

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
126 S. Hamilton St.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submittal reviewed by _____

1. Project Information

Address: 555 W Washington Avenue

Title: _____

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested August 8, 2018

- ☒ New development ☐ Alteration to an existing or previously-approved development
☐ Informational ☐ Initial approval ☒ Final approval

3. Project Type

- ☐ Project in an Urban Design District
☒ Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
☐ Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
☐ Planned Development (PD)
 ☐ General Development Plan (GDP)
 ☐ Specific Implementation Plan (SIP)
☐ Planned Multi-Use Site or Residential Building Complex

Signage

- ☐ Comprehensive Design Review (CDR)
☐ Signage Variance (i.e. modification of signage height, area, and setback)

Other

- ☐ Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name Brendan Baxter Company PJB-II Inc.

Street address 2303 W. Beltline Hwy City/State/Zip Madison, WI 53713

Telephone 608-276-0244 Email baxter.bt@gmail.com

Project contact person Kevin Burow Company Knothe and Bruce Architects

Street address 7601 University Ave. Ste 201 City/State/Zip Middleton, WI 53562

Telephone 608-836-3690 Email kburow@knothebruce.com

Property owner (if not applicant) _____

Street address _____ City/State/Zip _____

Telephone _____ Email _____

5. Required Submittal Materials

- ☒ **Application Form**
- ☒ **Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- ☒ **Development plans** (Refer to checklist provided below for plan details)
- ☐ **Filing fee**
- ☒ **Electronic Submittal***

Each submittal must include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting plans (if required) must be full-sized. Please refrain from using plastic covers or spiral binding.

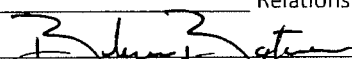
Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Heather Stouder, Kevin Firchow, Bill Freuling on February 12, 2018.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Applicant name Brendan Baxter Relationship to property Owner
 Authorized signature of Property Owner  Date 5/2/2018

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- ☐ Urban Design Districts: \$350 (per §35.24(6) MGO).
- ☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- ☐ Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- ☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- ☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information what should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- ☒ Locator Map
- ☒ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☒ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☒ Site Plan
- ☒ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☐ Landscape Plan and Plant List (*must be legible*)
- ☐ Building Elevations in both black & white and color for all building sides (include material callouts)
- ☐ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- ☒ Grading Plan
- ☐ Proposed Signage (if applicable)
- N/A ☐ Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- ☒ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☒ PD text and Letter of Intent (if applicable)
- ☒ Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

June 20, 2018

Ms. Heather Stouder
Department of Planning & Development
City of Madison
146 S. Hamilton Street
PO Box 2985
Madison, Wisconsin 53701



Re: Letter of Intent
555 W. Washington Ave.
KBA Project #1713

Ms. Heather Stouder:

The following is submitted together with the plans and application for the staff and Plan Commission's consideration of approval.

Organizational structure:

Owner:	PJB II, Inc. 2303 W. Beltline Hwy Madison, WI 53713 608-276-0244 Contact: Brendan Baxter baxter.bt@gmail.com	Architect:	Knothe & Bruce Architects, LLC 7601 University Avenue, Ste 201 Middleton, WI 53562 608-836-3690 Contact: Kevin Burow kburow@knothebruce.com
Engineer:	Vierbicher Associates, Inc. 999 Fourier Dr. Madison, WI 53717 (608) 826-0532 (608) 826-0530 fax Contact: Justin Zampardi jzam@vierbicher.com	Landscape Design:	Saiki Design 1110 S. Park Street Madison, WI 53715 (608) 251-3600 Contact: Ken Saiki ksaiki@ksd-la.com

Introduction:

The site is located at the east corner of W. Washington Ave. and S. Bedford St. The site is currently occupied by a two-story office building and is zoned UMX (Urban Mixed Use District). This application requests demolition of the existing structure and a conditional use approval to allow the construction of a new 5-story multi-family apartment building.

Project Description:

This proposed project is a multi-family apartment building consisting of 45 units along with 12 parking stalls in the first floor garage and 33 parking stalls in the basement parking garage. The building will be five stories total, with step-backs occurring at the fourth and fifth floors.

The UMX district allows for four stories, and up to two "bonus" stories can be approved with a conditional use approval if the Plan Commission and UDC find the design to be in line with the recommendations in adopted plans and the project demonstrates "exceptional design."

The proposed project is designed with a set of criteria that set it apart from a typical apartment building:

- **Unique and timeless architecture**
 - The project blends together three distinct architectural styles to complement the character of the neighborhood
 - Quintessential residential brownstone along W. Washington Ave.
 - Simple and traditional warehouse style along S. Bedford St.
 - Sleek, clean, and modern “cap” on the fourth and fifth floors
- **Thoughtful density through the use of careful site design and massing**
 - Improved setbacks along both W. Washington Ave. and S. Bedford St. allow for lush “front yards” that benefit the residents of the building as well as add to the character of the street.
 - The three story façade along W. Washington Ave. allows the project to blend with the adjacent single family homes on the street.
 - Generous step backs on the fourth and fifth floor reduce the visible scale from the street.
- **Use of historic materials**
 - Solid stone brownstone
 - Modular all-brick warehouse
 - All four sides of the building are stone or brick
- **Capture and accentuate the essence of residential enjoyment in an urban setting**
 - Ground floor units will have direct walk-up access with private front doors
 - Every unit has an outdoor living space, whether that is a street level patio, an upper floor balcony, or a thoughtfully landscaped roof terrace.
 - Generous roof terraces allow residents to enjoy an outdoor experience in urban surroundings, including lake and Capital view sheds
 - Green roofs on the second, fourth, and fifth floors introduce a softer, more natural environmental atmosphere

The massing of the proposed building was carefully designed to incorporate several unrequired setbacks and stepbacks in order to seamlessly blend with the scale of the adjacent neighborhood. A four-story, zero setback building, which is permitted at this location, would be much more visually obtrusive than this proposed building. A four story mass built up to the lot lines at W. Washington and Bedford would reduce views and diminish the scale of the surroundings. Even with the addition of a fifth story (which will be imperceptible at street level), the massing of this proposed building will be significantly less disruptive to the character of the neighborhood.

Site Development Data:

Densities:

Gross Lot Area	16,735 sf / .38 Acres
Dwelling Units	45 DU
Lot Area / D.U.	372 sf / unit
Density	128 units/acre
Building Height	3 to 5 stories

Lot Coverage	13,747 S.F. = 82% (90% Max.)
Usable Open Space	6,348 sf (570sf required - 10sf/bedroom)

Dwelling Unit Mix:

Efficiency	12
One Bedroom	21
<u>Two Bedroom Apartments</u>	<u>12</u>
Total Dwelling Units	45

Vehicle Parking:

First Floor Garage	12 stalls
<u>Underground</u>	<u>33 stalls</u>
Total	45 stalls

Bicycle Parking:

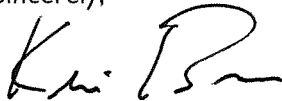
Surface	5 stalls
First Floor Garage	6 stalls
<u>Underground Garage</u>	<u>39 stalls (Std. 2'x6')</u>
Total	50 stalls

Project Schedule:

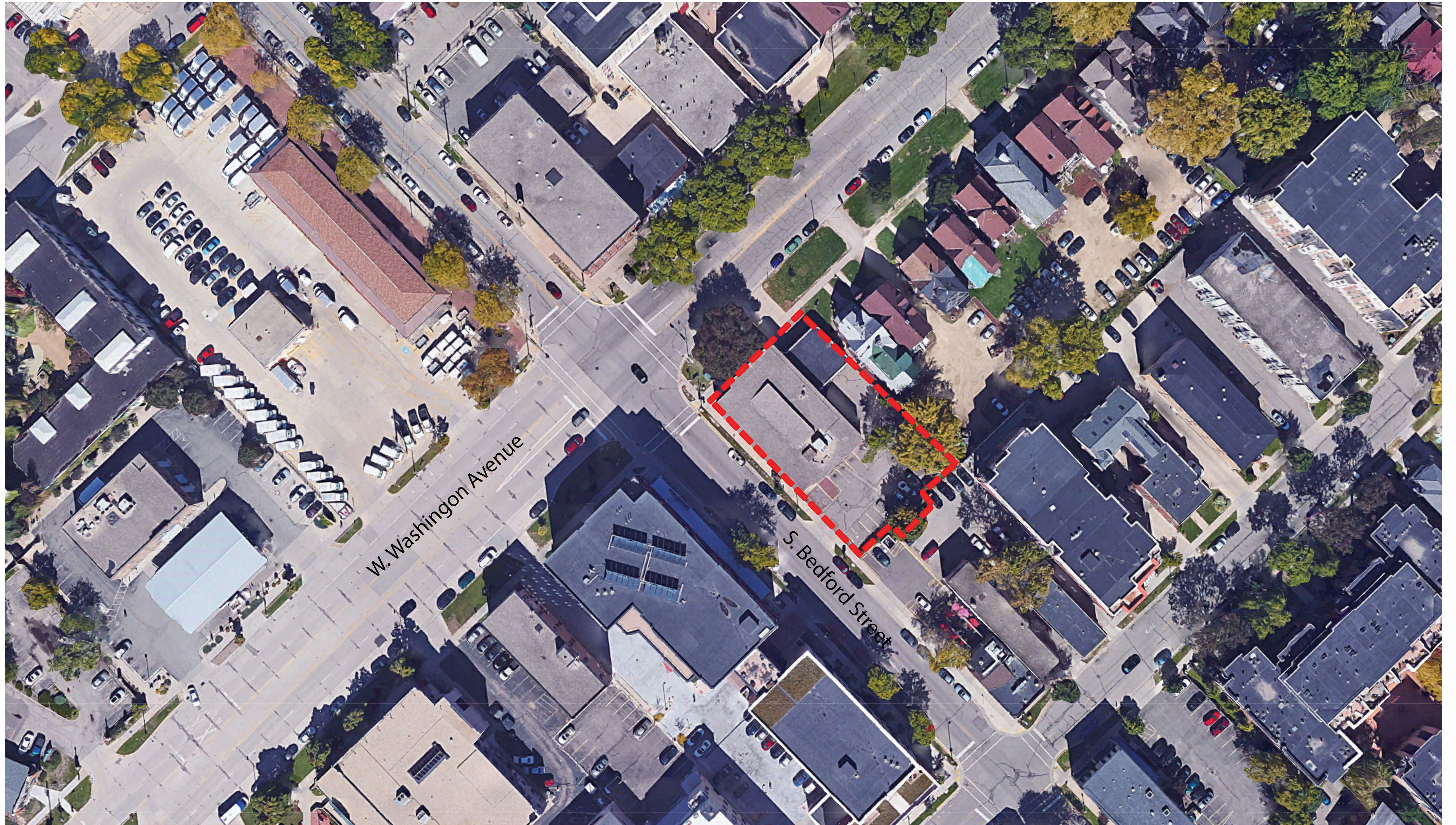
It is anticipated that the construction on this site will begin spring of 2019 with a final completion date of spring of 2020.

Thank you for your time reviewing our proposal.

