREAS WITH SLOPED LESS THAN 6:1 MUST BE TOPSOILED, SEEDED AND MULCHED. ALL AREAS MUST BE TOPSOILED, SEEDED AND MULCHED AS DESCRIBED ABOVE IN THE FOLLOWING SPRING.
14. WHENEVER POSSIBLE, PRESERVE EXISTING TREES, SHRUBS, AND OTHER VEGETATION. TO PREVENT ROOT DAMAGE, DO NOT GRADE, PLACE SOIL PILES, OR PARK VEHICLES NEAR TREES MARKED FOR PRESERVATION.
15. SILT FENCE MAINTENANCE: EROSION CONTROL BARRIERS (SILT FENCE) MUST BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OF 0.5-INCHES OR MORE, AND DAILY DURING PERIODS OF PROLONGED RAINFALL. REPAIRS OR REPLACEMENT SHALL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS ON THE UPSLOPE SIDE ON THE SILT FENCES SHALL BE REMOVED WHEN THE DEPOSITS REACH HALF THE HEIGHT OF THE SILT FENCE.
16. GRAVEL TRACKING PAD MAINTENANCE: ADDITIONAL STONE IS REQUIRED IF EXISTING STONE BECOMES BURIED OR IF SEDIMENT IS NOT BEING REMOVED EFFECTIVELY FROM TIRES. SEDIMENT THAT IS TRACKED ONTO THE ROADWAY MUST BE REMOVED IMMEDIATELY. TRACKING PADS MAY REQUIRE PERIODIC CLEANING TO MAINTAIN THE EFFECTIVENESS OF THE PRACTICE, WHICH MAY INCLUDE THE REMOVAL AND RE-INSTALLATION OF THE STONE.

NOTES

1. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY TWO WORKING DAYS (48 HOURS) PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
3. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
4. THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN HIS PROPOSAL. HE SHALL BASE HIS BID ON HIS OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.
5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT IS AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
6. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
7. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
8. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
9. CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
10. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL, AND SHOULD BE INCLUDED IN THE BID PRICES.

SANITARY SEWER

1. PIPE: USE SOLID-CORE, SDR-35, ASTM D3034 (OR APPROVED EQUAL) POLYVINYL CHLORIDE (PVC) PLASTIC PIPE FOR ALL DESIGNATED PVC SANITARY SEWER SERVICES. JOINTS FOR ALL SANITARY SEWER SHALL HAVE PUSH-ON JOINTS WITH ELASTOMERIC GASKETS. USE OF SOLVENT CEMENT JOINTS IS ALLOWED FOR BUILDING SERVICES. SOLVENT CEMENT JOINTS IN PVC PIPE MUST INCLUDE USE OF A PRIMER WHICH IS OF CONTRASTING COLOR TO THE PIPE AND CEMENT. PIPE WITH SOLVENT CEMENT JOINTS SHALL BE JOINED WITH PVC CEMENT CONFORMING TO ASTM D2564. LAY ALL PVC PIPE ON A CONTINUOUS GRANULAR BED. INSTALLATION MUST COMPLY WITH ASTM D2321.
2. CLEANOUTS: INSTALL CLEANOUTS ON ALL SANITARY SEWER SERVICES. THE DISTANCE BETWEEN CLEANOUTS IN HORIZONTAL PIPING SHALL NOT EXCEED 100 FEET FOR PIPES 4-INCH AND OVER IN SIZE. CLEANOUTS SHALL BE OF THE SAME NOMINAL SIZE AS THE PIPES THEY SERVE. INCLUDE FROST SLEEVES AND CONCRETE FRAME AND PIPE SUPPORT. INSTALL A METER BOX FRAME AND SOLID LID (NEENAH R-1914-A, OR APPROVED EQUAL) OVER ALL CLEANOUTS.
3. TESTING: PRESSURE TEST ALL SANITARY SEWER LINES. TEST ALL FLEXIBLE SANITARY SEWER LINES FOR DEFLECTION AFTER THE SEWER LINE HAS BEEN INSTALLED AND BACKFILL HAS BEEN IN PLACE FOR AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE TEST FAILS, MAKE NECESSARY REPAIRS AND RETEST.
4. UNLESS OTHERWISE INDICATED, USE REINFORCED, PRECAST, CONCRETE MAINTENANCE HOLES CONFORMING TO ASTM C478, FURNISHED WITH PRECAST BASES. SANITARY SEWER MAINTENANCE HOLES SHALL BE SUPPLIED WITH PRE-FORMED INVERTS AND FLEXIBLE NEOPRENE SLEEVE CONNECTIONS FOR ALL LATERAL LINES 375 MM (15 INCHES) IN DIAMETER OR LESS, UNLESS OTHERWISE INDICATED. JOINTS FOR ALL PRECAST MAINTENANCE HOLE SECTIONS SHALL HAVE CONFINED, RUBBER "O"-RING GASKETS IN ACCORDANCE WITH ASTM C923. THE INSIDE BARREL DIAMETER SHALL NOT BE LESS THAN 48 INCHES.
5. INSTALL FLEXIBLE WATERTIGHT FRAME/CHIMNEY SEALS ON ALL SANITARY SEWER MAINTENANCE HOLES. USE EITHER MANUFACTURED MAINTENANCE HOLE FRAME/CHIMNEY SEALS OR ELASTOMERIC WATERPROOFING FRAME/CHIMNEY SEALS.
6. USE NEENAH FOUNDRY CO. R-1642 CASTING WITH SELF-SEALING, SOLID, TYPE B LID, OR APPROVED EQUAL, ON ALL SANITARY SEWER MAINTENANCE HOLES. COVERS SHALL BEAR THE "SANITARY SEWER" LABEL.
7. THE MINIMUM DEPTH OF COVER FOR SANITARY SEWER WITHOUT INSULATION IS 5 FEET. INSULATE SANITARY SEWER SERVICES AT LOCATIONS WHERE THE DEPTH OF COVER IS LESS THAN 5 FEET. PROVIDE A MINIMUM INSULATION THICKNESS OF 2 INCHES. THE INSULATION MUST BE AT LEAST 4 FEET WIDE AND CENTERED ON THE PIPE. INSTALL THE INSULATION BOARDS 6 INCHES ABOVE THE TOPS OF THE PIPES ON MECHANICALLY COMPACTED AND LEVELED PIPE BEDDING MATERIAL. USE HIGH DENSITY, CLOSED CELL, RIGID BOARD MATERIAL EQUIVALENT TO DOW STYROFOAM HI-40 PLASTIC FOAM INSULATION.
8. TRACER WIRE: LOCATING REQUIREMENTS - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THE WISCONSIN STATUTES 182.0175(2R) AND THE WISCONSIN DEPARTMENT OF COMMERCE COMM 82.30(11)(H).

STORM DRAINAGE

1. UNLESS OTHERWISE INDICATED, USE REINFORCED, PRECAST, CONCRETE MAINTENANCE HOLES AND CATCHBASINS CONFORMING TO ASTM C478, FURNISHED WITH WATER STOP RUBBER GASKETS AND PRECAST BASES. JOINTS FOR ALL PRECAST MAINTENANCE HOLE SECTIONS SHALL HAVE CONFINED, RUBBER "O"-RING GASKETS IN ACCORDANCE WITH ASTM C923. THE INSIDE BARREL DIAMETER SHALL NOT BE LESS THAN 48 INCHES.
2. ALL JOINTS AND CONNECTIONS TO CATCHBASINS OR MANHOLES SHALL BE WATERTIGHT. USE RESILIENT RUBBER SEALS, WATERSTOP GASKETS, OR APPROVED EQUAL. CEMENT MORTAR JOINTS ARE NOT ALLOWED.
3. INSTALL CATCHBASIN CASTINGS WITH SPECIFIED TOP ELEVATION AT THE FRONT RIM.
4. USE HDPE SOLID WALL PIPE WHEN CALLED OUT ON THE PLANS.
5. PVC PIPE: USE SOLID-CORE, SDR-35, ASTM D3034 POLYVINYL CHLORIDE (PVC) PIPE FOR DESIGNATED PVC STORM SEWER SERVICES 4 TO 15-INCHES IN DIAMETER. USE SOLID-CORE, SDR-35, ASTM F679 POLYVINYL CHLORIDE (PVC) PIPE FOR DESIGNATED PVC STORM SEWER SERVICES 18 TO 27-INCHES IN DIAMETER. JOINTS FOR ALL STORM SEWER SHALL HAVE PUSH-ON JOINTS WITH ELASTOMERIC GASKETS. USE OF SOLVENT CEMENT JOINTS IS ALLOWED FOR BUILDING SERVICES. SOLVENT CEMENT JOINTS IN PVC PIPE MUST INCLUDE USE OF A PRIMER WHICH IS OF CONTRASTING COLOR TO THE PIPE AND CEMENT. PIPE WITH SOLVENT CEMENT JOINTS SHALL BE JOINED WITH PVC CEMENT CONFORMING TO ASTM D2564. LAY ALL PVC PIPE ON A CONTINUOUS GRANULAR BED. INSTALLATION MUST COMPLY WITH ASTM D2321.
6. TESTING: TEST ALL PORTIONS OF STORM SEWER THAT ARE WITHIN 10 FEET OF BUILDINGS, WITHIN 10 FEET OF BURIED WATER, LINES, WITHIN 50 FEET OF WATER WELLS, OR THAT PASS THROUGH SOIL OR WATER IDENTIFIED AS BEING CONTAMINATED. TEST ALL FLEXIBLE STORM SEWER LINES FOR DEFLECTION AFTER THE SEWER LINE HAS BEEN INSTALLED AND BACKFILL HAS BEEN IN PLACE FOR AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE TEST FAILS, MAKE NECESSARY REPAIRS AND RETEST.
7. INSTALL DETECTABLE UNDERGROUND MARKING TAPE DIRECTLY ABOVE ALL PVC, POLYETHYLENE, AND OTHER NONCONDUCTIVE UNDERGROUND UTILITIES AT A DEPTH OF 457 MM (18 INCHES) BELOW FINISHED GRADE, UNLESS OTHERWISE INDICATED. BRING THE TAPE TO THE SURFACE AT VARIOUS LOCATIONS IN ORDER TO PROVIDE CONNECTION POINTS FOR LOCATING UNDERGROUND UTILITIES. INSTALL BLUE RHINO TRIVIEW FLEX TEST STATIONS, OR APPROVED EQUAL, WITH BLACK CAPS AT EACH SURFACE LOCATION.

ZONING

SE - SUBURBAN EMPLOYMENT DISTRICT

PROPERTY DESCRIPTION

LOT 7, BLOCK 35, UNIVERSITY HILL FARMS - COMMERCIAL RESEVE ADDITION, RECORDED IN VOLUME 21, PAGES 6-7, DANE COUNTY REGISTRY, LOCATED IN SECTION 20, TOWNSHIP 7 NORTH, RANGE 9 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

PROPERTY ADDRESS

215 PRICE PLACE
MADISON, WI 53705

UTILITY CONTACT INFORMATION

UTILITY CONTACT FOR MAPPING INFORMATION SHOWN AS RECEIVED FROM THE DIGGERS HOTLINE SYSTEM, TICKET NUMBER 20200905499

NATURAL GAS - MG&E	608-252-7373
ELECTRICITY - MG&E	608-252-7373
SANITARY SEWER - CITY OF MADISON	608-266-4751
WATER SERVICE - CITY OF MADISON	608-266-4651

BENCHMARKS

BM #1 (PK NAIL IN ASPHALT) AS SHOWN ON C 200
ELEV = 898.33

BM #2 (PK NAIL IN ASPHALT) AS SHOWN ON C 200
ELEV = 904.35

DATE OF SURVEY

MARCH 25, 2020

MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: LAO		
Technician: LAO	Date: 4-21-2020	Field Bk:	Pg:
Project No: 1120.0285.30			

REGENT STREET PARKING GARAGE
 LEGEND AND NOTES
 CITY OF MADISON, WISCONSIN
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-638-0444 | www.snyder-associates.com

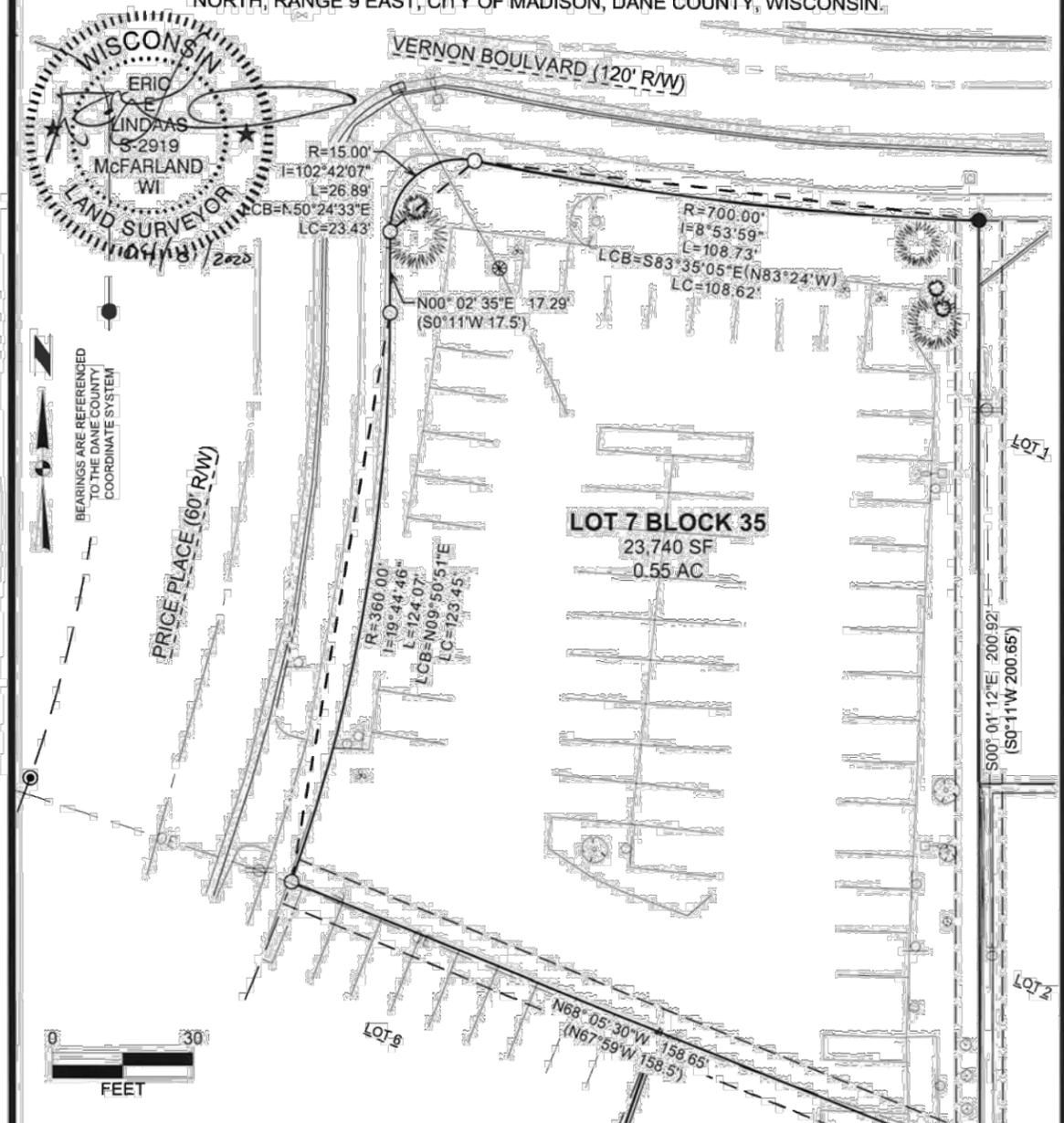


TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

C 100

PLAT OF SURVEY

LOT 7, BLOCK 35, UNIVERSITY HILL FARMS - COMMERCIAL RESEVE ADDITION, RECORDED IN VOLUME 21, PAGES 6-7, DANE COUNTY REGISTRY, LOCATED IN SECTION 20, TOWNSHIP 7 NORTH, RANGE 9 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



SURVEYOR'S CERTIFICATE

I, Eric E. Lindaas, Professional Land Surveyor, hereby certify that the foregoing survey was executed under my direction and control and that said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7) and the map hereon is correct to the best of my knowledge and belief.

Dated this 1st day of April, 2020

Signed: 
Eric E. Lindaas, P.L.S. No. 2919

LEGEND

-  3/4" X 18" REBAR SET, WT 1.50 LBS/FT
-  3/4" SOLID IRON REBAR FOUND
-  INDICATES RECORDED AS
-  DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT



SNYDER & ASSOCIATES

SURVEYED FOR:
Til - North Builders
2625 Research Park Dr.
Fitchburg, WI 53711

SURVEYED BY:
Snyder & Associates, Inc.
5010 Voges Road
Madison, WI 53718
(608) 838-0444
www.snyder-associates.com

PN: 120.0285.30
DATE: 03-31-2020
REVISIONS:
REV1
REV2
REV3
SHEET 1 OF 1

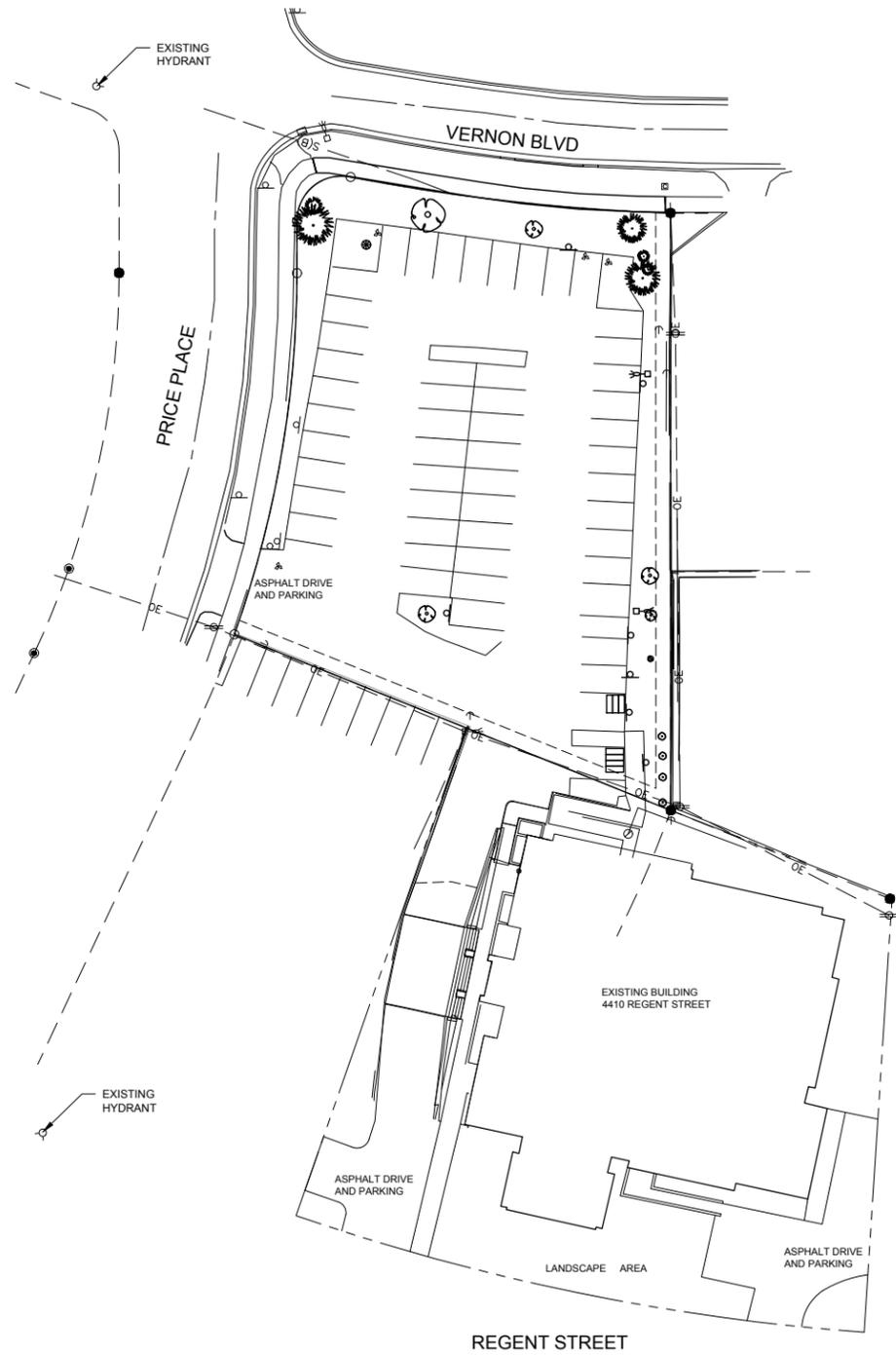
REGENT STREET PARKING GARAGE

PLAT OF SURVEY MAP

SNYDER & ASSOCIATES, INC.

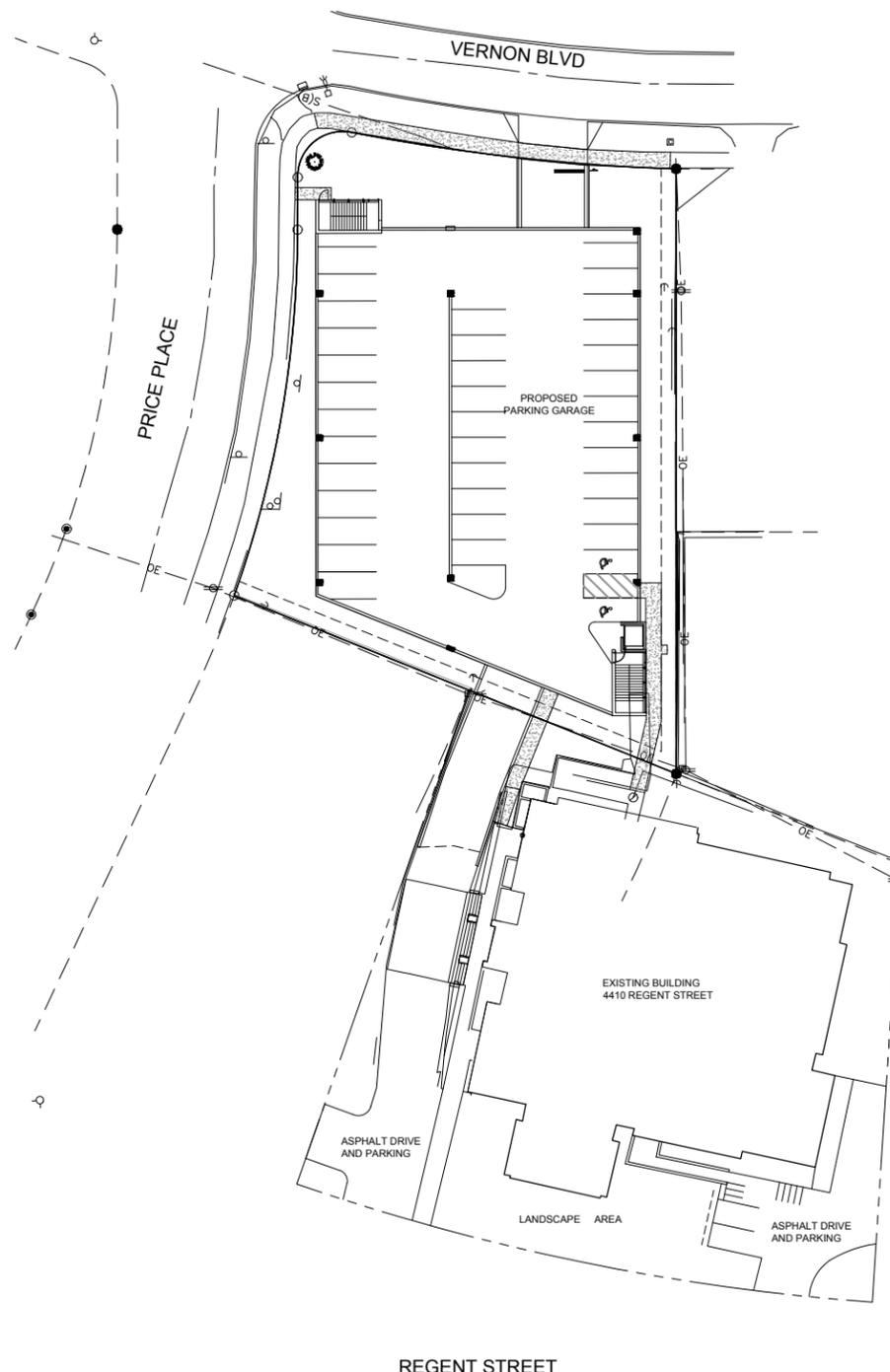


SNYDER & ASSOCIATES



EXISTING SITE PLAN

SCALE: 1" = 30'



PROPOSED SITE PLAN

SCALE: 1" = 30'



LOT COVERAGE CALCULATIONS:

EXISTING SITE

NORTH LOT
 TOTAL AREA = 23,736
 IMPERVIOUS AREA = 18,887
 PERVIOUS AREA = 4,849

SOUTH LOT
 TOTAL AREA = 28,364
 IMPERVIOUS AREA = 21,123
 PERVIOUS AREA = 7,241

TOTAL AREA = 52,100
 TOTAL IMPERVIOUS = 40,010 (76.8%)
 TOTAL PERVIOUS = 12,090 (23.2%)

PROPOSED SITE

NORTH LOT
 TOTAL AREA = 23,736
 IMPERVIOUS AREA = 17,656
 PERVIOUS AREA = 6,080

SOUTH LOT
 TOTAL AREA = 28,364
 IMPERVIOUS AREA = 20,885
 PERVIOUS AREA = 7,479

TOTAL AREA = 52,100
 TOTAL IMPERVIOUS = 38,541 (74.0%)
 TOTAL PERVIOUS = 13,559 (26.0%)

REGENT STREET PARKING GARAGE

PROPOSED SITE UTILITY PLAN

CITY OF MADISON, WISCONSIN

SNYDER & ASSOCIATES, INC.

5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: LAO		
Technician: LAO	Date: 4-21-2020	Field Bk:	Pg:

Project No: 1120.0265.30

SITE PLAN KEYNOTES

- 1 EXISTING GRAVEL, CONCRETE AND ASPHALT TO BE REMOVED
- 2 EXISTING VEGETATION (TREES AND SHRUBS) TO BE REMOVED
- 3 EXISTING SIGNAGE TO BE REMOVED
- 4 EXISTING CURB TO BE SAWCUT FOR NEW DRIVEWAY ENTRANCE
- 5 REMOVE EXISTING SIDEWALK
- 6 REMOVE EXISTING CONCRETE RAMP
- 7 REMOVE EXISTING STORM SEWER PIPE AND STRUCTURES
- 8 REMOVE EXISTING LIGHT POLES (INCLUDING CONC. BASE) AND TERMINATE WIRING BELOW GROUND.
- 9 SAW-CUT AND REMOVE EXISTING ASPHALT

CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING WORK ON SITE

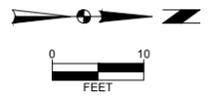
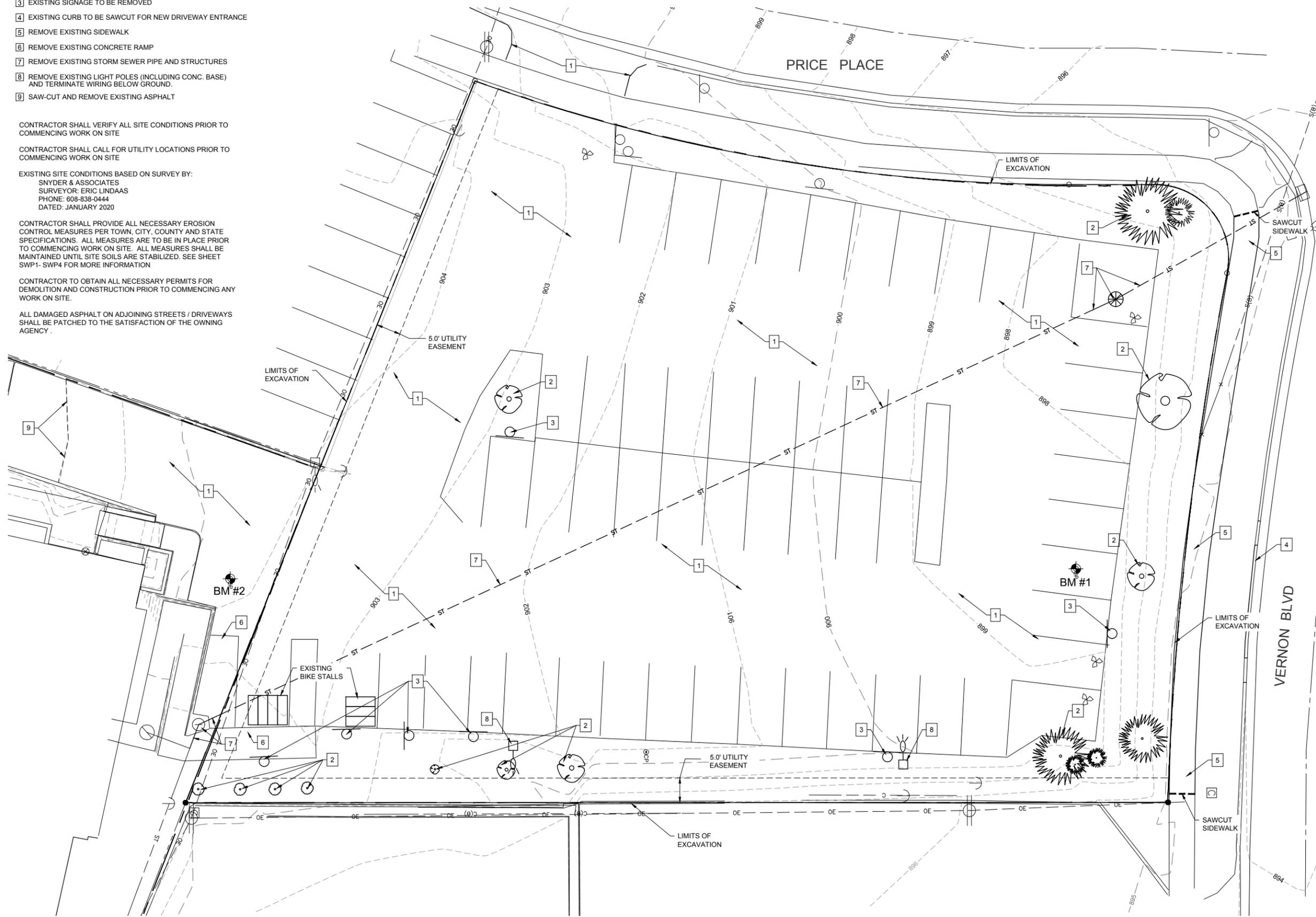
CONTRACTOR SHALL CALL FOR UTILITY LOCATIONS PRIOR TO COMMENCING WORK ON SITE

EXISTING SITE CONDITIONS BASED ON SURVEY BY:
 SNYDER & ASSOCIATES
 SURVEYOR: ERIC LINDAAS
 PHONE: 608-838-0444
 DATED: JANUARY 2020

CONTRACTOR SHALL PROVIDE ALL NECESSARY EROSION CONTROL MEASURES PER TOWN, CITY, COUNTY AND STATE SPECIFICATIONS. ALL MEASURES ARE TO BE IN PLACE PRIOR TO COMMENCING WORK ON SITE. ALL MEASURES SHALL BE MAINTAINED UNTIL SITE SOILS ARE STABILIZED. SEE SHEET SWP1-SWP4 FOR MORE INFORMATION

CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FOR DEMOLITION AND CONSTRUCTION PRIOR TO COMMENCING ANY WORK ON SITE.