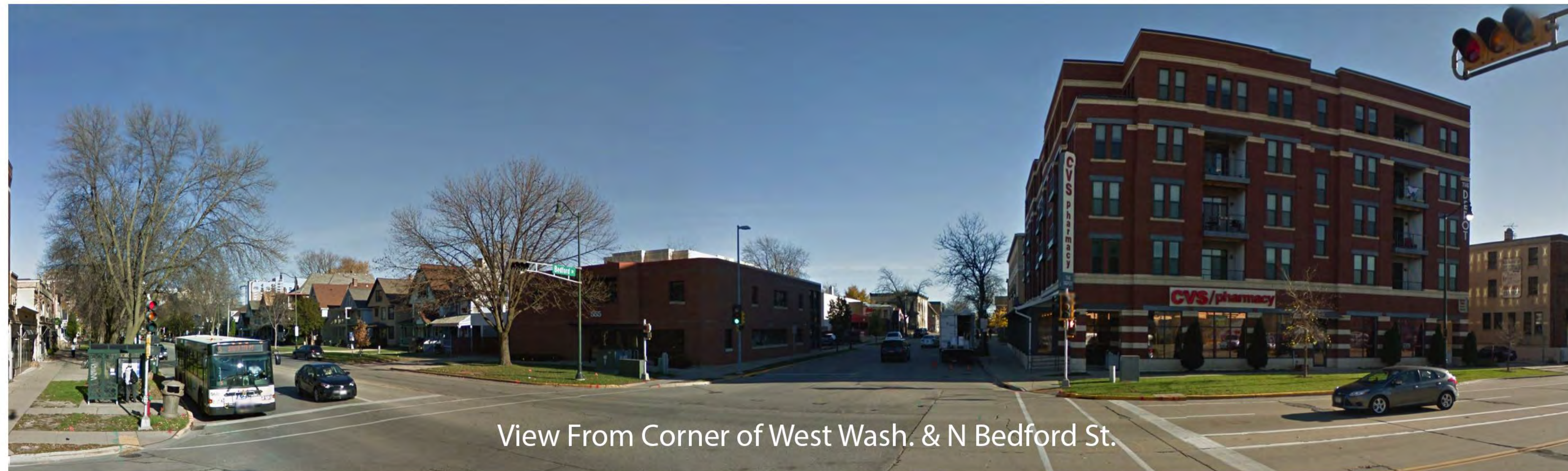
Sincerely,



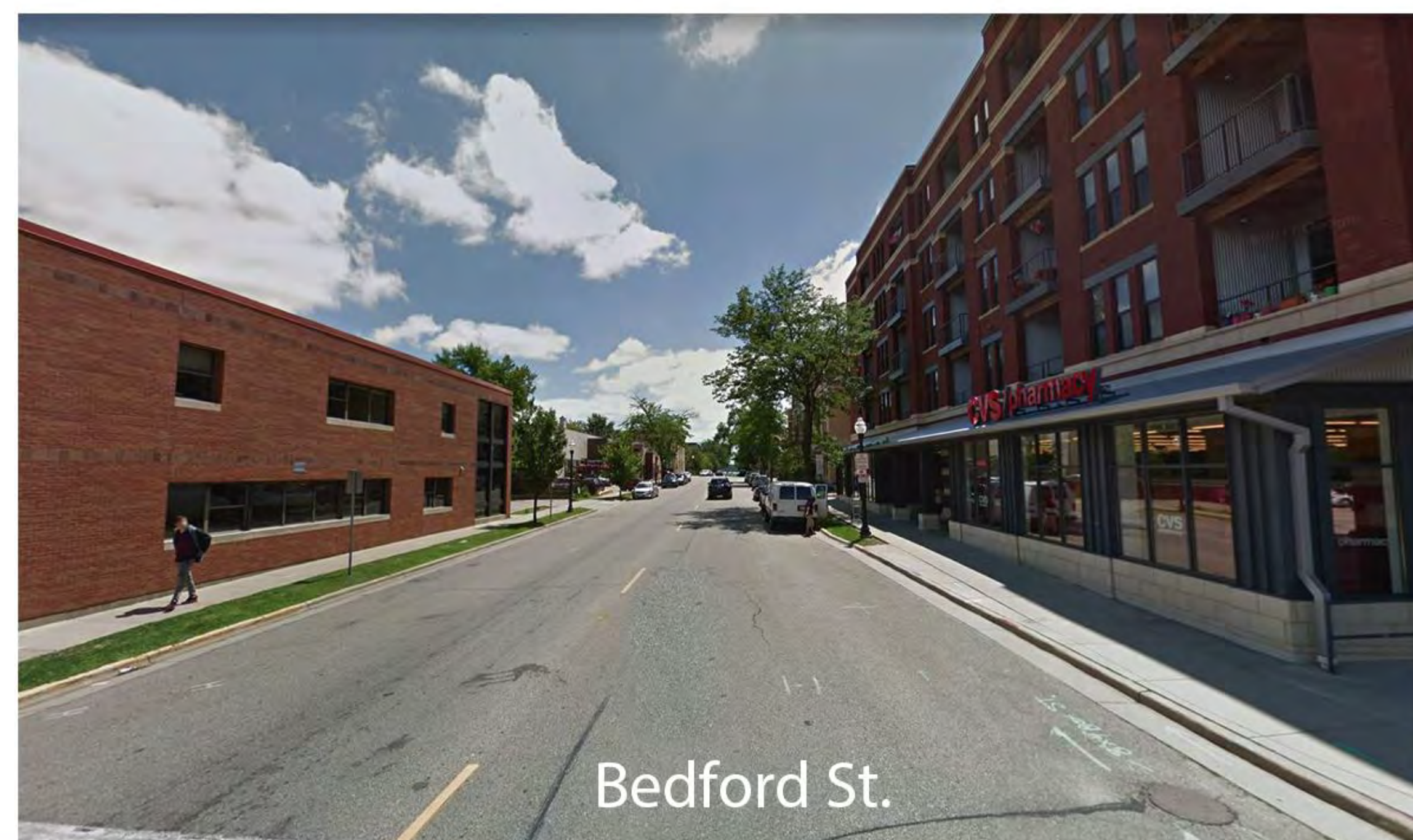
Kevin Burow, AIA



Site Aerial
555 W. Washington Avenue



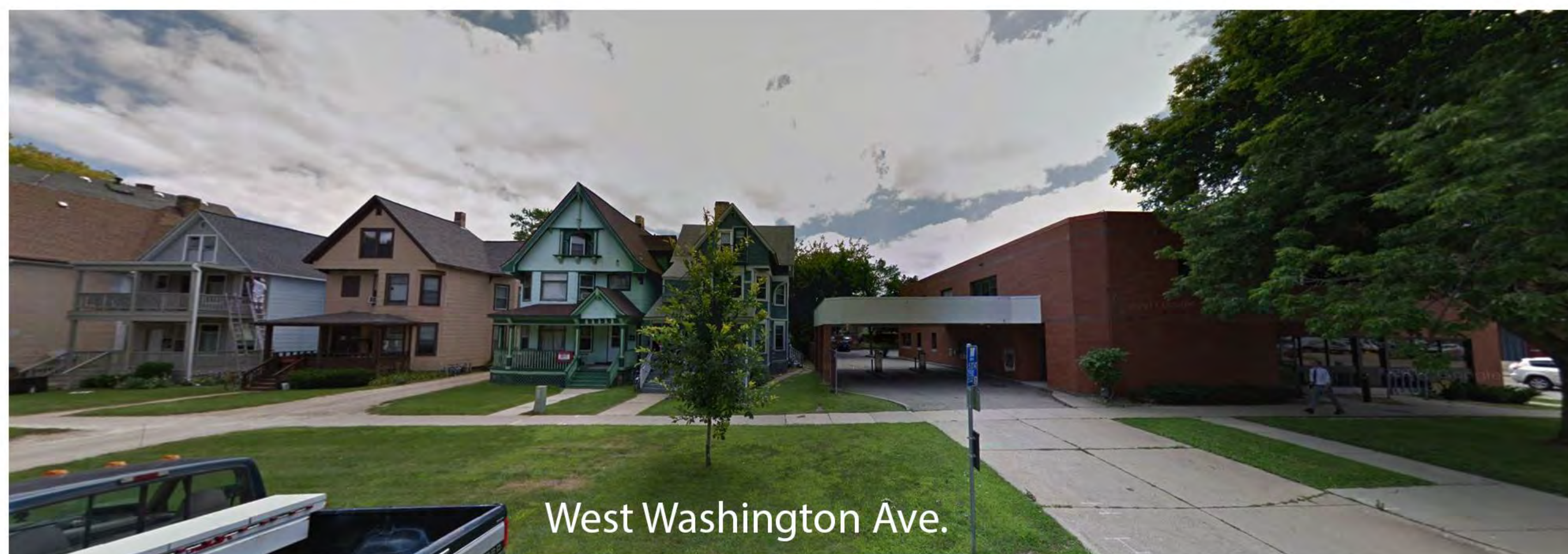
View From Corner of West Wash. & N Bedford St.



Bedford St.



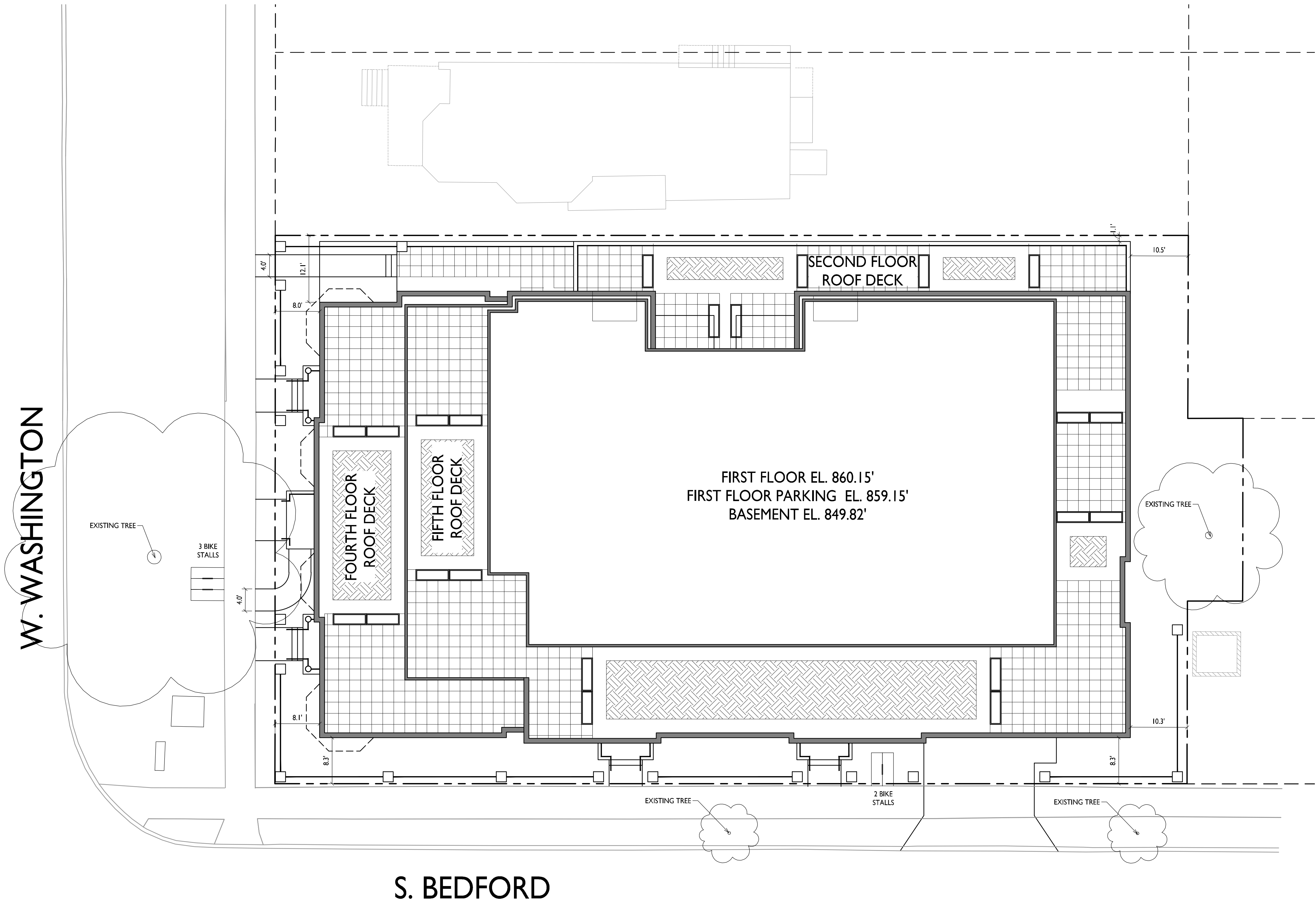
Bedford St.



West Washington Ave.



West Washington Ave.



SHEET INDEX	
SITE	
C-1.1	SITE PLAN
C-1.2	FIRE DEPARTMENT ACCESS PLAN
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C-1.4	USABLE OPEN SPACE
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C-2.0	DEMOLITION PLAN
C-3.0	GRADING & EROSION CONTROL PLAN
C-4.0	UTILITY PLAN
L-100	LANDSCAPE PLAN
L-101	ROOF TERRACES LANDSCAPE PLAN
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A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-1.4	FOURTH FLOOR PLAN
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SITE DEVELOPMENT DATA	
DENSITIES:	
LOT AREA	16,735 SF / .38 ACRES
DWELLING UNITS	45 DU
LOT AREA / D.U.	372 SF / UNIT
DENSITY	128 UNITS/ACRE
BUILDING HEIGHT	3-5 STORIES
LOT COVERAGE	13,747 S.F. = 82% (90% MAX.)
USABLE OPEN SPACE	6,348 S.F. (570 S.F. REQ'D)
DWELLING UNIT MIX:	
EFFICIENCY	12
ONE BEDROOM	21
TWO BEDROOM	12
TOTAL DWELLING UNITS	45
VEHICLE PARKING:	
FIRST FLOOR GARAGE	12 STALLS
UNDERGROUND	33 STALLS
TOTAL	45 STALLS
BICYCLE PARKING:	
SURFACE	5 STALLS
FIRST FLOOR GARAGE	6 STALLS
UNDERGROUND GARAGE	39 STALLS (STD. 2'X6')
TOTAL	50 STALLS

- GENERAL NOTES:
1. THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
 2. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
 3. ALL DAMAGE TO THE PAVEMENT , ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
 4. EASEMENT LINES SHOWN ON THIS SHEET ARE FOR GENERAL REFERENCE ONLY - SEE CSM AND CIVIL SHEETS FOR ADDITIONAL AND MORE COMPLETE EASEMENT INFORMATION.
 5. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
 6. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY. TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.

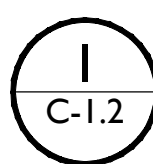
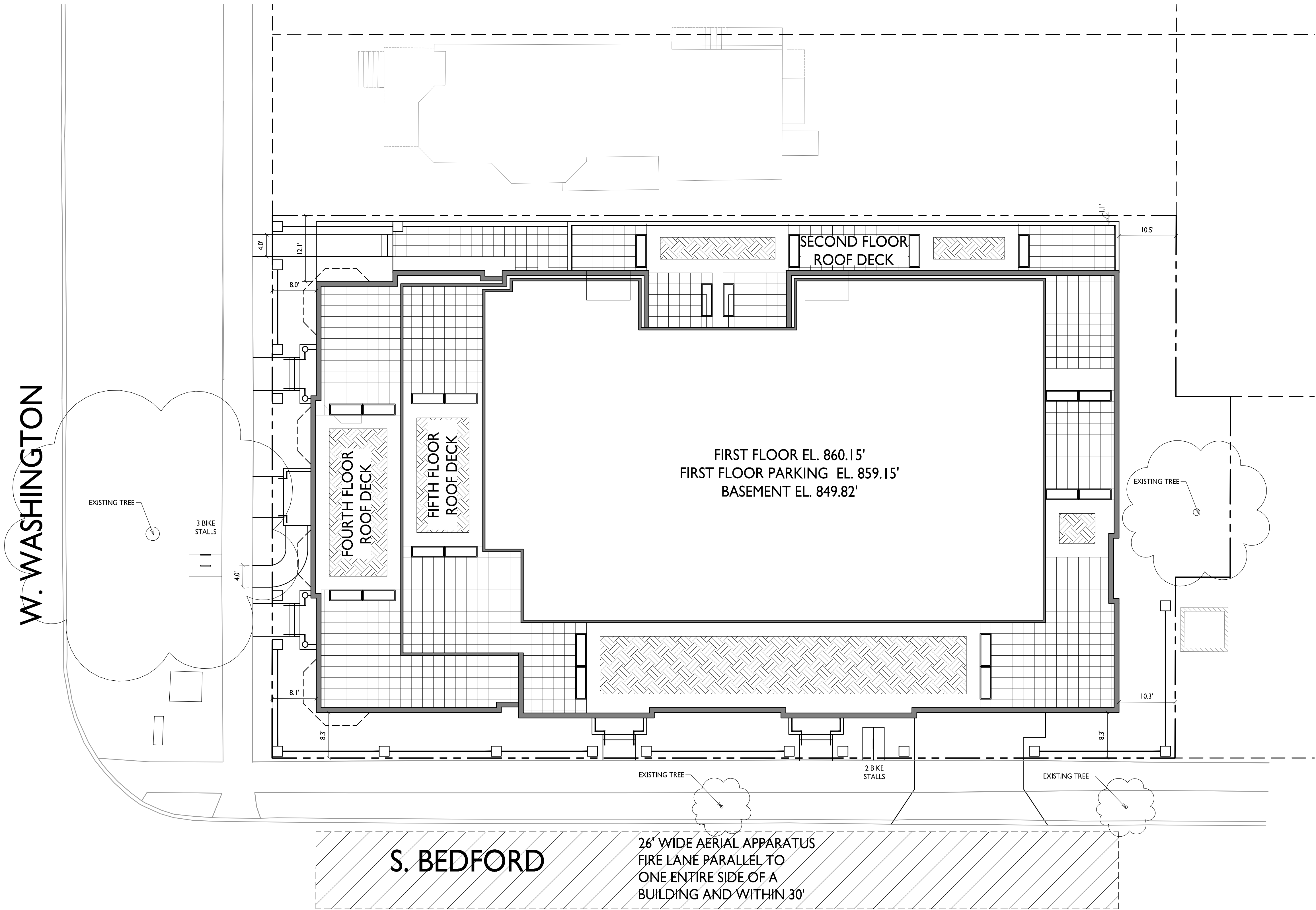
ISSUED
Issued for Land Use - June 20, 2018

PROJECT TITLE
BAXTER
West Washington
Development

555 W Washington Ave.
SHEET TITLE
**Fire Department
Access Plan**

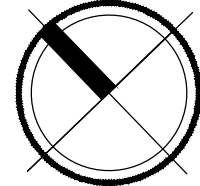
SHEET NUMBER

C-1.2
PROJECT NO. 1713
© Knothe & Bruce Architects, LLC

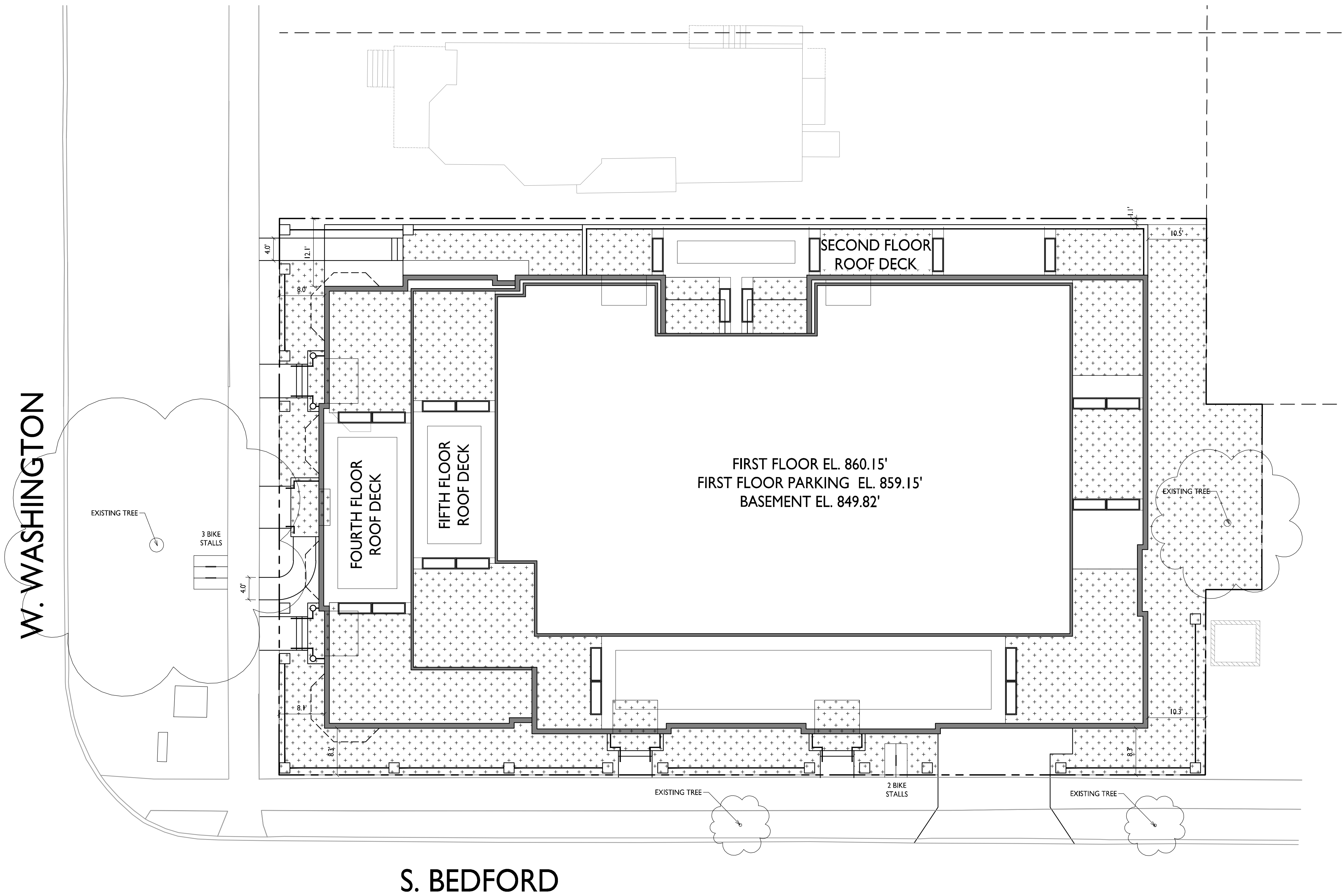


FIRE DEPARTMENT ACCESS PLAN

1" = 10'-0"



GRAPHIC SCALE
0 10 20 30
1 INCH = 10 FT (24X36 SHEET)



USABLE OPEN SPACE

ZONING: UMX

REQUIRED OPEN SPACE: 10 S.F. / BEDROOM

DWELLING UNITS: 45 BEDROOMS: 57

10 X 57 = 570 S.F. OPEN SPACE REQUIRED

OPEN SPACE PROVIDED:

BALCONIES/ROOF TERRACES: 3,719 S.F.

SURFACE: 2,629 S.F.

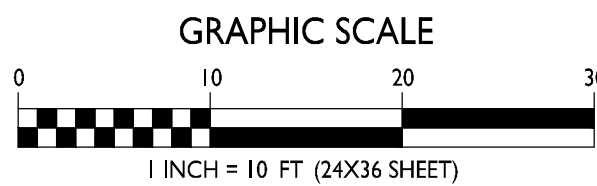
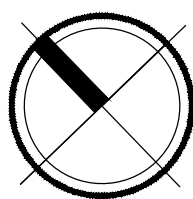
TOTAL: 6,348 S.F.

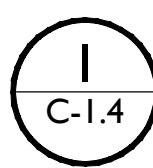
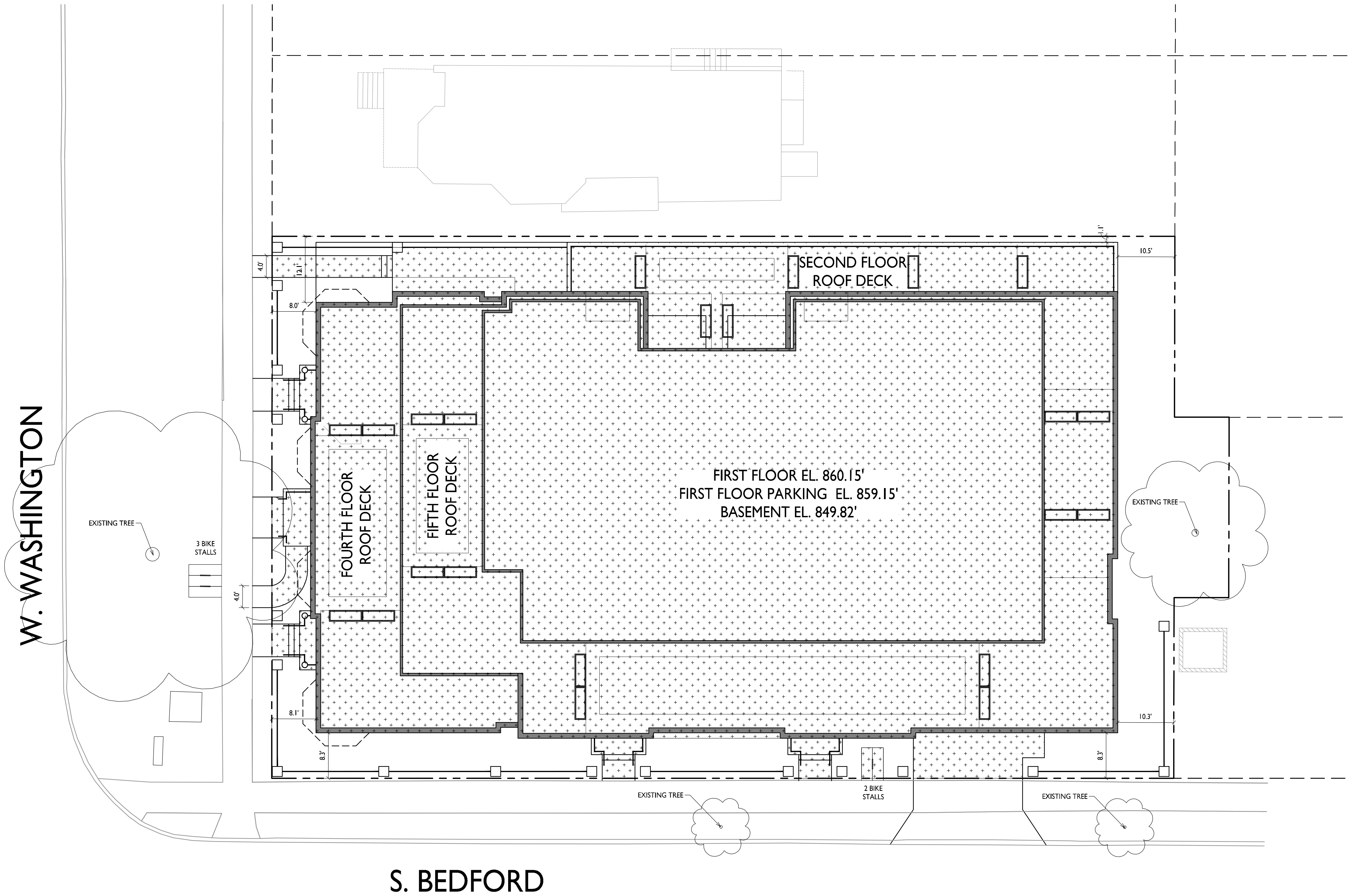
ISSUED
Issued for Land Use - June 20, 2018

PROJECT TITLE
BAXTER
West Washington
Development

555 W Washington Ave.
SHEET TITLE
**Usable Open
Space**

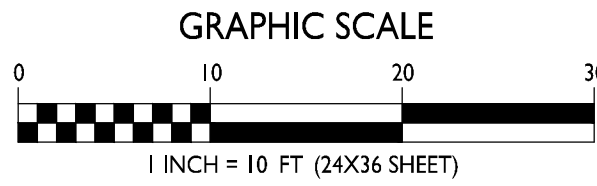
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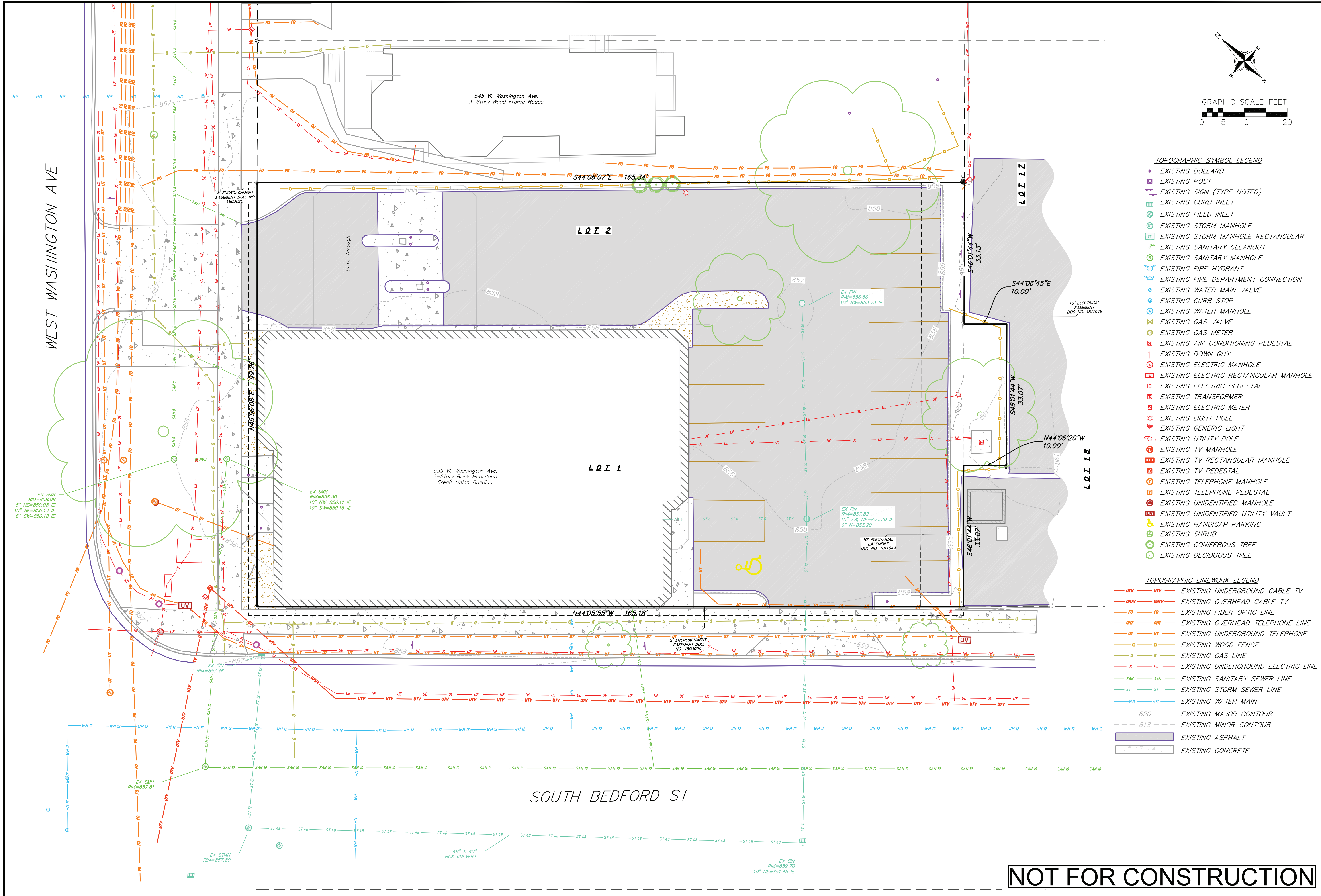