ALL DAMAGED ASPHALT ON ADJOINING STREETS / DRIVEWAYS SHALL BE PATCHED TO THE SATISFACTION OF THE OWNING AGENCY.



CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE

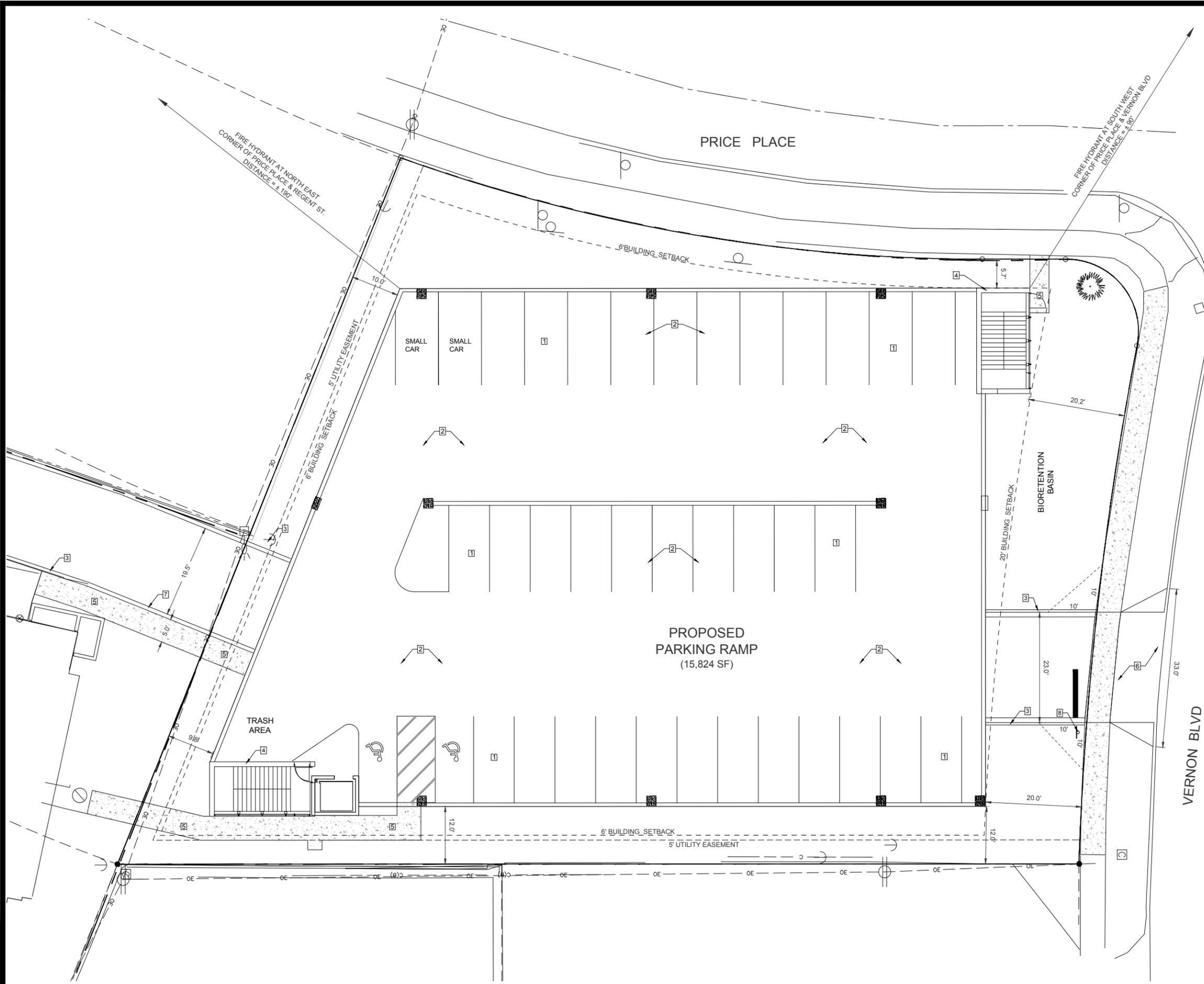
MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: LAO		
Technician: LAO	Date: 4-21-2020	Field Bk:	Pg:

Project No: 1120.0285.30

REGENT STREET PARKING GARAGE
 EXISTING SITE & DEMOLITION PLAN
 CITY OF MADISON, WISCONSIN

SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com





SITE PLAN KEYNOTES

1. OFF-STREET PARKING STALLS (STALL SIZES VARY)
STRIPING - 4" WIDE STALL LINES, USE HIGH VISIBILITY YELLOW PAINT.
PAINT SHALL BE SHERWIN WILLIAMS SET FAST PREMIUM ALKYD ZONE MARKING PAINT
2. 5" DEPTH (MIN.) CONCRETE PAVING WITH #3 REBAR
3' O.C. CONCRETE SEALER: TK-26UV
3. CONCRETE CURB AND GUTTER PER DETAIL ON SHEET C 600.
4. PARKING RAMP WALLS, STAIRWELLS AND ELEVATOR, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
5. 5" INTEGRAL CONCRETE SIDEWALK. SEE DETAILS ON SHEET C 600. CONCRETE SEALER: TK-26UV
6. CITY OF MADISON APPROVED DRIVEWAY APPROACH, SEE DETAIL ON SHEET C 600
7. CONCRETE RETAINING WALL BY OTHERS
8. NEW STOP SIGN

PARKING COUNT

COMPACT STALLS = 18
STANDARD STALLS = 96
TOTAL PARKING STALLS = 114
FOR PARKING SUMMARY BREAKDOWN, SEE ARCHITECTURAL PLANS

MARK	REVISION	DATE	BY
	Checked By: LAO		
	Engineer: SJA		
	Technician: LAO	Date: 4-21-2020	Field Bk:

Project No: 1120.0285.30

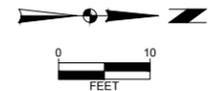
REGENT STREET PARKING GARAGE

SITE PLAN

CITY OF MADISON, WISCONSIN

SNYDER & ASSOCIATES, INC.

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-638-0444 | www.snyder-associates.com



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE



C 300

NOTES:

ENGINEER TO OBTAIN RIGHT-OF-WAY EXCAVATION PERMIT PRIOR TO BEGINNING SITE WORK.

CONSTRUCTION FENCING TO BE INSTALLED AROUND ENTIRE CONSTRUCTION SITE. COORDINATE WITH OWNER FOR FENCING AND GATE LOCATION AND APPROPRIATE SIGNAGE LOCATION.

PLAN PREPARED FROM PLAT OF SURVEY BY:

SNYDER & ASSOCIATES
 SURVEYOR: ERIC LINDAAS
 PHONE: 608-838-0444
 DATED: MARCH 30, 2020

CONTRACTOR SHALL LOCATE ALL UTILITIES WHICH MAY AFFECT THIS WORK NOTIFY THE OWNER OF ANY POTENTIAL CONFLICTS.

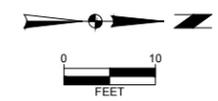
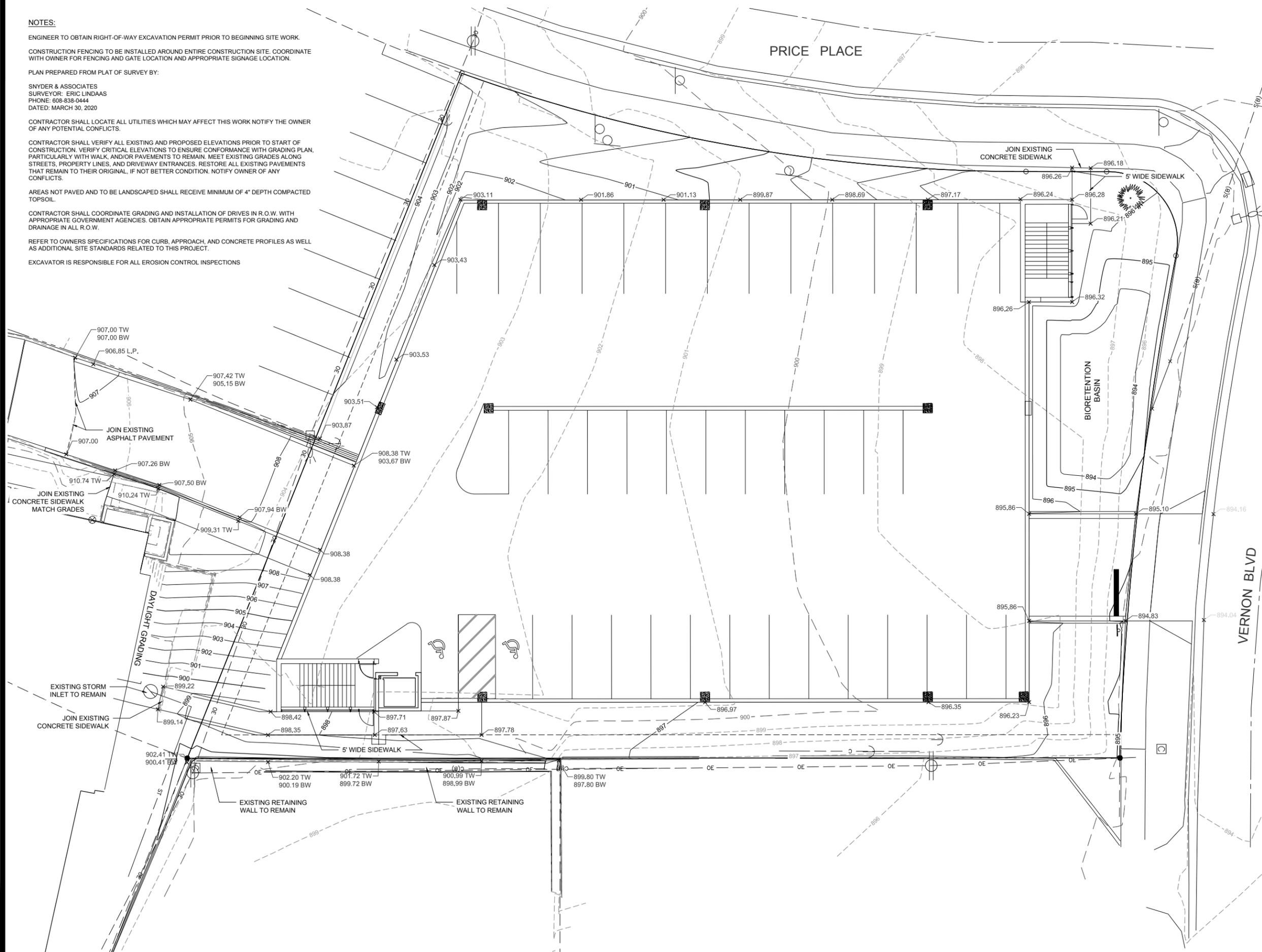
CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED ELEVATIONS PRIOR TO START OF CONSTRUCTION. VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH WALK, AND/OR PAVEMENTS TO REMAIN. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES, AND DRIVEWAY ENTRANCES. RESTORE ALL EXISTING PAVEMENTS THAT REMAIN TO THEIR ORIGINAL, IF NOT BETTER CONDITION. NOTIFY OWNER OF ANY CONFLICTS.

AREAS NOT PAVED AND TO BE LANDSCAPED SHALL RECEIVE MINIMUM OF 4" DEPTH COMPACTED TOPSOIL.

CONTRACTOR SHALL COORDINATE GRADING AND INSTALLATION OF DRIVES IN R.O.W. WITH APPROPRIATE GOVERNMENT AGENCIES. OBTAIN APPROPRIATE PERMITS FOR GRADING AND DRAINAGE IN ALL R.O.W.

REFER TO OWNERS SPECIFICATIONS FOR CURB, APPROACH, AND CONCRETE PROFILES AS WELL AS ADDITIONAL SITE STANDARDS RELATED TO THIS PROJECT.

EXCAVATOR IS RESPONSIBLE FOR ALL EROSION CONTROL INSPECTIONS



 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
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1-800-242-8511
TOLL FREE
 WIS. STATUTE 182.0175 (1974)
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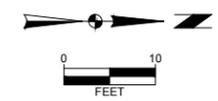
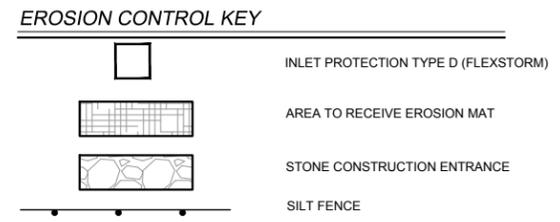
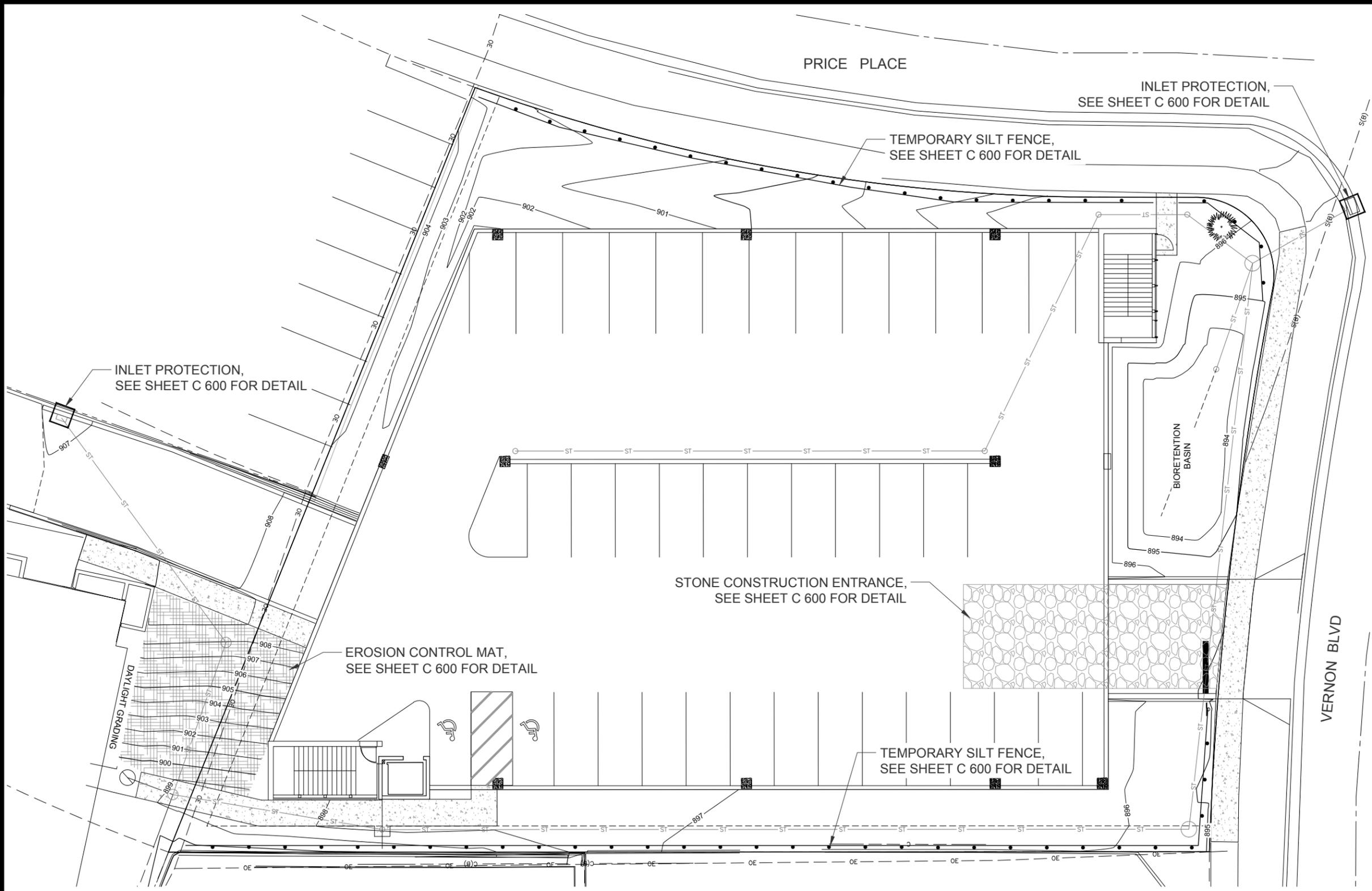
MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: LAO		
Technician: LAO	Date: 4-21-2020	Field Bk:	Pg:

Project No: 1120.0285.30

REGENT STREET PARKING GARAGE
 GRADING PLAN
 CITY OF MADISON, WISCONSIN
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com



C 400



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: LAO		
Technician: LAO	Date: 4-21-2020	Field Bk:	Pg:

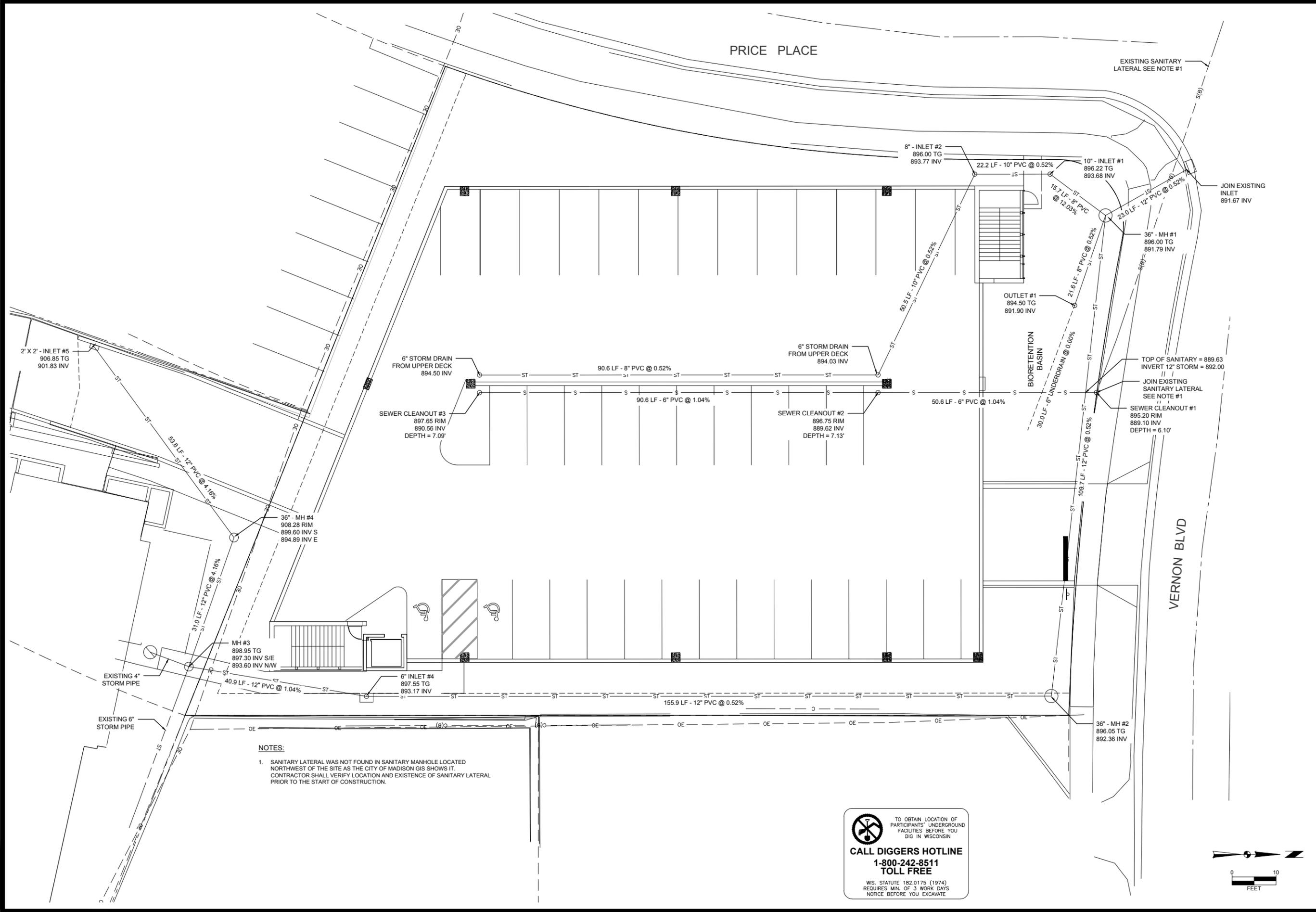
Project No: 1120.0265.30

REGENT STREET PARKING GARAGE
EROSION CONTROL PLAN
 CITY OF MADISON, WISCONSIN
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-638-0444 | www.snyder-associates.com



C 401

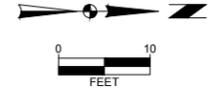
C:\Users\mwahl\appdata\local\temp\AcPublish_4576\1200265 - PLAN.dwg



NOTES:

- SANITARY LATERAL WAS NOT FOUND IN SANITARY MANHOLE LOCATED NORTHWEST OF THE SITE AS THE CITY OF MADISON GIS SHOWS IT. CONTRACTOR SHALL VERIFY LOCATION AND EXISTENCE OF SANITARY LATERAL PRIOR TO THE START OF CONSTRUCTION.


 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.



MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: LAO		
Technician: LAO	Date: 4-21-2020	Field Bk:	Pg:

Project No: 1120.0265.30

REGENT STREET PARKING GARAGE

UTILITY PLAN

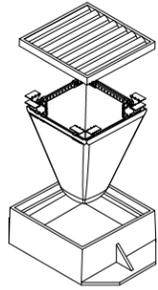
CITY OF MADISON, WISCONSIN

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MADISON, WISCONSIN 53718
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SNYDER & ASSOCIATES
C 500

FLEXSTORM CATCH-IT FILTERS FOR TEMPORARY INLET PROTECTION PRODUCT SELECTION AND SPECIFICATION DRAWING



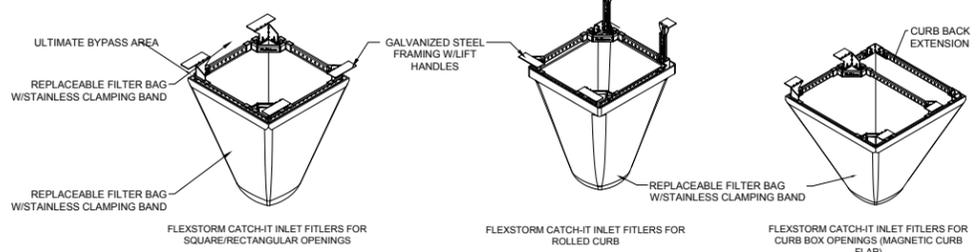
INSTALLATION:

1. REMOVE GRATE
2. DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE
3. REPLACE GRATE

Product selector for FLEXSTORM CATCH-IT Filters (Temporary Inlet Protection):

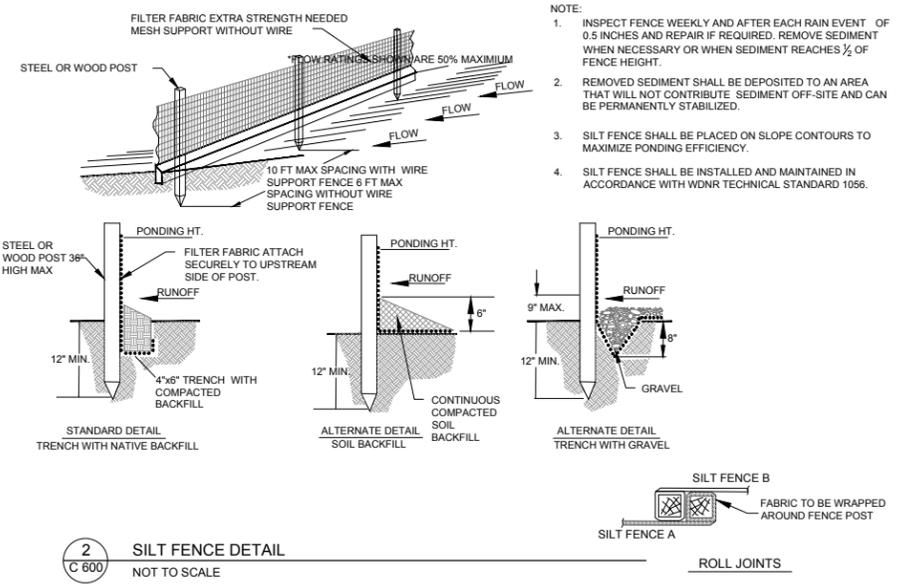
Frame Casting	Material	Grate Size	Opening Size	Bag Size	Flow Rating (GPM)	Bypass	US EPA
12" x 12" x 12"	FRP	12"	24"	18"	10	14	62-10074
12" x 12" x 12"	FRP	12"	24"	18"	10	14	62-10074
12" x 12" x 12"	FRP	12"	24"	18"	10	14	62-10074
12" x 12" x 12"	FRP	12"	24"	18"	10	14	62-10074
12" x 12" x 12"	FRP	12"	24"	18"	10	14	62-10074
12" x 12" x 12"	FRP	12"	24"	18"	10	14	62-10074
12" x 12" x 12"	FRP	12"	24"	18"	10	14	62-10074
12" x 12" x 12"	FRP	12"	24"	18"	10	14	62-10074

WISCONSIN

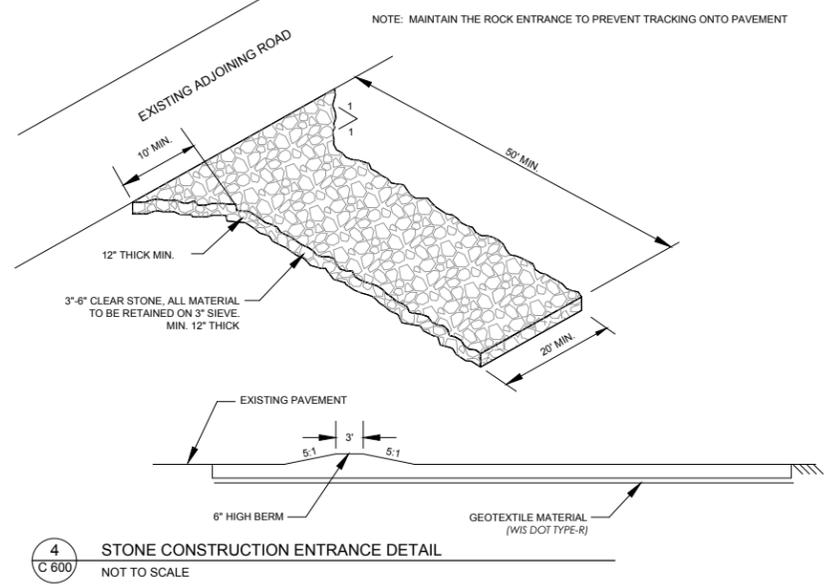


- NOTES:**
1. ALL FRAMING IS CONSTRUCTED OF CORROSION RESISTANT STEEL FRAMING FOR PROLONGED PRODUCT LIFE.
 2. TOTAL BYPASS CAPACITY WILL VARY WITH EACH SIZED DRAINAGE STRUCTURE. FLEXSTORM DESIGNS FRAMING BYPASS TO MEET OR EXCEED THE DESIGN FLOW OF THE PARTICULAR DRAINAGE STRUCTURE. CONCRETE STRUCTURES MAY REQUIRE ADDITIONAL REVIEW.
 3. UPON ORDERING THE ADS PIN CONFIRMATION OF THE DOT CALLOUT, FLEXSTORM ITEM CODE, CASTING MAKE AND MODEL, OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED.
 4. FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM

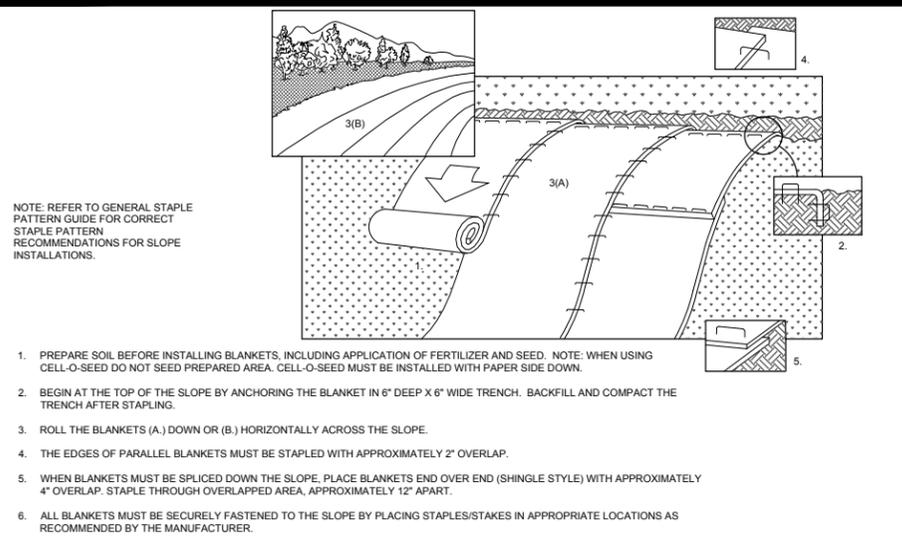
1
C 600
INLET PROTECTION DETAIL
NOT TO SCALE



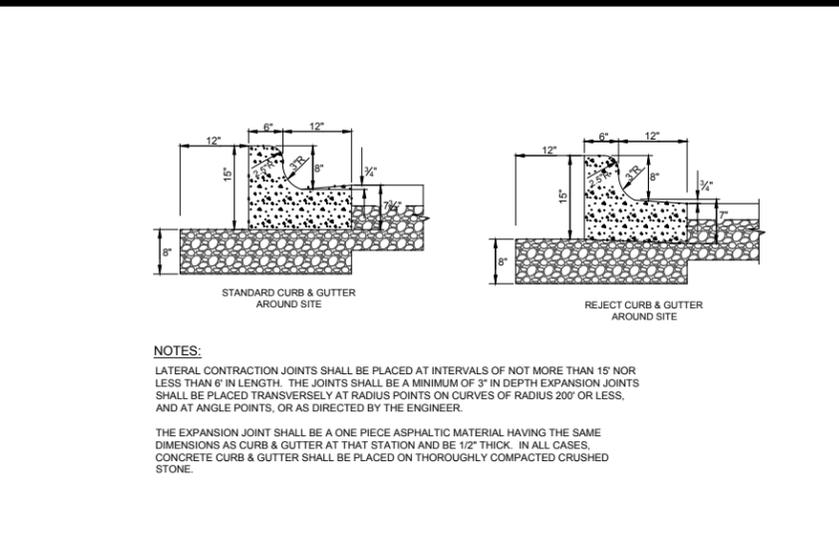
2
C 600
SILT FENCE DETAIL
NOT TO SCALE



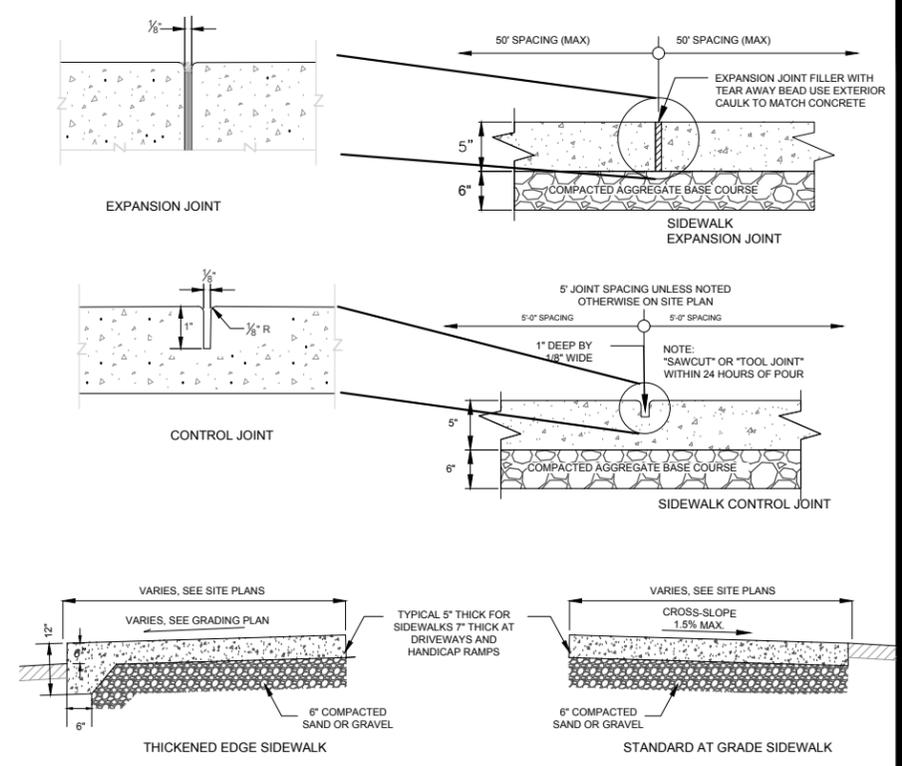
4
C 600
STONE CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