LOT COVERAGE

1" = 10'-0"





- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING BOLLARD
 - EXISTING POST
 - EXISTING SIGN (TYPE NOTED)
 - EXISTING CURB INLET
 - EXISTING FIELD INLET
 - EXISTING STORM MANHOLE
 - EXISTING STORM MANHOLE RECTANGULAR
 - EXISTING SANITARY CLEANOUT
 - EXISTING SANITARY MANHOLE
 - EXISTING FIRE HYDRANT
 - EXISTING FIRE DEPARTMENT CONNECTION
 - EXISTING WATER MAIN VALVE
 - EXISTING CURB STOP
 - EXISTING WATER MANHOLE
 - EXISTING GAS VALVE
 - EXISTING GAS METER
 - EXISTING AIR CONDITIONING PEDESTAL
 - EXISTING DOWN GUY
 - EXISTING ELECTRIC MANHOLE
 - EXISTING ELECTRIC RECTANGULAR MANHOLE
 - EXISTING ELECTRIC PEDESTAL
 - EXISTING TRANSFORMER
 - EXISTING ELECTRIC METER
 - EXISTING LIGHT POLE
 - EXISTING GENERIC LIGHT
 - EXISTING UTILITY POLE
 - EXISTING TV MANHOLE
 - EXISTING TV RECTANGULAR MANHOLE
 - EXISTING TV PEDESTAL
 - EXISTING TELEPHONE MANHOLE
 - EXISTING TELEPHONE PEDESTAL
 - EXISTING UNIDENTIFIED MANHOLE
 - EXISTING UNIDENTIFIED UTILITY VAULT
 - EXISTING HANDICAP PARKING
 - EXISTING SHRUB
 - EXISTING CONIFEROUS TREE
 - EXISTING DECIDUOUS TREE
- TOPOGRAPHIC LINEWORK LEGEND**
- EXISTING UNDERGROUND CABLE TV
 - EXISTING OVERHEAD CABLE TV
 - EXISTING FIBER OPTIC LINE
 - EXISTING OVERHEAD TELEPHONE LINE
 - EXISTING UNDERGROUND TELEPHONE
 - EXISTING WOOD FENCE
 - EXISTING GAS LINE
 - EXISTING UNDERGROUND ELECTRIC LINE
 - EXISTING SANITARY SEWER LINE
 - EXISTING STORM SEWER LINE
 - EXISTING WATER MAIN
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING ASPHALT
 - EXISTING CONCRETE

NOT FOR CONSTRUCTION

vierbicher
planners | engineers | advisors
Phone: (800) 261-3898

Existing Conditions
555 W. Washington Ave
City of Madison
Dane County, Wisconsin

REVISIONS	
NO.	DATE

REVISIONS	
NO.	DATE

SCALE
AS SHOWN

DATE
06/20/2018

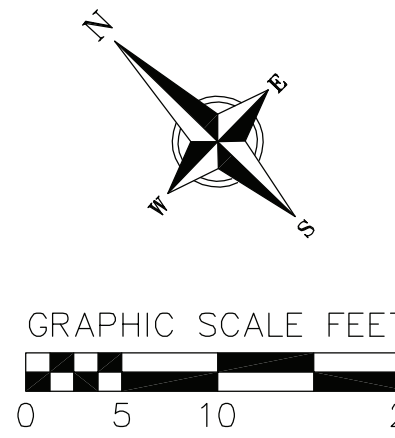
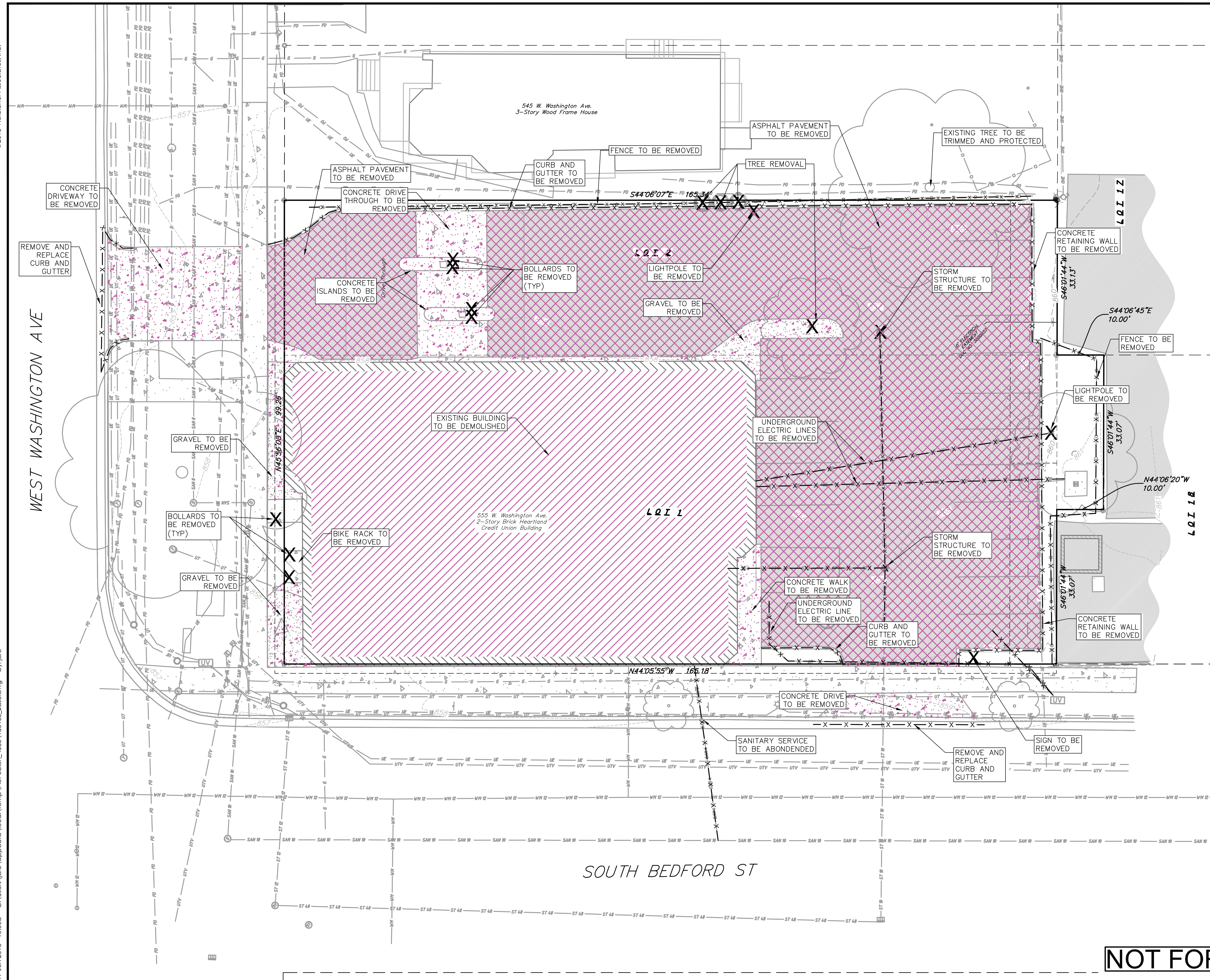
DRAFTER
JARC

CHECKED
JZAM









PROJECT NO.
180133

SHEET
1 OF 4

DWG. NO.
C-1.0



DEMOLITION PLAN LEGEND

- | | |
|---|---------------------------|
|  | CURB AND GUTTER REMOVAL |
|  | ASPHALT REMOVAL |
|  | CONCRETE REMOVAL |
|  | BUILDING REMOVAL |
|  | TREE REMOVAL |
|  | SAWCUT |
|  | UTILITY STRUCTURE REMOVAL |
|  | UTILITY LINE REMOVAL |

GENERAL NOTES:

1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
2. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
3. THESE DRAWINGS ASSUME THAT THE CONTRACTOR WILL UTILIZE AN ELECTRONIC DRAWING FILE AND STAKE ALL SITE IMPROVEMENTS ASSUME COORDINATES TIED INTO CONTROL POINTS. THE DIMENSIONS INDICATED ON THE DRAWINGS ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY.
4. PRIOR TO THE USE OF THESE DRAWINGS FOR CONSTRUCTION PURPOSES, THE USER SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF BUILDINGS WITH THE FOUNDATION DRAWINGS AND ARCHITECTURAL SITE PLAN. IF CONFLICTS EXIST THE USER OF THESE DRAWINGS SHALL CONTACT THE ENGINEER IMMEDIATELY.
5. CONTRACTOR TO MINIMIZE SITE DEMOLITION AND CONSTRUCTION RELATED DUST TO GREATEST EXTENT PRACTICAL AT ALL TIMES.

RIGHT-OF-WAY WORK:

1. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS NECESSARY TO SERVE THE PROJECT ARE TO BE COMPLETED PER THE CITY ISSUED PLANS.
2. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

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SCALE
AS SHOWN

DATE
06/20/2018

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PROJECT NO.
180133

SHEET

2 OF 4

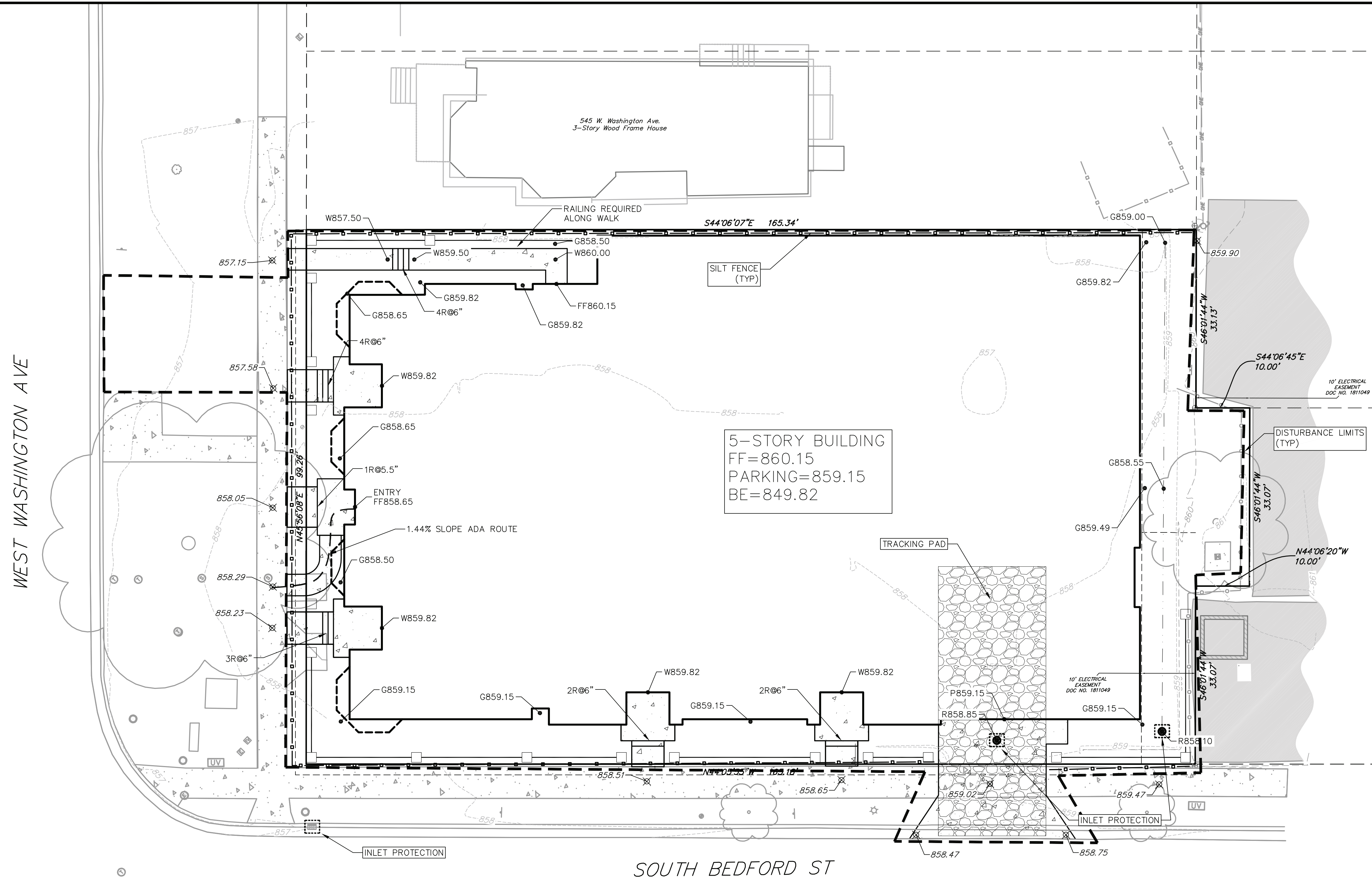
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planners | engineers | advisors
Phone: (800) 261-3898

Demolition Plan
555 W. Washington Ave
City of Madison
Dane County, Wisconsin

NOT FOR CONSTRUCTION



EROSION CONTROL NOTES:

1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
2. INSTALL A 50'L X 20'W X 1.5'D TRACKING PAD AT THE SITE ENTRANCE. THE TRACKING PAD SHALL BE MAINTAINED/REPAIRED AS NECESSARY TO ACCOMMODATE CONSTRUCTION.
3. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR. ALL MAINTENANCE/REPAIR WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
4. INSTALL WISDOT TYPE D INLET PROTECTION IN EXISTING CURB INLETS AND WISDOT TYPE A IN FIELD INLETS.
5. ANY DAMAGE TO THE CURB PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING.
6. THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT

ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE
END OF EACH WORK DAY OR MORE AS NEEDED.

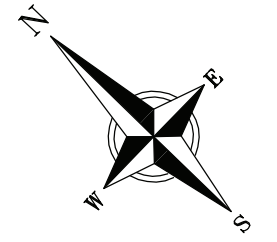
7. SEE DETAIL SHEETS FOR ADDITIONAL EROSION CONTROL NOTES.

RIGHT-OF-WAY WORK:

1. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS NECESSARY TO SERVE THE PROJECT ARE TO BE COMPLETED PER THE CITY ISSUED PLANS.
2. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

GRADING PLAN/SITE CONSTRUCTION NOTES:












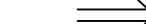
1. CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
2. CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, DRIVEWAY CONNECTION, RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
3. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
4. TYPICAL SIDEWALK CROSS SECTION IS 1.5% SLOPE. THIS APPLIES TO ALL WALKWAYS IN THIS PLAN UNLESS OTHERWISE NOTED.



GRAPHIC SCALE FEET

0 5 10 20

GRADING AND EROSION CONTROL LEGEND

- | | |
|---|--------------------------|
|  | EXISTING MAJOR CONTOURS |
|  | EXISTING MINOR CONTOURS |
|  | DITCH CENTERLINE |
|  | SILT FENCE/SILT SOCK |
|  | DISTURBED LIMITS |
|  | ADA ACCESSIBLE ROUTE |
|  | DRAINAGE DIRECTION |
|  | PROPOSED SLOPE ARROWS |
|  1048.61 | EXISTING SPOT ELEVATIONS |
|  1048.61 | PROPOSED SPOT ELEVATIONS |
|  | INLET PROTECTION |
|  | TRACKING PAD |

ABBREVIATIONS

- | | | |
|----|---|--------------------|
| TC | - | TOP OF CURB |
| P | - | PAVEMENT |
| W | - | TOP OF WALK |
| R | - | RISER |
| FF | - | FINISHED FLOOR |
| G | - | GROUND |
| FF | - | FINISHED FLOOR |
| BE | - | BASEMENT ELEVATION |
| R | - | RIM |

555 W. Washington Ave.

555 W. Washington Ave
City of Madison
Dane County, Wisconsin

NO.		DATE		REMARKS	

AS SHOWN

06/20/2018

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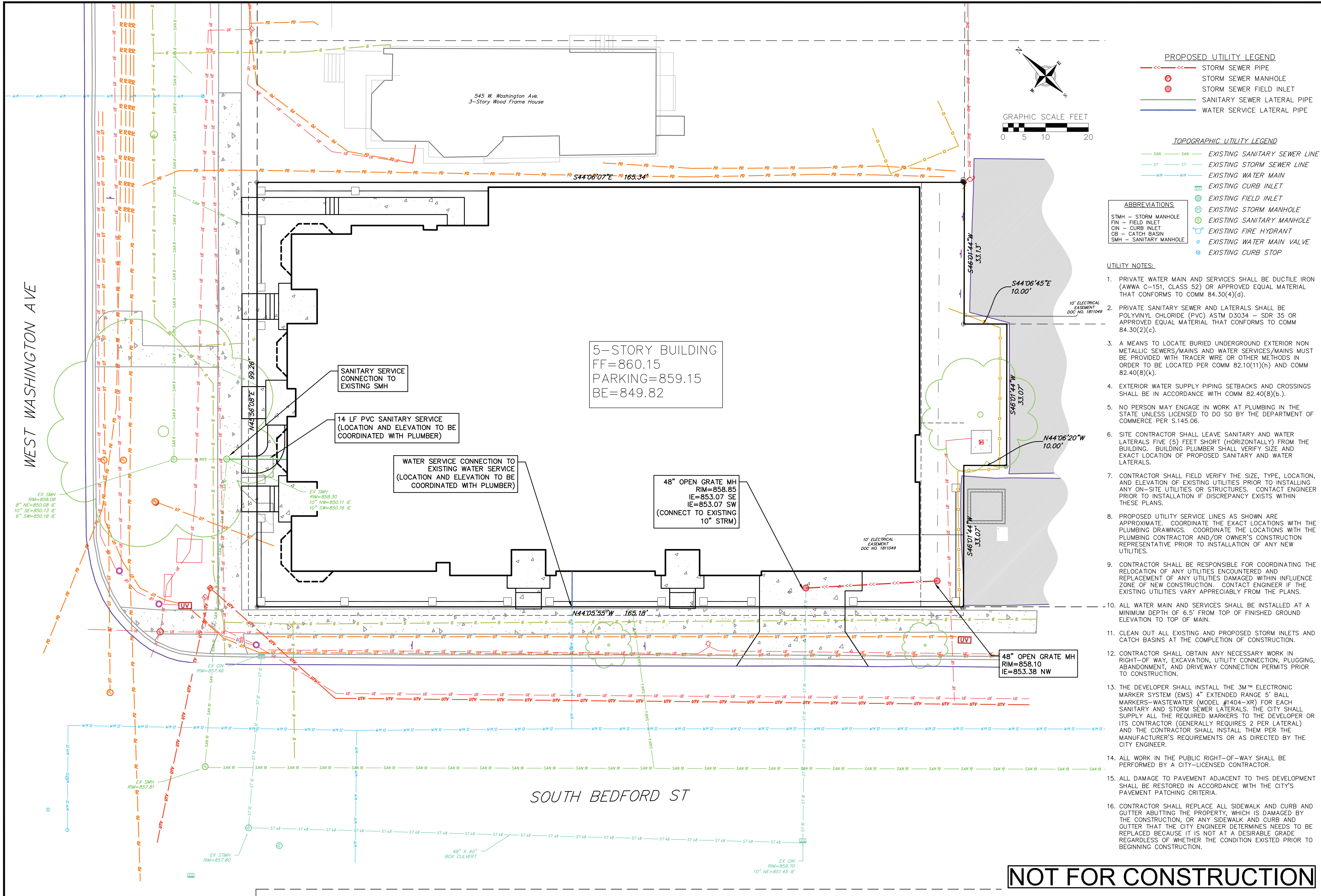
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3 OF 4

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Utility Plan

555 W. Washington Ave
City of Madison
Dane County, Wisconsin

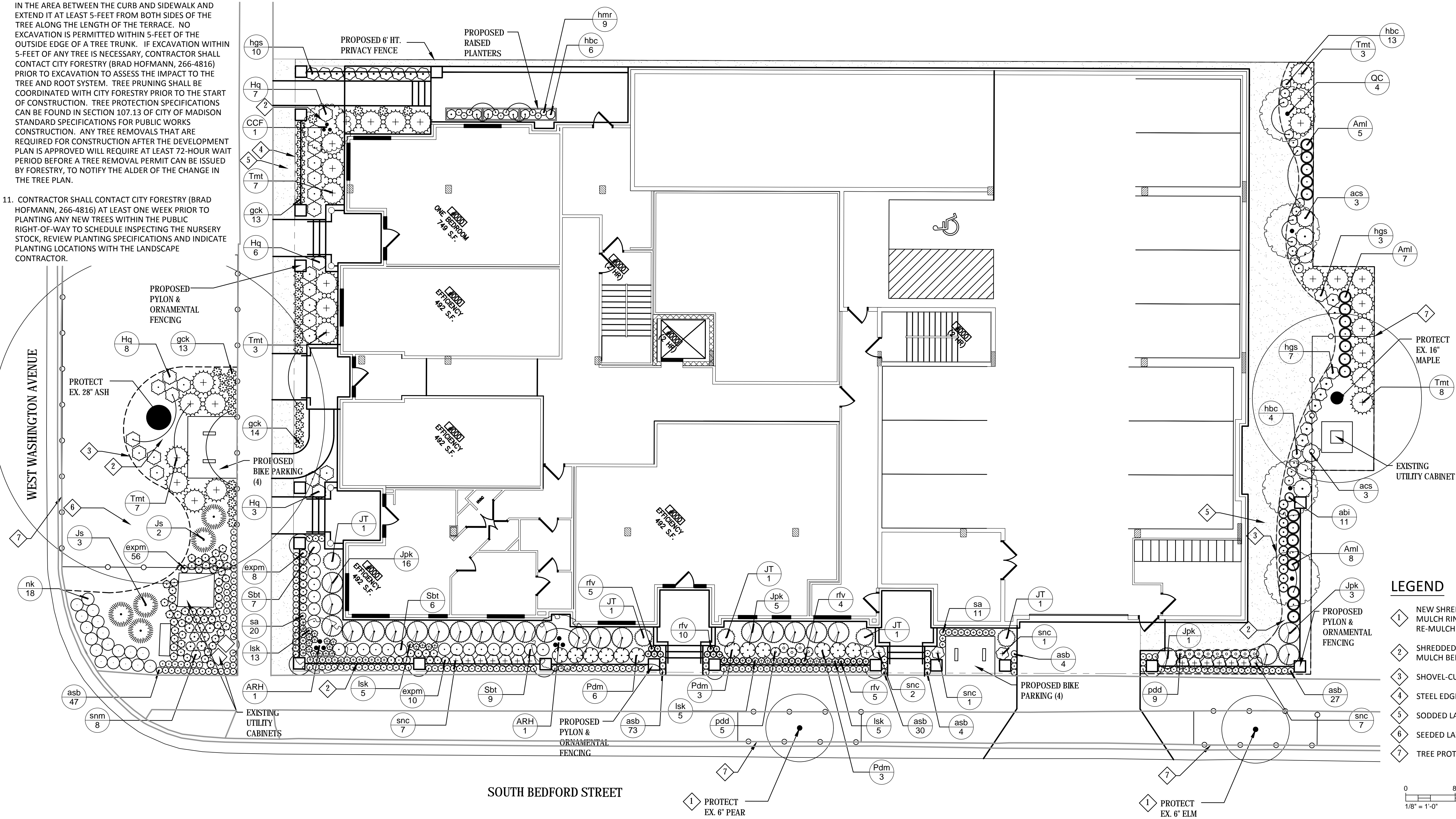
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REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

SCALE AS SHOWN	
DATE	06/20/2018
DRAFTER	JARC
CHECKED	JZAM
PROJECT NO.	180133
SHEET	4 OF 4
DWG. NO.	C-4.0

NOTES

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
2. CONTRACTOR SHALL PROTECT BENCHMARKS.
3. ALL TREES SHOWN TO BE RETAINED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED DURING CONSTRUCTION WITH TREE PROTECTION FENCING. ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO ANY SITE WORK. PERFORM ALL WORK IN THE RIGHT-OF-WAY IN ACCORDANCE WITH CITY OF MADISON STANDARD 107.13 "TREE PROTECTION SPECIFICATION".
4. ALL EXISTING PLANT MATERIAL IS SHOWN AT EXISTING, APPROXIMATED SIZE PER CITY OF MADISON STANDARDS.
5. ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
6. ALL LAWN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE RE-SEEDED AT NO COST TO OWNER.
7. CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL.
8. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR PER CITY STANDARD SPECIFICATIONS.
9. CONTRACTOR SHALL OBTAIN PERMIT TO EXCAVATE IN THE PUBLIC RIGHT-OF-WAY.
10. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5-FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5-FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5-FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (BRAD HOFMANN, 266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST 72-HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.
11. CONTRACTOR SHALL CONTACT CITY FORESTRY (BRAD HOFMANN, 266-4816) AT LEAST ONE WEEK PRIOR TO PLANTING ANY NEW TREES WITHIN THE PUBLIC RIGHT-OF-WAY TO SCHEDULE INSPECTING THE NURSERY STOCK, REVIEW PLANTING SPECIFICATIONS AND INDICATE PLANTING LOCATIONS WITH THE LANDSCAPE CONTRACTOR.