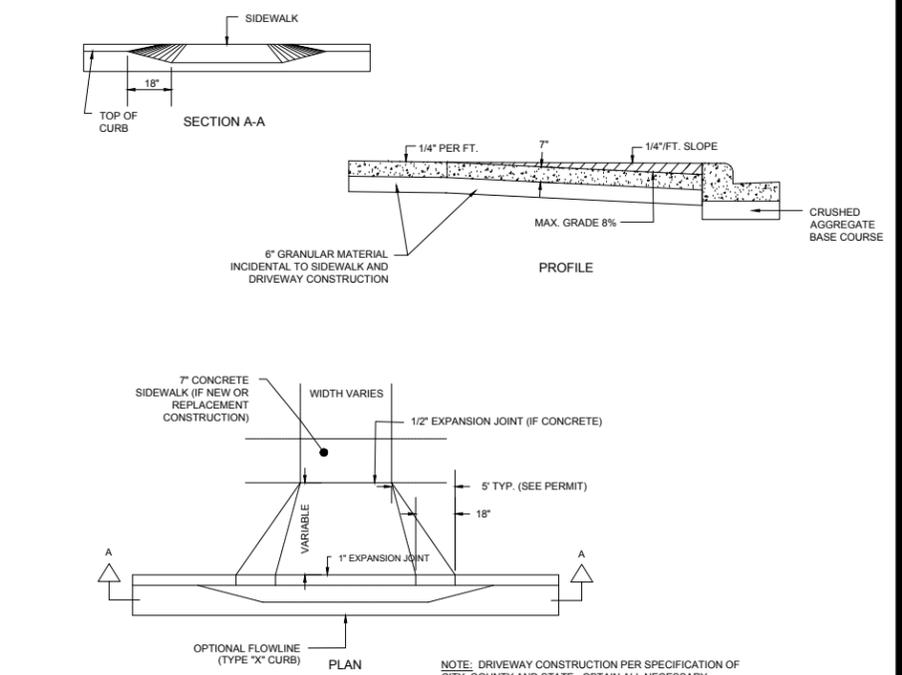
3
C 600
EROSION CONTROL MAT - SLOPE INSTALLATION
NOT TO SCALE



5
C 600
CONCRETE CURB DETAILS
NOT TO SCALE



6
C 600
CONCRETE SIDEWALK DETAILS
NOT TO SCALE



7
C 600
COMMERCIAL DRIVEWAY DETAIL
NOT TO SCALE

MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: LAO		
Technician: LAO	Date: 4-21-2020	Field Bk:	Pg:

CITY OF MADISON, WISCONSIN

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

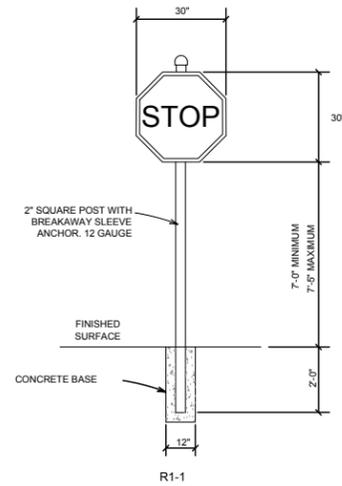
REGENT STREET PARKING GARAGE

MISC. DETAILS

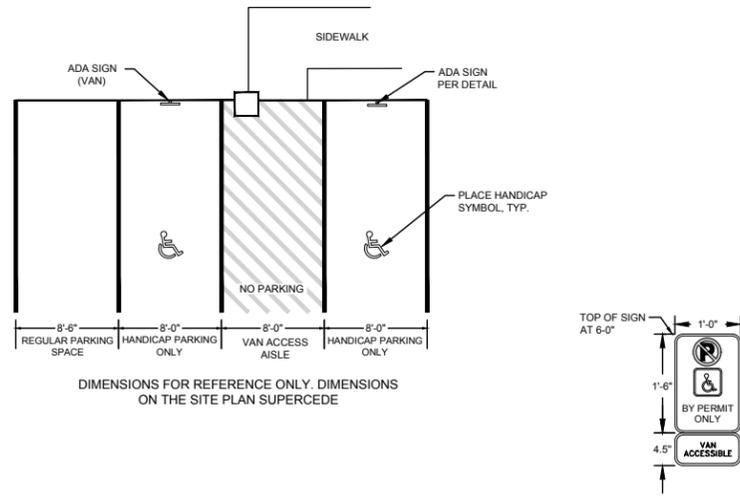
SNYDER & ASSOCIATES, INC.



C 600

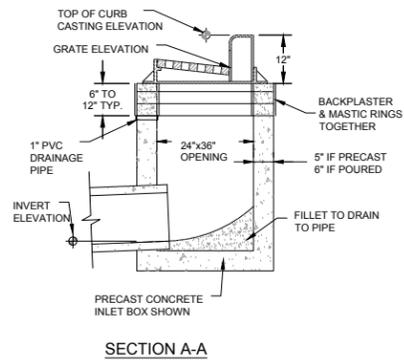


1 STOP SIGN DETAIL
C 601 NOT TO SCALE

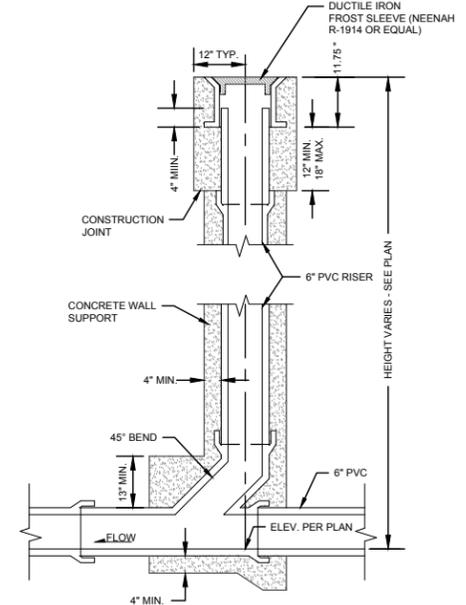


3 ADA PARKING SPACE DETAIL
C 601 NOT TO SCALE

6 NOT USED
C 601 NOT TO SCALE

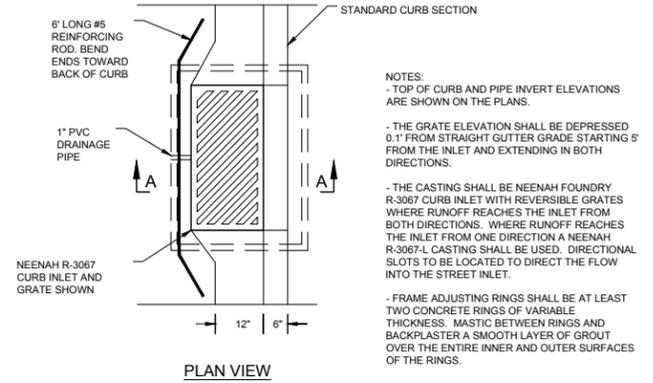


SECTION A-A



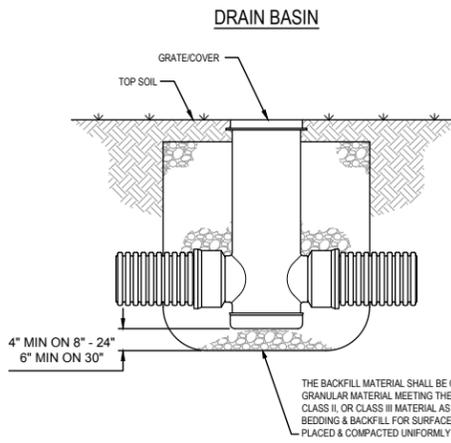
4 SANITARY SEWER CLEANOUT
C 601 NOT TO SCALE

7 NOT USED
C 601 NOT TO SCALE

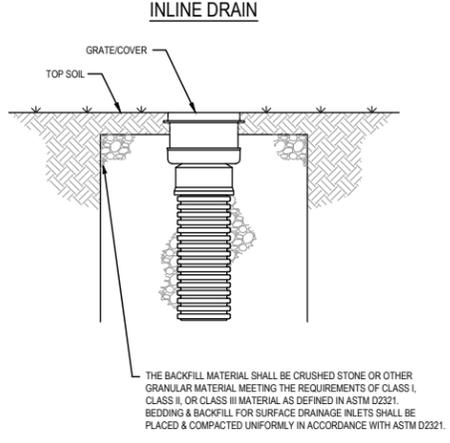


NOTES:
- TOP OF CURB AND PIPE INVERT ELEVATIONS ARE SHOWN ON THE PLANS.
- THE GRATE ELEVATION SHALL BE DEPRESSED 0.1\"/>

2 STORM DRAIN CURB INLET DETAIL
C 601 NOT TO SCALE



5 STORM DRAIN BASIN
C 601 NOT TO SCALE

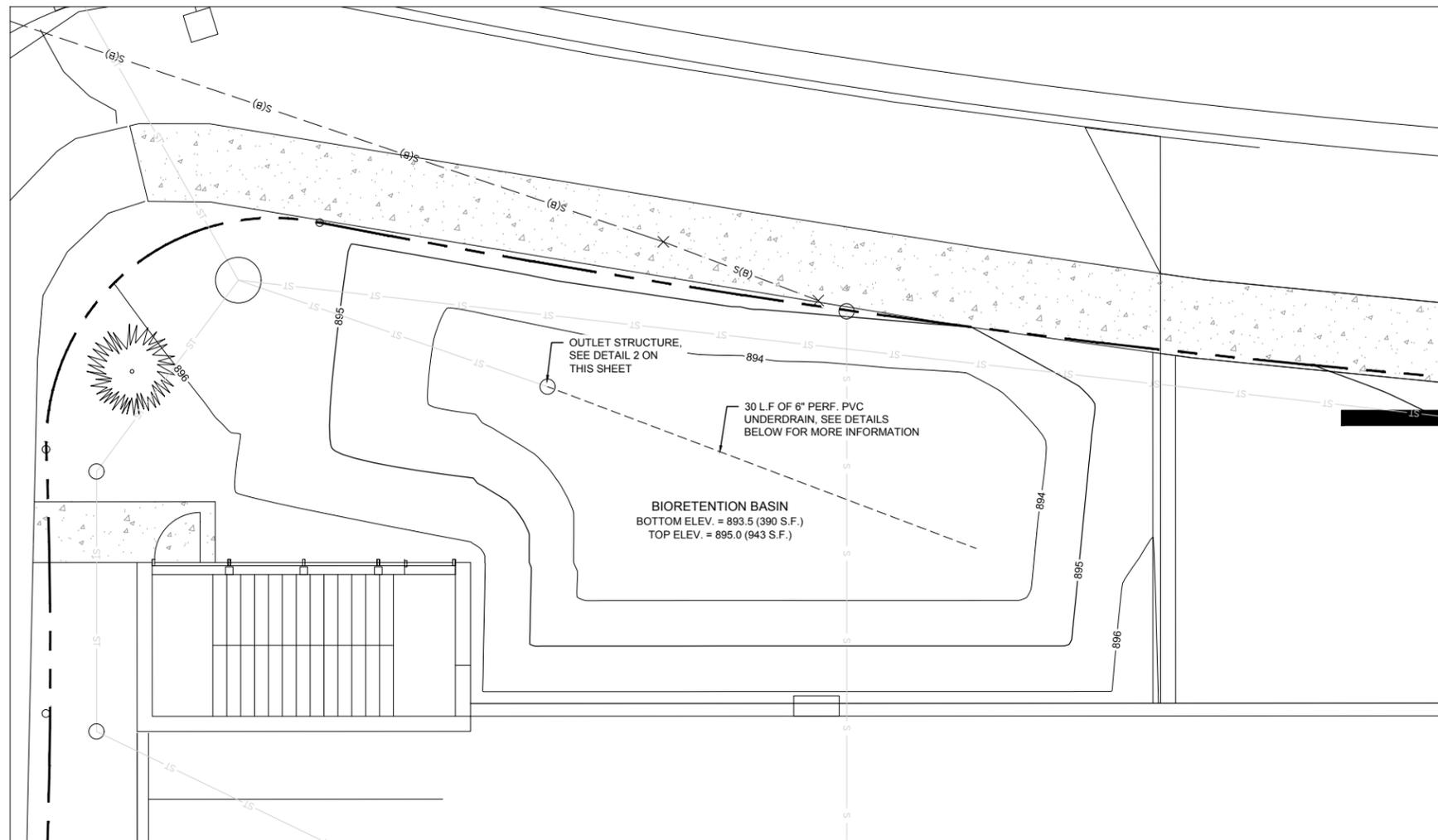


MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: LAO		
Technician: LAO	Date: 4-21-2020	Field Bk:	Pg:
Project No: 1120.0285.30			

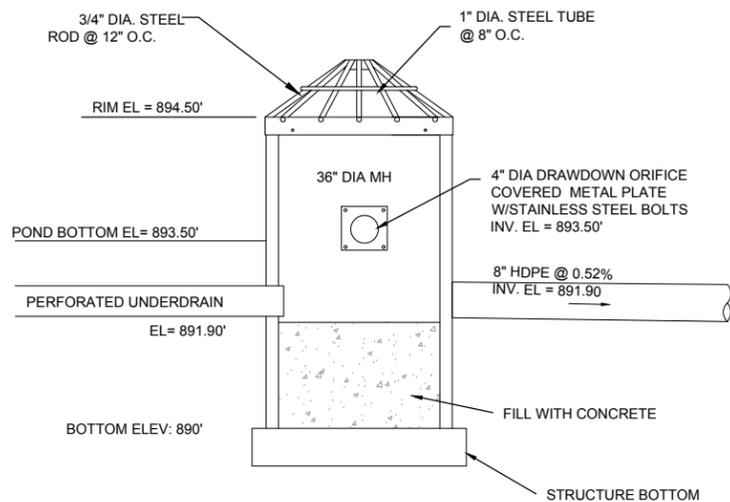
REGENT STREET PARKING GARAGE
 BIO-RETENTION POND DETAILS
 CITY OF MADISON, WISCONSIN
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
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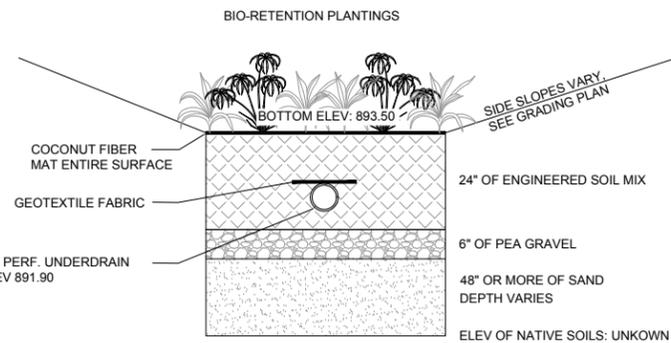
C 601



1 BIO-RETENTION POND DETAIL
SCALE: 1" = 5'



2 BIO-RETENTION BASIN OUTLET STRUCTURE DETAIL
NOT TO SCALE



NATIVE SOIL
CONTRACTOR SHALL OVER EXCAVATE UNTIL NATIVE SOILS CONDUCTIVE OF 0.5 IN/HR INFILTRATION RATE IS FOUND. BACK FILL WITH SAND

3 BIO-RETENTION BASIN CROSS SECTION
NOT TO SCALE

BIO-RETENTION NOTES

1. BIORETENTION SHALL CONFORM TO WIS. DNR TECH STANDARD 1004.
2. ENGINEERED SOIL SHALL CONSIST OF 70%-85% SILICA SAND AND 15%-30% COMPOST WITH A PH OF 5.5-6.5
3. BIORETENTION BASINS SHALL BE EXCAVATED AND USED AS SEDIMENT TRAPS DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION AND SITE STABILIZATION, THE BASINS SHALL BE OVER-EXCAVATED 3 FEET MINIMUM AND THEN THE SAND LAYER AND ENGINEERED SOIL SHALL BE PLACED TO WITHIN THREE INCHES OF FINAL GRADE. ONCE THE ENGINEERED SOIL IS PLACED, THREE INCHES OF HARDWOOD MULCH SHALL BE ADDED ON TOP OF THE ENGINEERED SOIL.
4. FIELD INFILTRATION TESTING: IMMEDIATELY AFTER ROUGH GRADING OF STORMWATER BIOINFILTRATION AND INFILTRATION DEVICES, PROVIDE FIELD INFILTRATION TESTING CONDUCTED BY A THIRD-PARTY TESTING AGENCY TO VERIFY INFILTRATION RATES FOR ALL STORMWATER BIOINFILTRATION AND INFILTRATION DEVICES. DETERMINE INFILTRATION RATES IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) SITE EVALUATION FOR STORMWATER INFILTRATION, STANDARD 1002. FREQUENCY OF TESTING SHALL BE 1 TEST PER 5000 SQUARE FEET OF SURFACE AREA OF THE STORMWATER INFILTRATION DEVICE MEASURED AT THE DESIGN HIGH WATER LEVEL AND AT LEAST ONE TEST PER DEVICE. FURNISH A REPORT OF THE TEST RESULTS TO ARCHITECT/ENGINEER.
5. SPECIFIC SPECIES OR CONTAINER SIZE SUGGESTED SUBSTITUTIONS SHALL BE PRESENTED TO CONSULTANT ALONG WITH THE REASONS FOR THE SUGGESTIONS. WITH CONSULTANT OR PROJECT ENGINEER'S APPROVAL, SUBSTITUTIONS MAY BE MADE.
6. LIVE PLANTS CAN BE PLANTED IN THE FIELD DURING THE GROWING SEASON FROM MAY 1 THROUGH OCTOBER 1. ANY SUGGESTED PLANTING TIMES NOT IN THIS WINDOW SHALL BE APPROVED BY CONSULTANT OR ENGINEER. IF PLANTING OCCURS OUTSIDE OF THIS WINDOW ADDITIONAL MEASURES MAY NEED TO BE TAKEN (I.E. MULCH) TO ENSURE PLANT SURVIVAL. IN THESE INSTANCES, THE CONTRACT PRICE MAY NEED TO BE ADJUSTED ACCORDINGLY.
7. PLANT SPECIES PLANTED SHALL FOLLOW THE LANDSCAPE PLAN.
8. ALL PLANTED MATERIALS WILL BE WARRANTED BY INSTALLATION CONTRACTOR TO BE IN HEALTHY CONDITION WITH A REPLACEMENT GUARANTEE FOR A PERIOD OF ONE YEAR FROM THE DATE OF PLANTING.
9. NATIVE PLANTS SHOULD BE WATERED IN AFTER INSTALLATION TO ENSURE THEIR SURVIVAL. THIS TYPICALLY INVOLVES WATERING AT TIME OF INSTALLATION AND 2 TIMES WEEKLY FOR A ONE MONTH PERIOD OR UNTIL GROUND FREEZE UP IF NATURAL RAINFALLS ARE INSUFFICIENT. A SINGLE WATERING EVENT INVOLVES WATERING THE SOIL IN THE PLANTED AREAS TO THE POINT OF SATURATION BUT STOPPING SHORT OF SOIL DISPLACEMENT. SHOULD VERY DRY CONDITIONS DEVELOP WITHIN ONE YEAR OF PLANTING, ADDITIONAL WATERINGS MAY BE NECESSARY. CONSULTANT OR PROJECT ENGINEER WILL DETERMINE THIS AND CONTRACT PRICES MAY BE ADJUSTED TO ACCOMMODATE THIS ACTION.
10. PLANTS SHALL BE PLANTED IN THE BIORETENTION AREA AT A MINIMUM OF ONE PLANT PER EVERY 12" ON CENTER.
11. UPON COMPLETION OF EXCAVATING & GRADING OPERATIONS, A LOOSE, FRIABLE PLANT BED SHALL BE PREPARED FOR INSTALLATION OF NATIVE PLANT PLUGS.
12. CARE SHALL BE TAKEN TO MINIMIZE SOIL COMPACTION DURING CONSTRUCTION ACTIVITY. BY EXAMPLE OF A STANDARD SOIL PENETROMETER (COMPACTION TESTER), THE TOPSOIL COMPACTION READINGS SHALL BE LESS THAN 200 PSI AT THE 0-6 INCH DEPTH AND LESS THAN 250 PSI AT THE 6-18 INCH DEPTHS IN ALL AREAS TO BE PLANTED.
13. UNDULATIONS OR IRREGULARITIES IN THE PLANT BED WHICH WOULD INTERFERE WITH A CONSISTENT SEEDING OPERATION SHALL BE LEVELED PRIOR TO FINAL SEEDING.
14. FINAL PLANTING AREA SHOULD BE GRADED SUCH THAT THE AREAS TO BE PLANTED SHALL CONSIST OF A SMOOTH, FREE DRAINING, EVEN SURFACE WITH A LOOSE POROUS TEXTURE.

4 NOT USED
NOT TO SCALE

REGENT STREET PARKING GARAGE

BIO-RETENTION POND DETAILS

CITY OF MADISON, WISCONSIN

SNYDER & ASSOCIATES, INC.



C 602

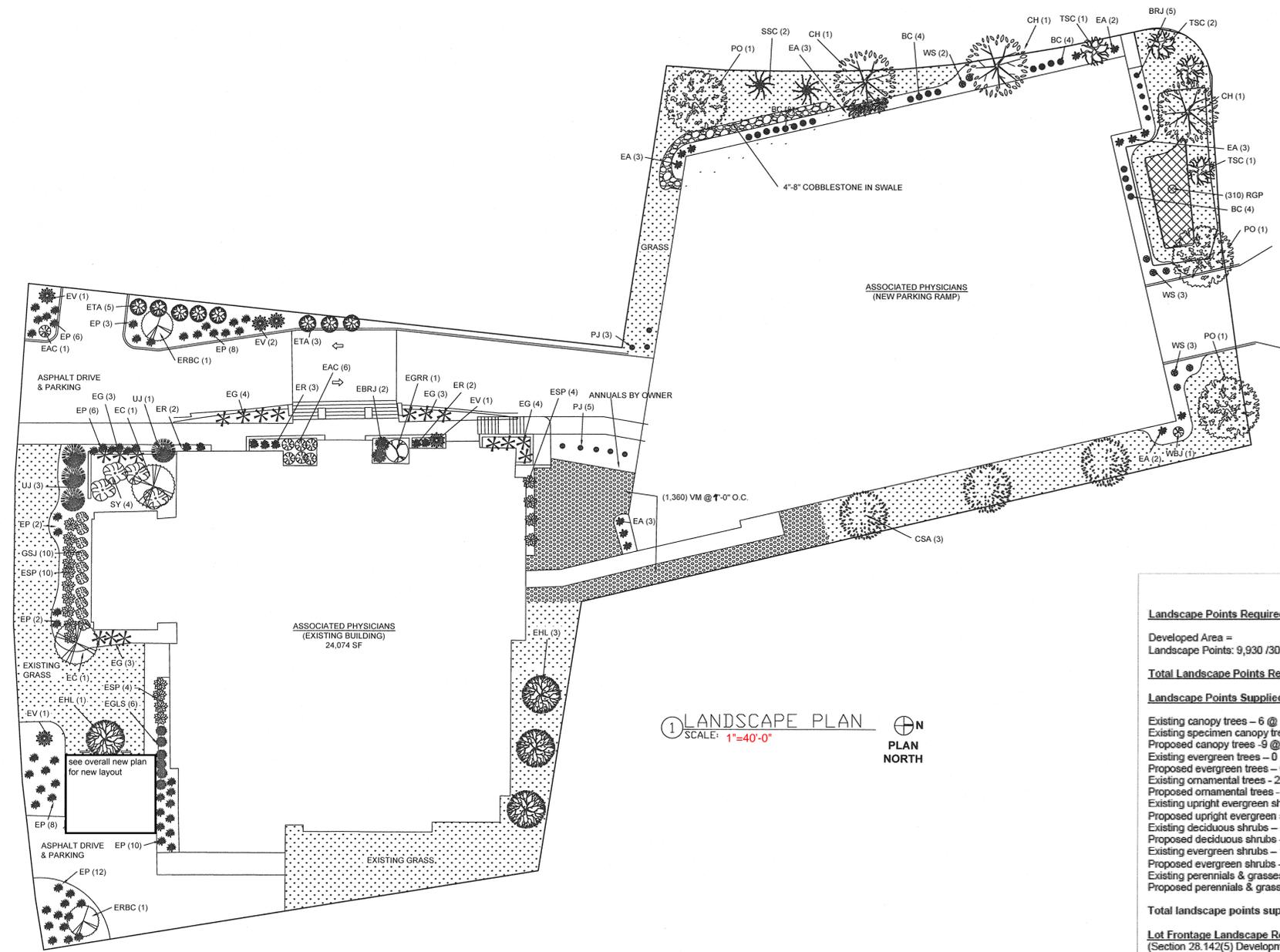
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MADISON, WISCONSIN 53718
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MARK: REVISION
Engineer: SJA
Technician: LAO
Checked By: LAO
Date: 4-21-2020
Field Bk:
Project No: 1120.0285.30

DATE BY
DATE BY

4/21/2020

S.P.S.
 Paul Skidmore, ASLA
 Landscape Architect
 13Red Maple Trail (608) 826-0032
 Madison, WI 53717 (608) 335-1529 (c)
 paulskidmore@spss.net



LANDSCAPE PLAN
 SCALE: 1"=40'-0"
 PLAN NORTH

LANDSCAPE WORKSHEET

Landscape Points Required

Developed Area = 9,930 SF
 Landscape Points: 9,930 / 300 x 5 = 166 points

Total Landscape Points Required 166 points

Landscape Points Supplied

Existing canopy trees - 6 @ 35 = 210 points
 Existing specimen canopy trees - 0 @ 200 = 0 points
 Proposed canopy trees - 9 @ 35 = 315 points
 Existing evergreen trees - 0 @ 35 = 0 points
 Proposed evergreen trees - 0 @ 35 = 0 points
 Existing ornamental trees - 2 @ 15 = 30 points
 Proposed ornamental trees - 6 @ 15 = 90 points
 Existing upright evergreen shrubs - 13 @ 10 = 130 points
 Proposed upright evergreen shrubs - 17 @ 10 = 170 points
 Existing deciduous shrubs - 43 @ 3 = 129 points
 Proposed deciduous shrubs - 28 @ 3 = 84 points
 Existing evergreen shrubs - 16 @ 4 = 64 points
 Proposed evergreen shrubs - 10 @ 4 = 40 points
 Existing perennials & grasses 0 @ 2 = 76 points
 Proposed perennials & grasses 0 @ 0 = 0 points

Total landscape points supplied = 1,330 points

Lot Frontage Landscape Required
 (Section 28.142(5) Development Frontage Landscaping)

"One (1) over-story deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) over-story deciduous tree."

Regent Street, Price Place and Vernon Boulevard = 470 LF

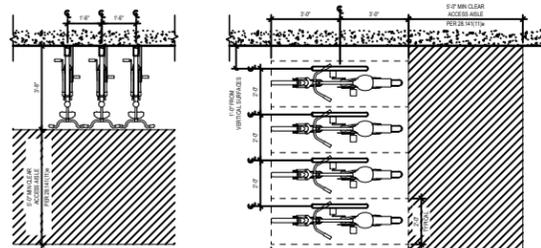
Over story trees required 470/30' = 15.6 **16 trees**
 Shrubs required (470/30) x 5 = 78.3 **78 shrubs**

Over story trees supplied **9 trees**
 Ornamental/Evergreen trees supplied **12 trees**
 Shrubs supplied **78 shrubs**

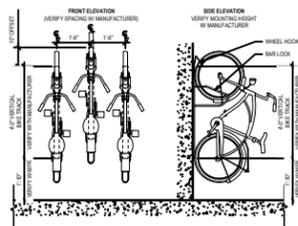
KEY	QUAN	SIZE	COMMON NAME	ROOT
(15) Canopy Trees				
CH	3	2 1/2"	Hackberry	BB
CSA	3	2 1/2"	Columnar Swedish Aspen	BB
EHL	4	8" +	Existing Honeylocust	EX
PO	3	2 1/2"	Exclamation Planetree	BB
ERBC	2	20'	Existing River Birch Clump	EX
(8) Ornamental Trees				
EC	2	6" +	Existing Flowering Crab	EX
SSC	2	2"	Spring Snow Crab	BB
TSC	4	2"	Tina Sargent Crab	BB
(71) Deciduous Shrubs				
BC	20	24"	Black Chokeberry	Pot
EAC	7	24"	Existing Alpine Currant	EX
EGLS	6	24"	Existing Gro Low Sumac	EX
ER	7	18"	Existing Shrub Rose	EX
ESP	14	24"	Existing Spirea	EX
EV	5	36"	Existing Viburnum	EX
WS	8	24"	White Snowberry	Pot
(30) Upright evergreen Shrubs				
EA	16	4"	Emerald Arborvitae	BB
EGRR	1	8"	Existing Gold Rush Redwood	EX
ETA	8	10'	Existing Techny Arborvitae	EX
UJ	4	15'	Existing Upright Juniper	EX
WBJ	1	5'	Wichita Blue Juniper	BB
(26) Evergreen Shrubs				
BRJ	5	2 G	Blue Rug Juniper	Con
EBRJ	2	2 G	Existing Blue Rug Juniper	EX
EGSJ	10	5 G	Existing Green Sargent Juniper	EX
SY	4	48" +	Existing Spreading Yew	EX
PJ	5	24"	Pfitzer Juniper	BB
(1,434) Perennials				
EG	17	36"	Existing Ornamental Grass	EX
EP	57	24"	Existing Perennial	EX
VM	1,360	1"	Vinca Minor	Plug
Bio-retention Plantings				
RGP	310	2 1/2"	(Planted 12" on center) Common Blue Star Bottle Gentian Obedient Plant Columbine Switchgrass Black Eyed Susan Wild Iris Swamp Milkweed White Turtlehead Cardinal Flower Turk's Cap Lily Little Bluestem Canada Wild Rye Nodding Onion	plug

- NOTES:**
- 1) New lawn areas and existing lawn areas disturbed by construction shall receive a minimum of 4" of topsoil, seed (Madison Parks mix), starter fertilizer, and mulch (straw or straw mat).
 - 2) Lawn areas in drainage swales and Vinca planting beds with slopes 3:1 and greater shall be mulched with erosion control fabric (installed per manufacturer's specifications).
 - 3) Designated planting beds to be mulched with #2 shredded hardwood bark spread to a depth of 3".
 - 4) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3".
 - 5) Designated planting beds to be separated from lawn areas with 5" black vinyl edging.
 - 6) Rain garden to receive coconut mat mulch.
 - 7) Rain garden plants (RGP) to be installed 12" on center.
 - 8) Rain garden to be constructed per WDNR specifications.
 - 9) Owner will be responsible for landscape maintenance after completion and acceptance of the project.