555 West Washington

Madison, WI

20-Jun-18

Downtown & Urban Districts: Urban Mixed-Use (UMX) Zoning

Developed Lots		SF	Acres	Landscape Points Subtotal
Total Developed Area (Lot - Building Area)		4,113	0.09	
Landscape Points (5 pts/300 SF for first 5 acres, 1 pt/100 SF for additional)				69
		Landscape Points Required		69

Development Frontage - West Washington Avenue		LF	Overstory Trees Required *	Shrubs Required
Total LF of Street Frontage Between Parking/Building & Street		82	3	14

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35			0
Tall Evergreen Tree	35			0
Ornamental Tree	15	1		15
Upright Evergreen Shrub	10	1		10
Shrub, deciduous	3	23		69
Shrub, evergreen	4	9		36
Ornamental Grass/Perennial	2	68		136
Development Frontage Points Total				266

Development Frontage - South Bedford Street				
LF		Overstory Trees Required *	Shrubs Required	
Total LF of Street Frontage				
Between Parking/Building & Street		148	5	

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35			0
Tall Evergreen Tree	35			0
Ornamental Tree	15	2		30
Upright Evergreen Shrub	10	4		40
Shrub, deciduous	3	27		81
Shrub, evergreen	4	22		88
Ornamental Grass/Perennial	2	230		460
Development Frontage Points Total				699

General Site, Foundation, Screening				
Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Existing Overstory Deciduous Tree (caliper " at DBH)	14		1	14
Overstory Deciduous Tree	35		4	140
Tall Evergreen Tree	35			0
Ornamental Tree	15			0
Upright Evergreen Shrub	10			0
Shrub, deciduous	3	21		63
Shrub, evergreen	4	18		72
Ornamental Grass/Perennial	2	72		144
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4	20.5		82
Foundation Plantings Total				597
TOTAL LANDSCAPE POINTS				1472

* In cases where development frontage landscaping cannot be provided due to site constraints, the zoning administrator may waive the requirement or substitute alternative screening methods for the required landscaping.

PLANT LIST						
Key	Botanical Name	Common Name	Quantity	Size	Spec	Comments
Deciduous Trees						
ARH	Amelanchier x grandiflora 'Robin Hill'	Robin Hill Serviceberry	2	2" Cal.	B&B	Upright multi-stem
CCF	Carpinus caroliniana 'I.N. Upright'	Firespire Muscledod	1	2" Cal.	B&B	Upright multi-stem
QC	Quercus robur 'Crimschmidt'	Crimson Spire English Oak	4	2" Cal.	B&B	Single, straight leader
Evergreen Trees						
JT	Juniperus chinensis 'Trautman'	Trautman Juniper	5	5' ht.	B&B	
Deciduous Shrubs						
Aml	Aronia melanocarpa Low Scape Mound	Low Scape Mound Aronia	20	2 Gal.	Cont.	Space 2'-0" o.c.
Hq	Hydrangea quercifolia 'Pee Wee'	Oakleaf Hydrangea	24	2 Gal.	Cont.	Space 2.5'-0" o.c.
Pdm	Physocarpus opulifolius 'Donna May'	Little Devil Ninebark	12	2 Gal.	Cont.	Space 2.5'-0" o.c.
Sbt	Spiraea betulifolia 'Tor'	Birchleaf Spirea	22	2 Gal.	Cont.	Space 2'-0" o.c.
Evergreen Shrubs						
Jpk	Juniperus chinensis 'Pfritzeriana Kallay'	Kallays Compact Pfritzer Juniper	25	2 Gal.	Cont.	Space 3.5'-0" o.c.
Js	Juniperus sabina 'Buffalo'	Buffalo Juniper	5	2 Gal.	Cont.	Space 4'-0" o.c.
Tmt	Taxus x media 'Tauntoni'	Tauntun Yew	28	2 Gal.	Cont.	Space 4'-0" o.c.
Perennials/Grasses/Groundcovers						
asb	Allium tanguticum 'Summer Beauty'	Summer Beauty Allium	185	4-inch	Pot	Space 1'-0" o.c.
abi	Amsonia tabernaemontana 'Blue Ice'	Blue Ice Blue Star	11	4-inch	Pot	Space 1.5'-0" o.c.
acs	Aralis cordata 'Sun King'	Sun King Aralia	6	2 Gal.	Cont.	Space 3'-0" o.c.
expm	Echinacea x 'Pixie Meadowbrite'	Pixie Meadowbrite Purple Coneflower	74	4-inch	Pot	Space 1.5'-0" o.c.
gck	Geranium x cantabrigiense 'Karmina'	Biokovo Cranesbill	40	4-inch	Pot	Space 1.5'-0" o.c.
hmr	Heuchera x 'Midnight Rose'	Coral Bells	9	4-inch	Pot	Space 1'-0" o.c.
hbc	Hosta x 'Blue Cadet'	Plantain Lily	23	4-inch	Pot	Space 1.5'-0" o.c.
hgs	Hosta x 'Gold Standard'	Gold Standard Plantain Lily	20	4-inch	Pot	Space 2'-0" o.c.
lsk	Liatis spicata 'Kobold'	Kobold Spike Gayfeather	28	4-inch	Pot	Space 1'-0" o.c.
nk	Nepeta x faassenii 'Kit Kat'	Kit Kat Catmint	18	4-inch	Pot	Space 2'-0" o.c.
pdd	Penstemon digitalis 'Dark Towers'	Beard-tongue	14	4-inch	Pot	Space 1.5'-0" o.c.
rvf	Rudbeckia fulgida speciosa 'Vitte's Little Sun'	Black-Eyed Susan	24	4-inch	Pot	Space 1'-0" o.c.
snc	Salvia nemorosa 'Caradonna'	Caradonna Sage	18	4-inch	Pot	Space 1.5'-0" o.c.
snm	Salvia nemorosa 'Marcus'	Woodland Sage	8	4-inch	Pot	Space 1.5'-0" o.c.
sa	Sesleria autumnalis	Autumn Moor Grass	31	1 Gal.	Cont.	Space 1'-0" o.c.



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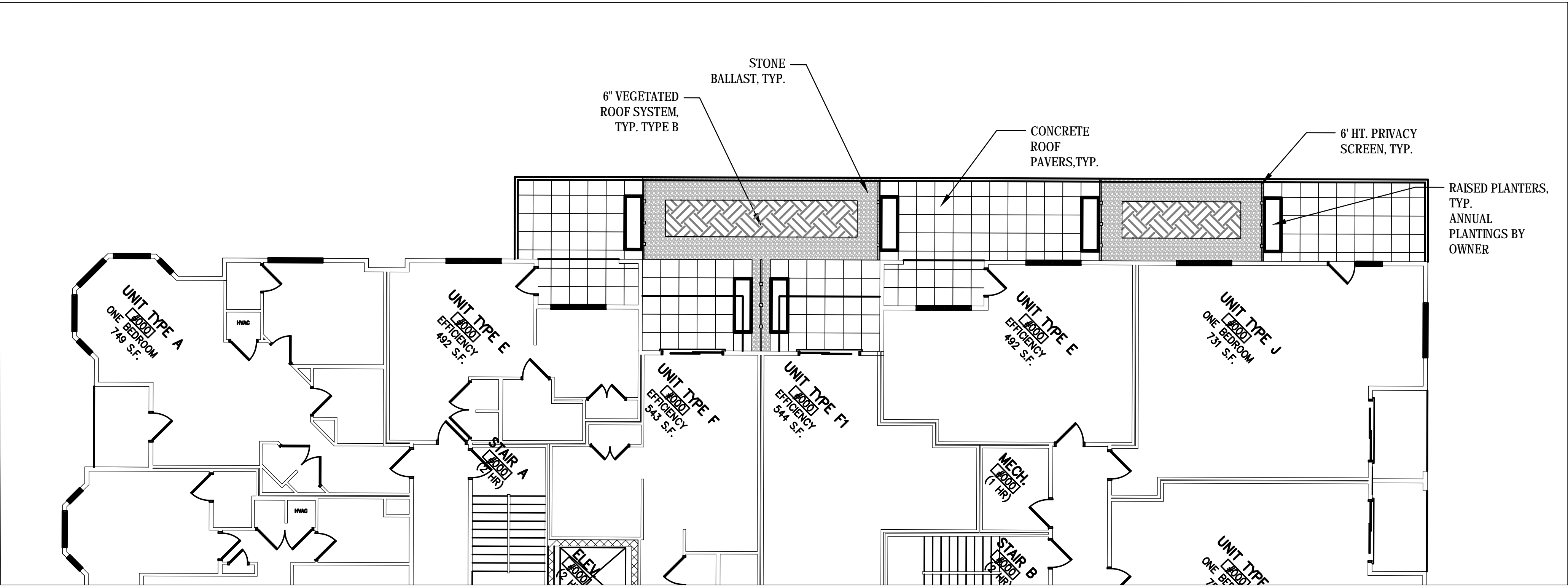
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West
Washington
Development

555 W
Washington Ave.
SHEET TITLE
Landscape
Plan

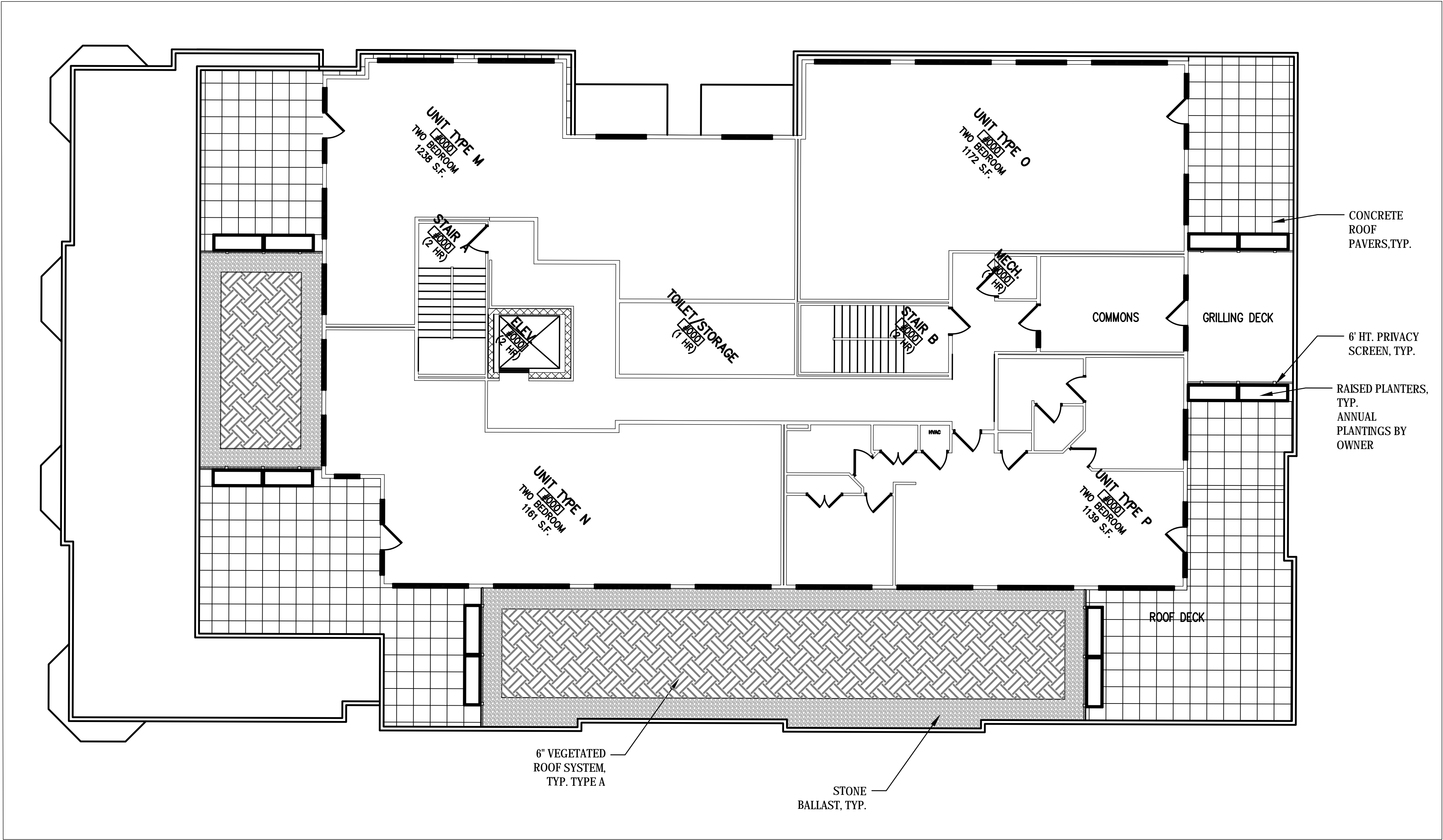
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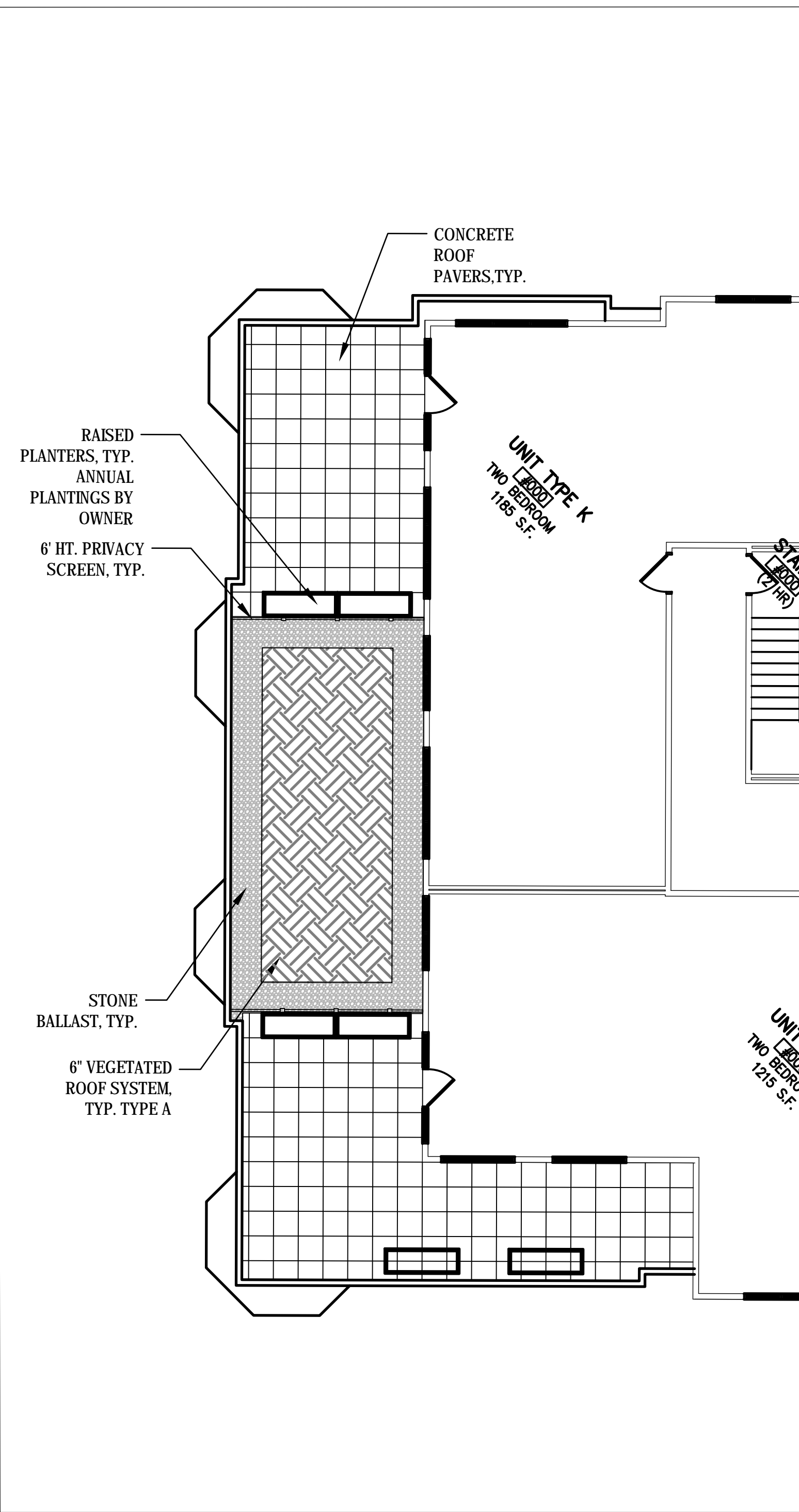
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SECOND FLOOR TERRACE