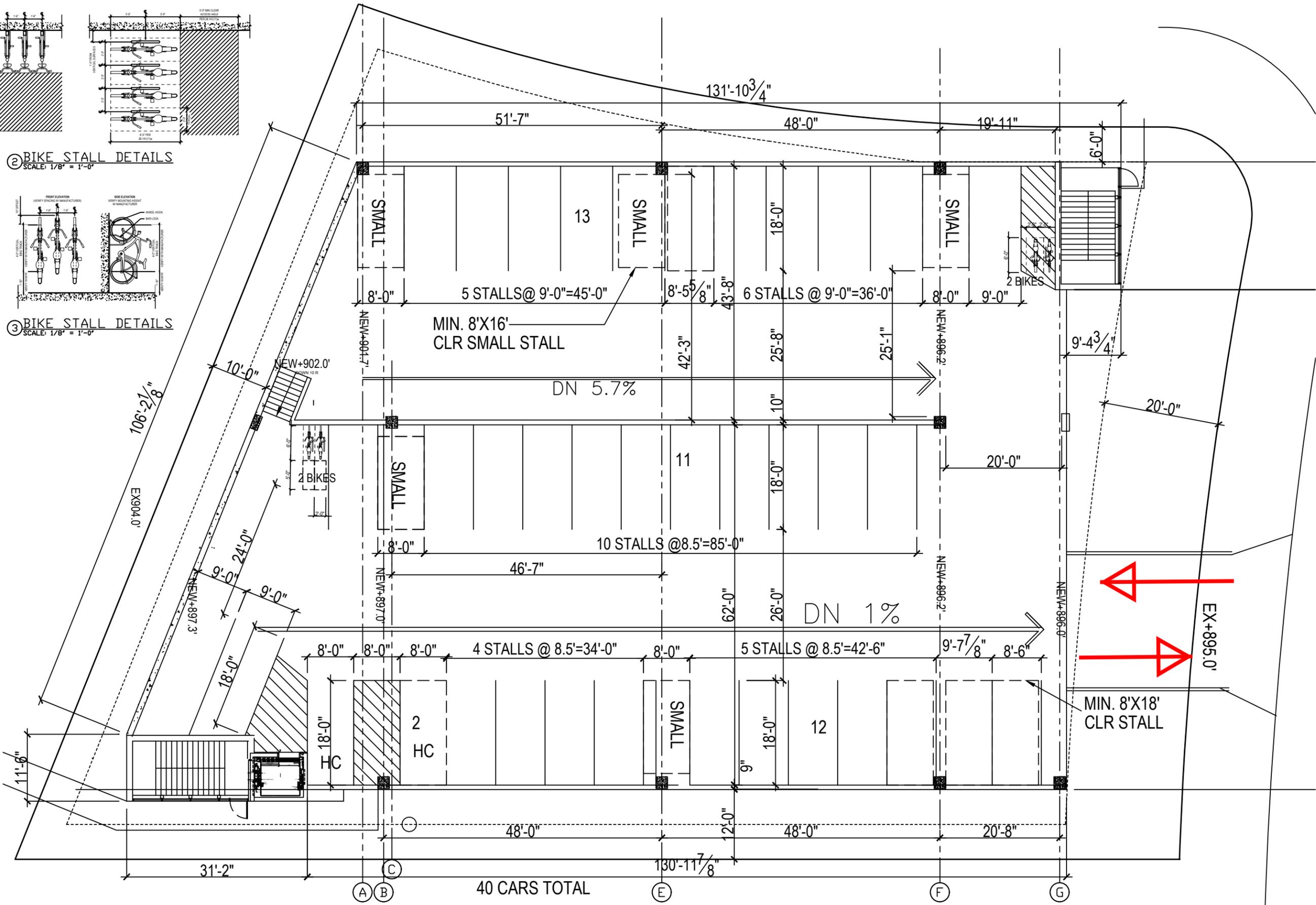
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② BIKE STALL DETAILS
SCALE: 1/8" = 1'-0"



③ BIKE STALL DETAILS
SCALE: 1/8" = 1'-0"



① LOWER LEVEL PARKING PLAN
SCALE: 1/16" = 1'-0"



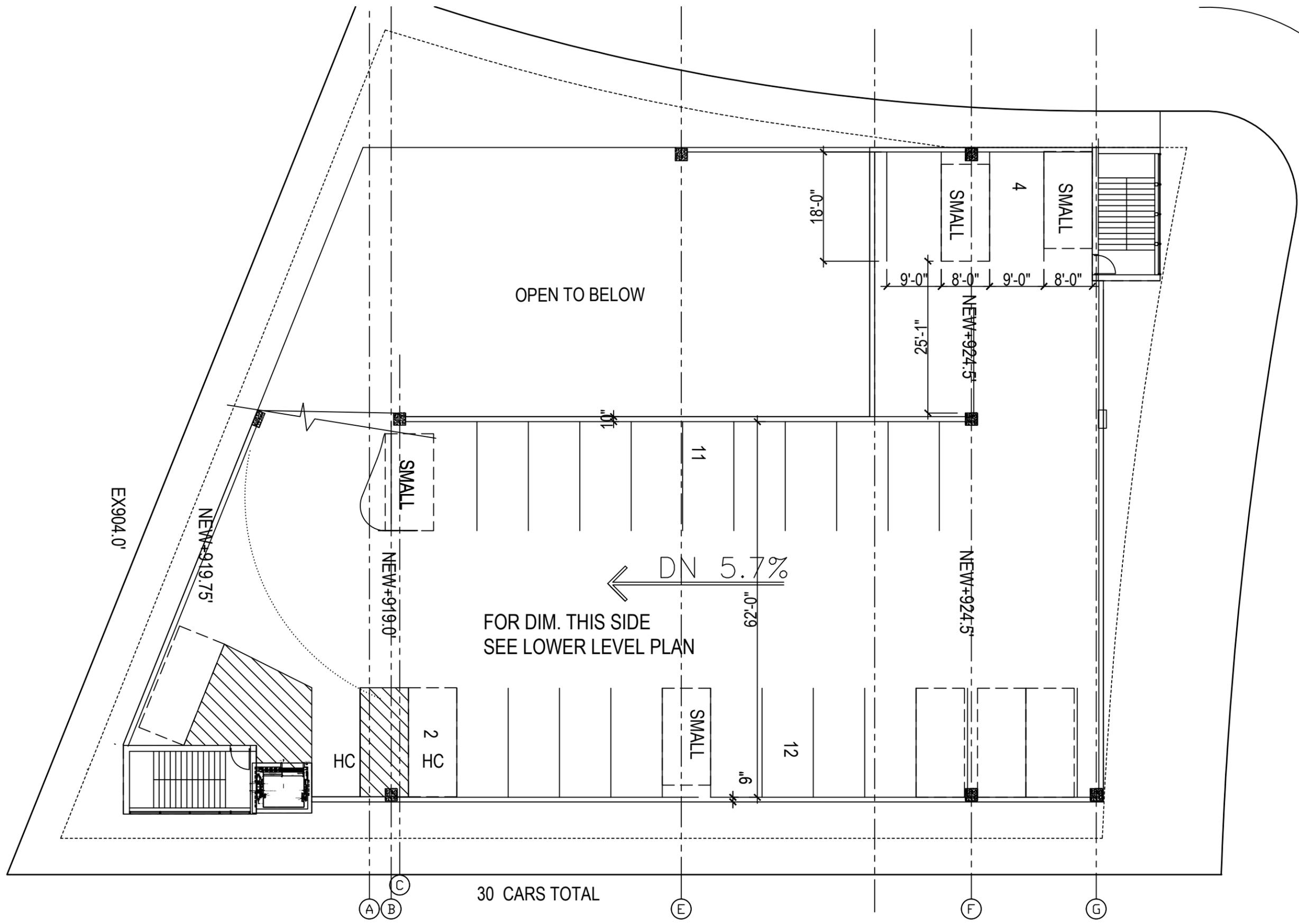
PROJECT:
ASSOCIATED PHYSICIANS
215 PRICE PLACE
MADISON, WI 53705

TITLE:
**LOWER LEVEL
PARKING PLAN**

DRAWN BY: SH CHECKED BY: SH
PROJECT NO: 20550 DATE: 04/22/2020

A1.0

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30 CARS TOTAL

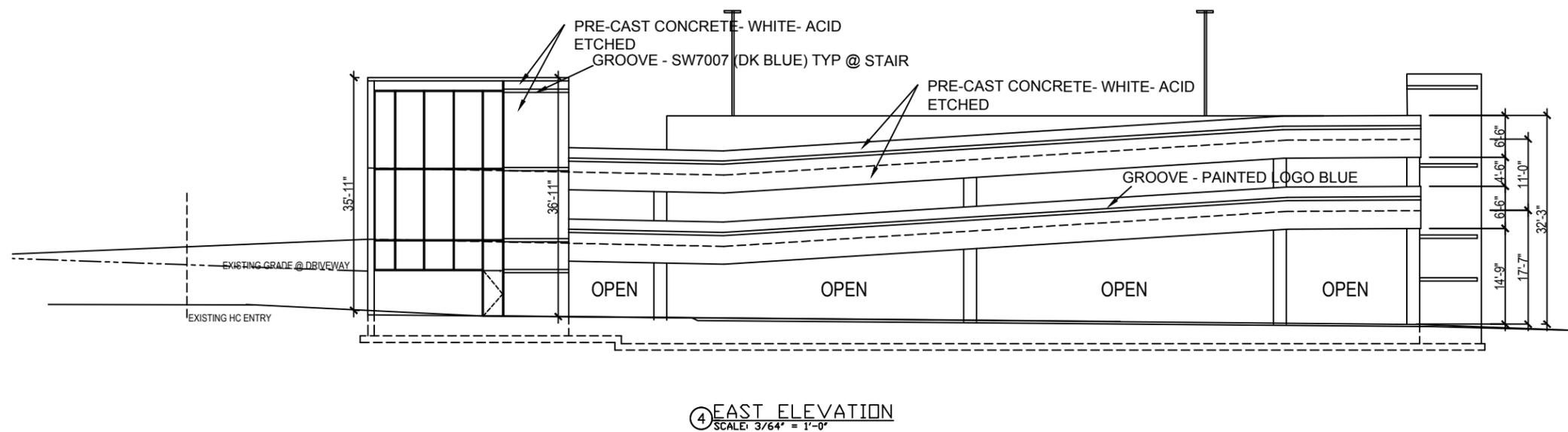
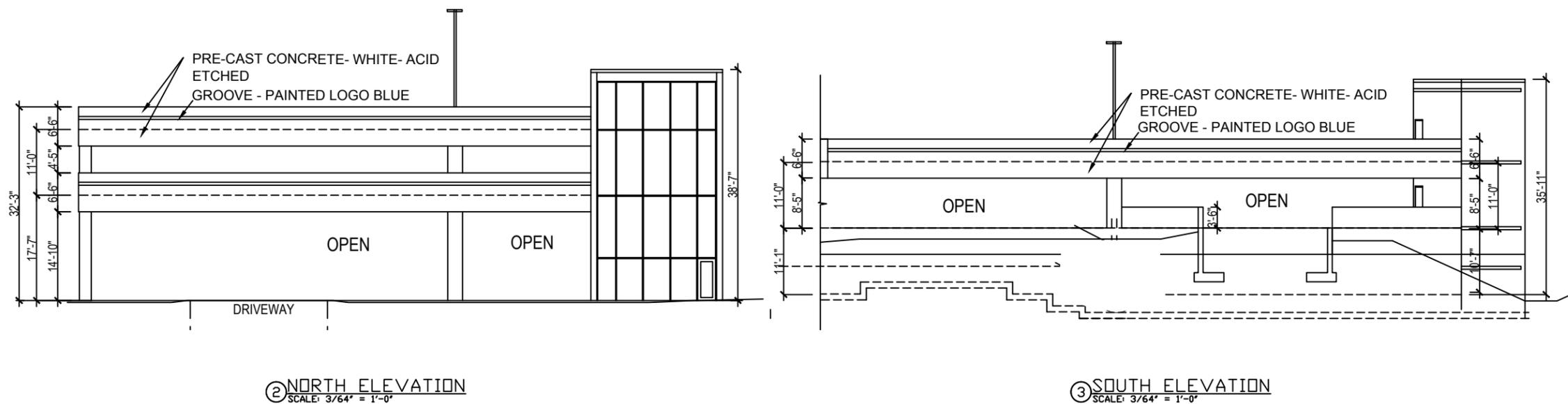
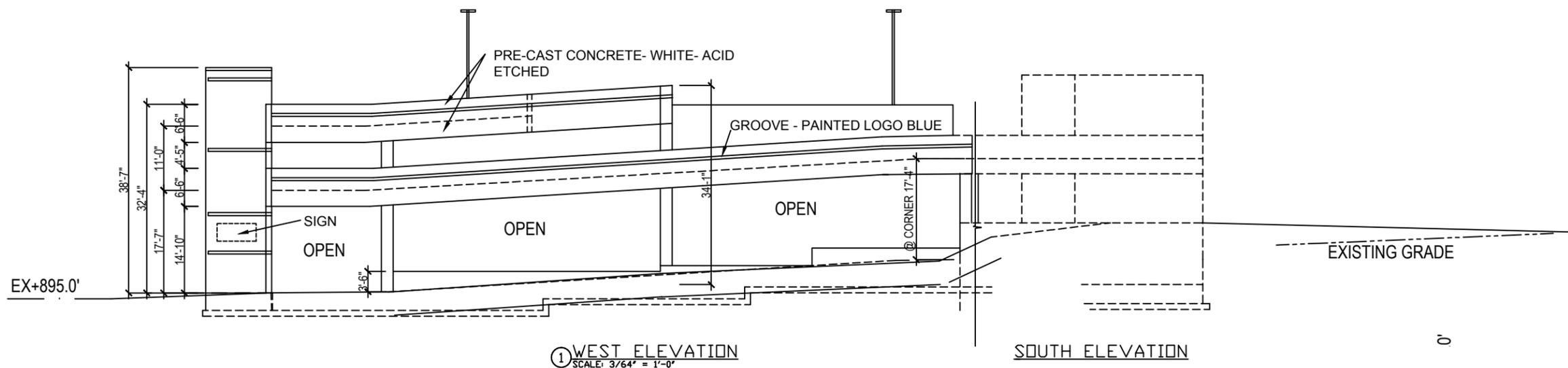
① SECOND FLOOR PARKING PLAN
 SCALE: 1/16" = 1'-0"
 PLAN NORTH