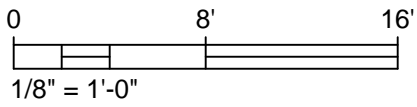


FIFTH FLOOR TERRACE



FOURTH FLOOR TERRACE

Type A: Propagated Sedum Tray 'Tough Extreme Mix' by Liveroof or approved equal. Interplant with 2.5" perennial plugs.	
Perennial Plugs	
Allium tanguticum 'Summer Beauty'	Summer Beauty Allium
Calamintha nepeta 'Montrose White'	Montrose White Calamint
Sedum kamtschaticum 'Takahira Dake'	Takahira Dake Stonecrop
Sedum spectabilie 'Neon'	Neon Stonecrop
Sesleria autumnalis	Autumn Moor Grass
Type B: Propagated Sedum Tray 'Shade Serene Mix' by Liveroof or approved equal. Interplant with 2.5" perennial plugs.	
Perennial Plugs	
Geranium maculatum	Wild Geranium
Heuchera villosa var. atropurpurea	Maple-leaved Alum Root
Smilacina racemosa	False Solomon's Seal
Dryopteris marginalis	Leatherleaf Woodfern
Tiarella cordifolia	Foamflower



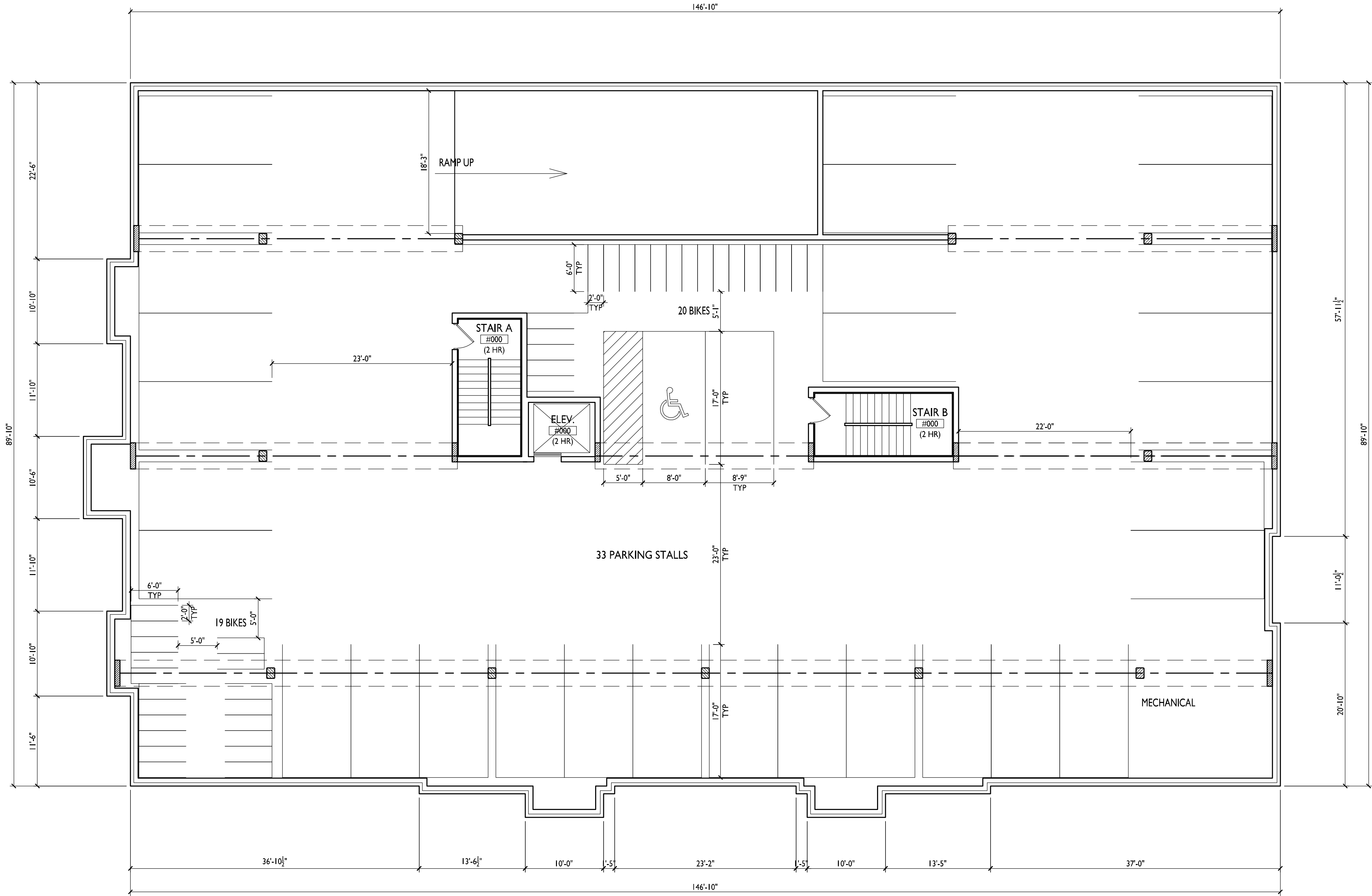
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SHEET TITLE
Basement Plan

SHEET NUMBER

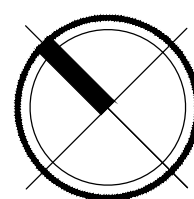
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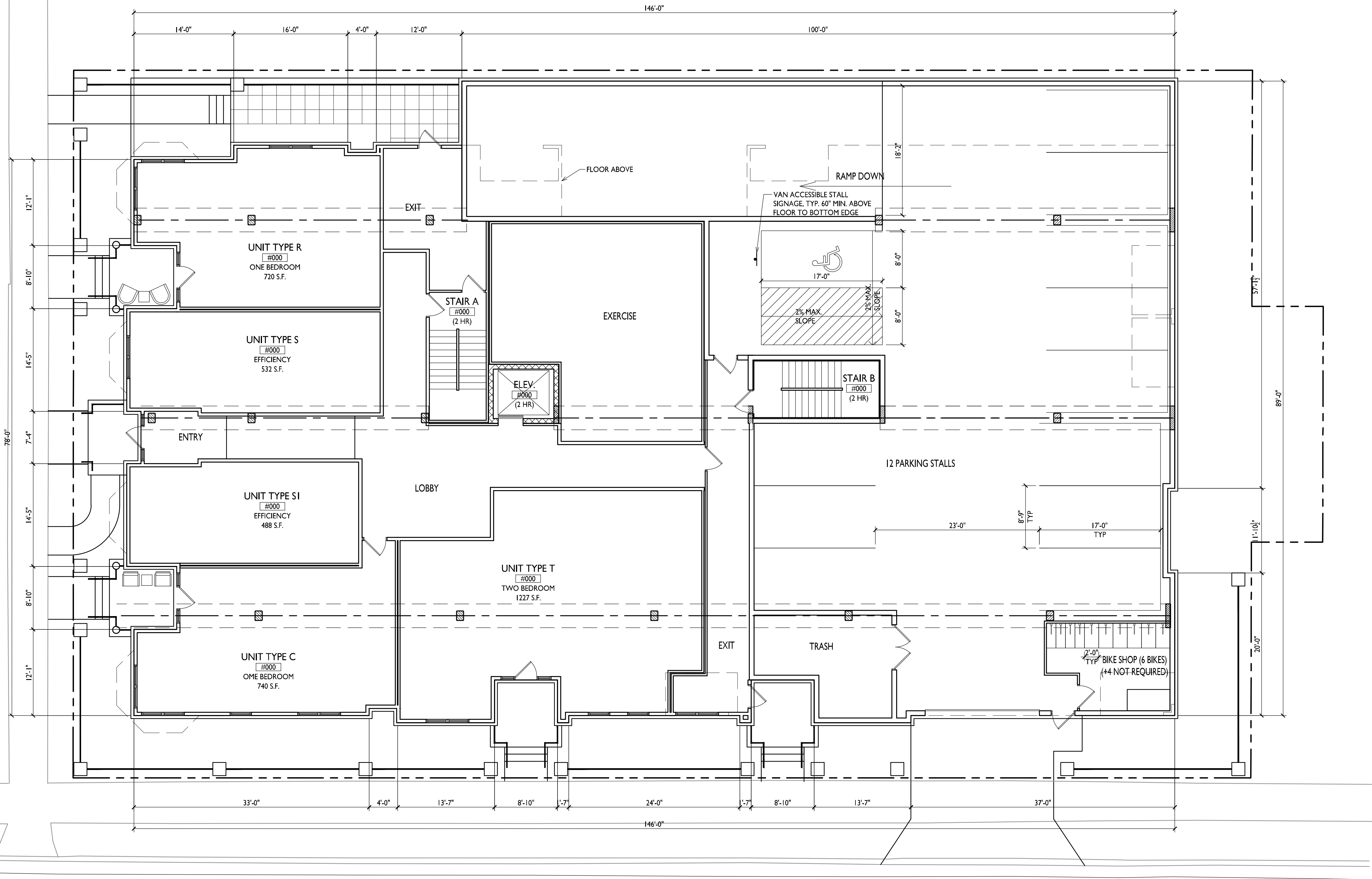
BASEMENT PLAN

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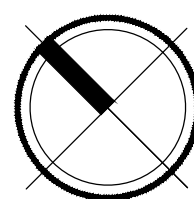


W. WASHINGTON

S. BEDFORD



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1/8"=1'-0"



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PROJECT TITLE
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555 W Washington Ave.
SHEET TITLE
First Floor Plan

SHEET NUMBER

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Second Floor Plan

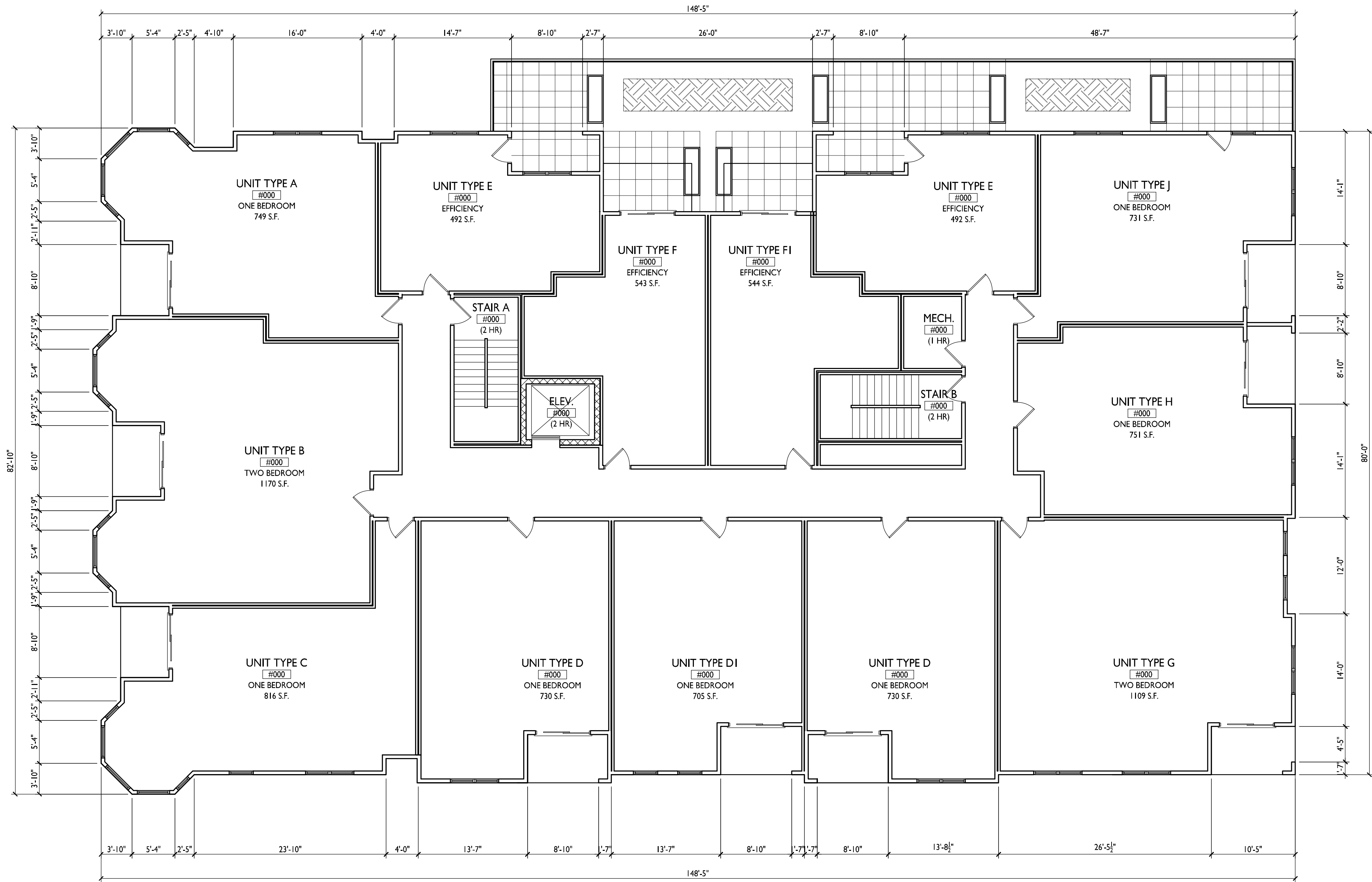
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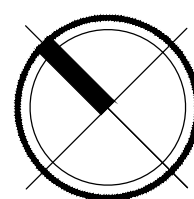
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1/8"=1'-0"