PROJECT:
 ASSOCIATED PHYSICIANS
 215 PRICE PLACE
 MADISON, WI 53705

TITLE:
**SECOND FLOOR
 PARKING PLAN**

DRAWN BY: SH CHECKED BY: SH
 PROJECT NO. 20550 DATE: 04/22/2020

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PROJECT:
ASSOCIATED PHYSICIANS
215 PRICE PLACE
MADISON, WI 53705

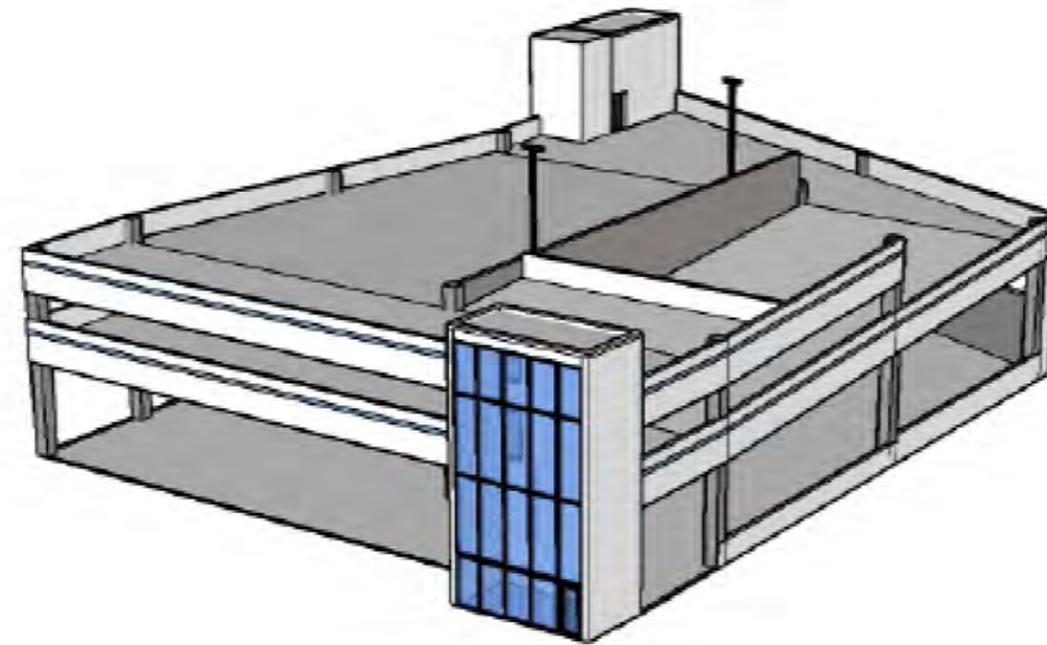
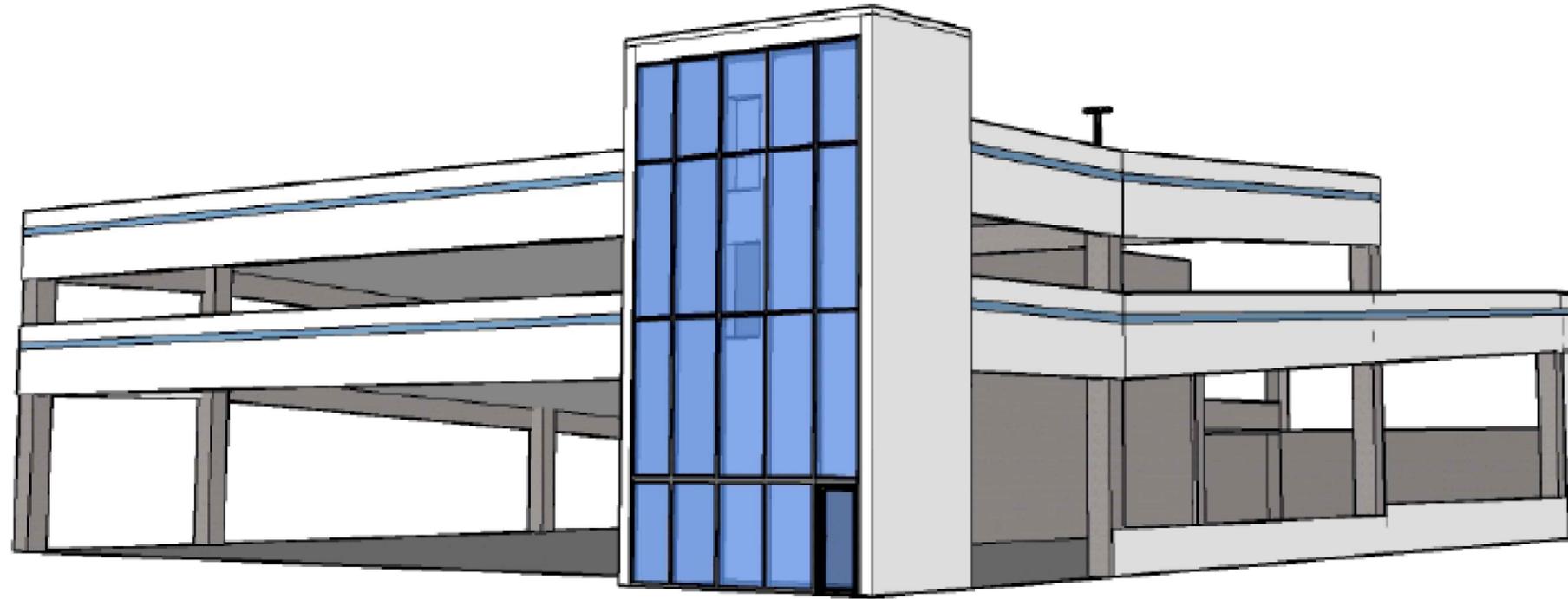
TITLE:

EXTERIOR
ELEVATIONS

DRAWN BY: SH CHECKED BY: SH
PROJECT NO: 20550 DATE: 04/22/2020

A2.0

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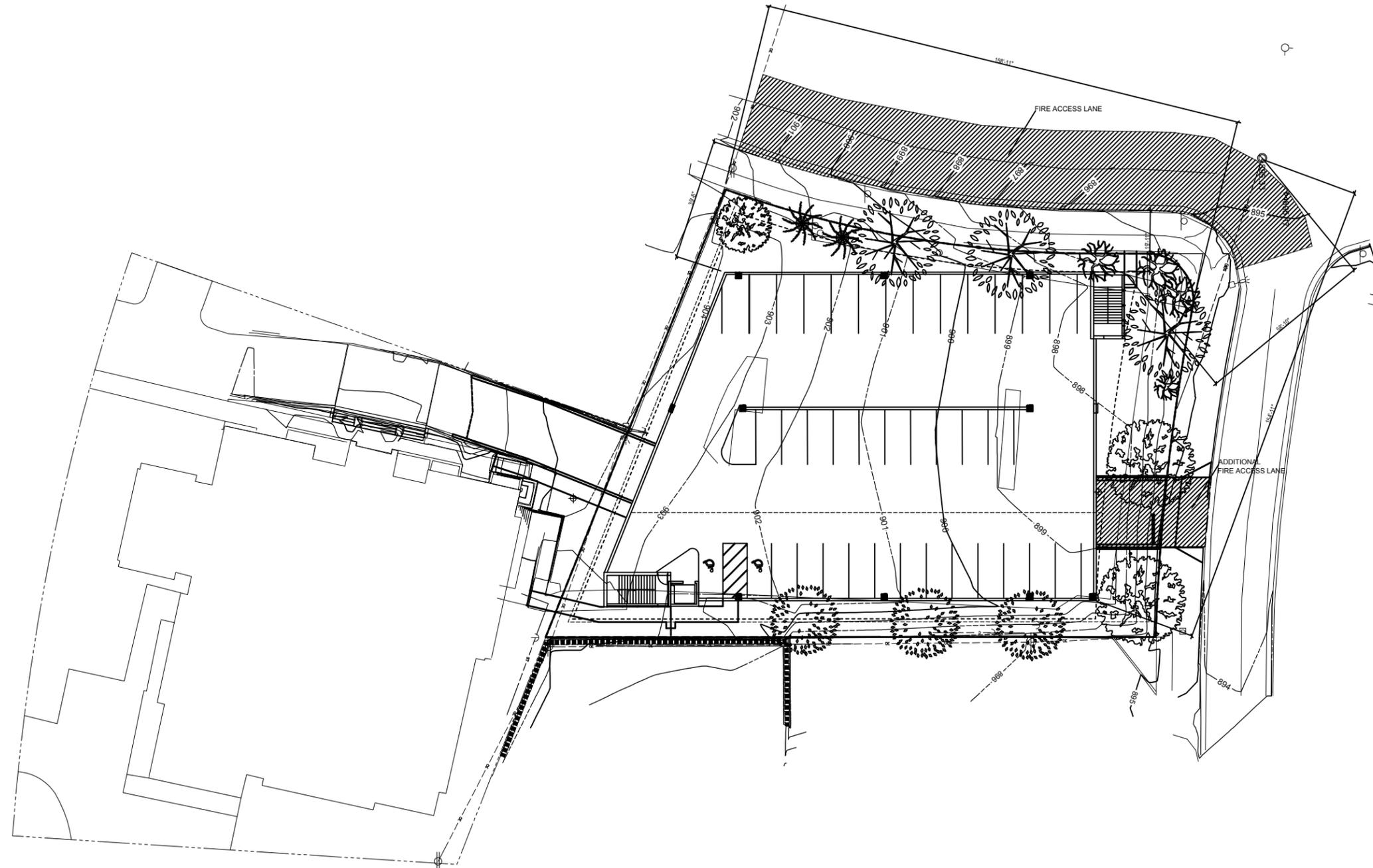


PROJECT:
ASSOCIATED PHYSICIANS
215 PRIDE PLACE
MADISON, WI 53705

TITLE:
EXTERIOR VIEWS

DRAWN BY: SH CHECKED BY: SH
PROJECT NO: 20550 DATE: 04/22/2020

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① FIRE ACCESS PLAN
SCALE: 1" = 40'-0"



PROJECT:
ASSOCIATED PHYSICIANS
215 PRICE PLACE
MADISON, WI 53705

TITLE:

FIRE ACCESS PLAN

DRAWN BY: SH CHECKED BY: SH
PROJECT NO: 20550 DATE: 04/22/2020

A3.0

Subject: Re: Associated Physicians Parking Ramp Project
Date: Wednesday, February 26, 2020 at 2:30:41 PM Central Standard Time
From: Martin, Arvina
To: Michael J. Lawton, akessenich@dlevanscompany.com
CC: Steve Harms, Lawton, Jacki, Catherine Auger, Keyes, Joe R., Nick Schweitzer, Gary Peterson (plannergary@sustainablegary.com), 'djpenkiunas@gmail.com', bwohm@wisc.edu, Russ Kowalski

I agree with Mike, I am ok waiving the 30 days, but would also like a neighborhood meeting, as I don't know that a project like this is on the radar of most.

The end of March works for me, the evenings of March 23 and 24 are the best for me personally. I can get the Council office to mail postcards.

Arvina Martin
District 11 Alder, City of Madison
(608) 217-7815

Sign up for district 11 email list/blog:
<http://www.cityofmadison.com/council/district11/blog/>

From: Michael J. Lawton <mlawton@boardmanclark.com>
Sent: Wednesday, February 26, 2020 2:16 PM
To: akessenich@dlevanscompany.com
Cc: 'Steve Harms'; Lawton, Jacki; Catherine Auger; Keyes, Joe R.; Nick Schweitzer; Gary Peterson (plannergary@sustainablegary.com); 'djpenkiunas@gmail.com'; bwohm@wisc.edu; Russ Kowalski; Martin, Arvina
Subject: RE: Associated Physicians Parking Ramp Project

Andy, thanks for the information.

I have no problem with a waiver of the 30 day notice period, but I think there should be a neighborhood meeting scheduled, probably at Covenant during the second half of March, so you can present your plans, given that this will require a rezoning and CUP. We are already booked for a neighborhood meeting on Madison Yard phase 4 on March 12, so we would need to find a time after that when we can use the church, and we'll need to know from Arvina if she will sponsor the meeting by doing a mailing to neighbors, as otherwise our Association would just notify neighbors through our notification methods.

Please send me a copy when you have your application package put together or give me the link on Legistar for your application so I can forward it to the members of my committee. Our committee will make recommendations on the plan to the City staff and Alder Martin after the neighborhood meeting and after we have had a chance to look at the application, but prior to the City plan commission meeting on the application. Frequently, we invite the applicant to our planning committee meeting when we discuss the project.

Mike Lawton

From: akessenich@dlevanscompany.com <akessenich@dlevanscompany.com>
Sent: Wednesday, February 26, 2020 11:44 AM
To: Michael J. Lawton <mlawton@boardmanclark.com>
Cc: 'Steve Harms' <sharms@tri-north.com>
Subject: Associated Physicians Parking Ramp Project

Mike,

I am following up on our prior conversation regarding the Associated Physicians planned parking ramp to be constructed in place of their current surface parking lot on the parcel located at 215 Price Place, adjoining their medical clinic and administrative office lots at 4410 Regent Street and 202 N. Midvale Blvd respectively. In addition to sending this email, I have left you a detailed voicemail message.

As I noted in our recent conversation, I am serving as the Owner's Rep for the project and Steve Harms of Tri-North Builders is the registered architect and construction representative. Tri-North will be constructing the ramp.

Since our last conversation the project has changed due to the setback requirements of the current SE (Suburban Employment) zoning designation being greater than what would allow for a functional ramp to be constructed. Acknowledging this, and in consideration of the Hoyt and University Hill Farms Neighborhood plans as relates to this property and its various neighbors, the City is recommending the zoning be changed from SE to Neighborhood Mixed Use (NMX). The NMX classification allows three-story structures with additional stories being permitted only under an approved conditional use permit. Associated Physicians is in agreement with this recommendation and is completing a zoning change application at the present time.

Note there is no current plan for any renovation or expansion of the existing clinic and administrative buildings. Depending on the results of engineering and related analysis, the ramp may be either a two-story structure or three story. It will be built into the sloping site, such that it may end up being 3 stories exposed along Vernon Boulevard transitioning to two at the higher elevation of Price Place. See the attached exhibits for illustrations.

Because the scope of the project has now been revised to include a zoning change, the time required to receive government approvals will add a few months to the pre-construction timeline. Associated Physicians is losing its current overflow parking arrangement with the church located across Regent Street in November of this year, and thus the parking ramp needs to be completed by that time. Therefore we would like to submit our application next week, Wednesday March 4. That would allow our project to be taken up in May by Plan Commission and Common Council. We have contacted alderperson Arvina Martin to request a waiver from the 30 day notice. As of this moment we have not heard back from her.

Associated Physicians would like to inform the neighborhood of our plans and respectfully request its support in our application. If you could reply to me with additional questions and/or a general comment indicating support for our proposal, that would be very much appreciated. Associated Physicians has been a conscientious Hill Farms / Hoyt neighbor for 50 years and intends to remain so into the indefinite future.

Thank you,

Andy

Andrew H. Kessenich

D. L. Evans Company, Inc.
340 S. Whitney Way, Suite 200
Madison, WI 53705

202 N Midvale:

UNIVERSITY HILL FARMS - COMMERCIAL RESERVE ADDITION, BLK 35, LOT 3.

14,109.28 SF

.324 Ac

4406 Regent:

UNIVERSITY HILL FARMS - COMMERCIAL RESERVE ADDITION, BLK 35, LOTS 4 & 5.

28,321.86 SF

.65 Ac

215 Price Pl :

UNIVERSITY HILL FARMS - COMMERCIAL RESERVE ADDITION, BLK 35, LOT 7.

.545 ac

Total:

66,163.26 SF

1.519 Ac