SECOND FLOOR PLAN





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SHEET TITLE

Third Floor Plan

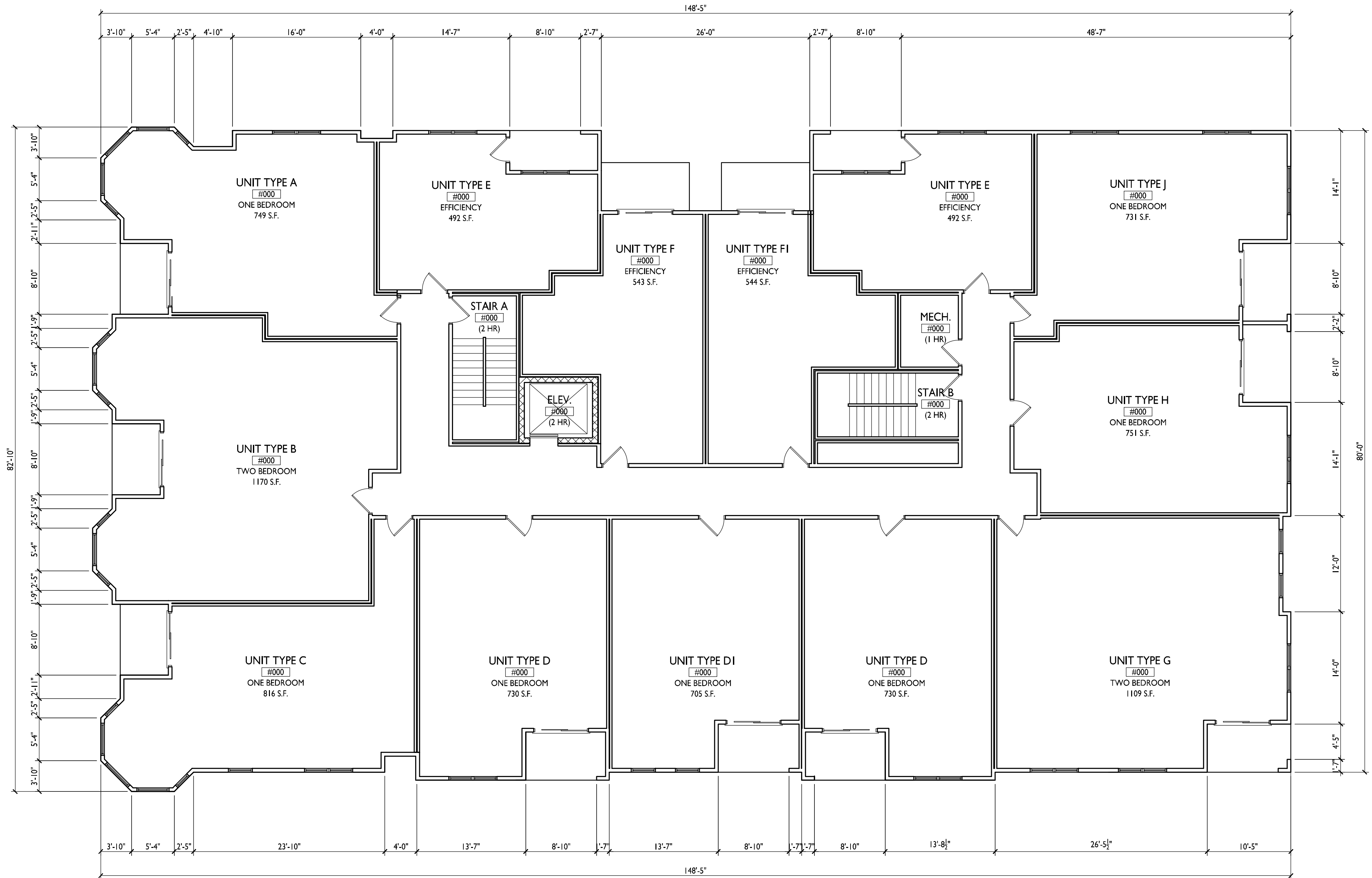
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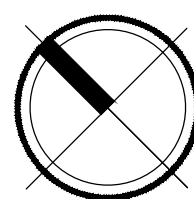
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THIRD FLOOR PLAN
1/8"=1'-0"





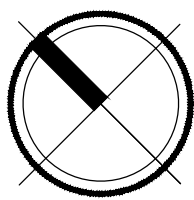
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PROJECT TITLE
BAXTER
West Washington
Development

555 W Washington Ave.
SHEET TITLE
Fourth Floor Plan

SHEET NUMBER

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FOURTH FLOOR PLAN
1/8"=1'-0"



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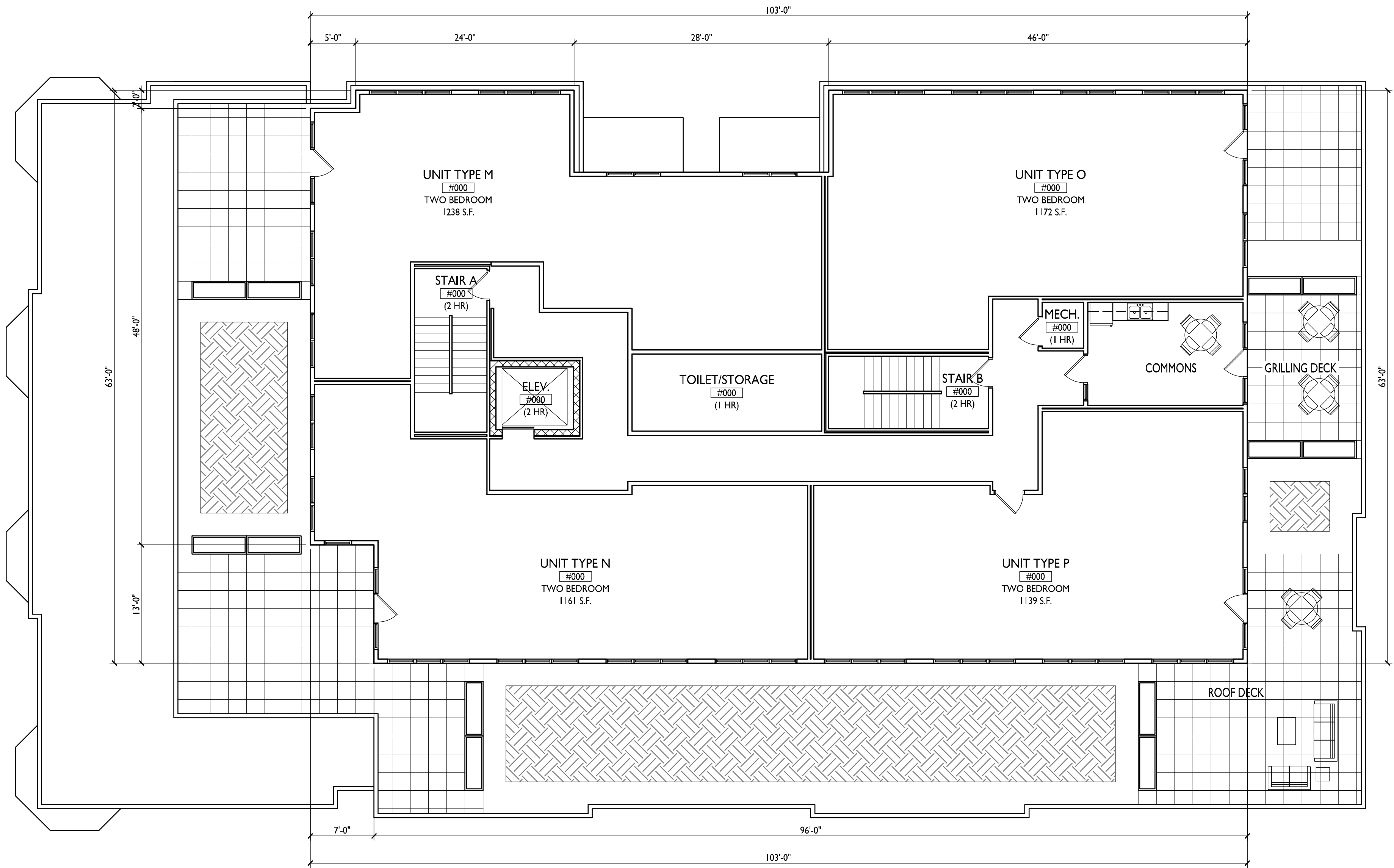
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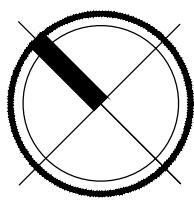
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Fifth Floor Plan

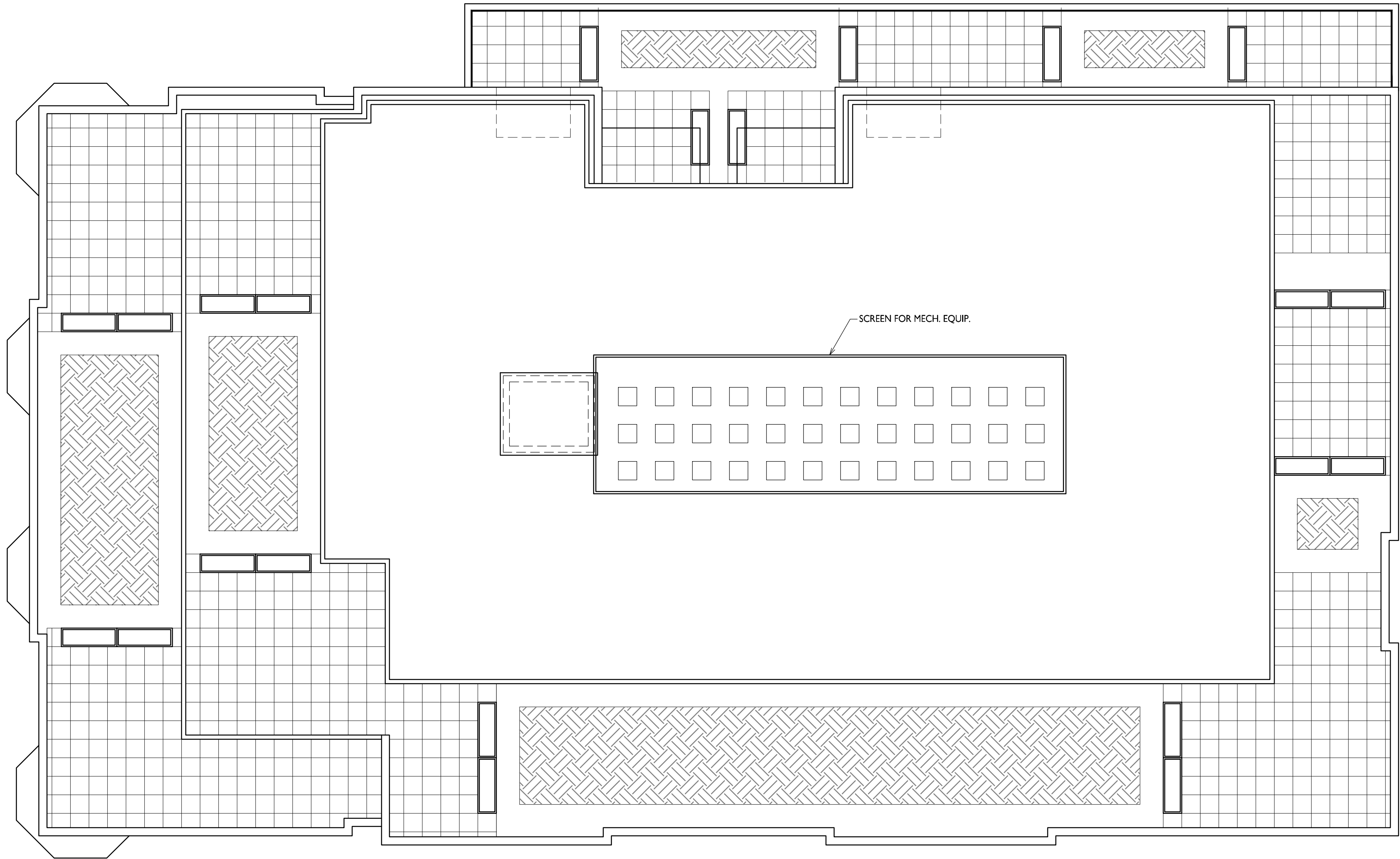
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I FIFTH FLOOR PLAN
A-1.5 1/8"=1'-0"



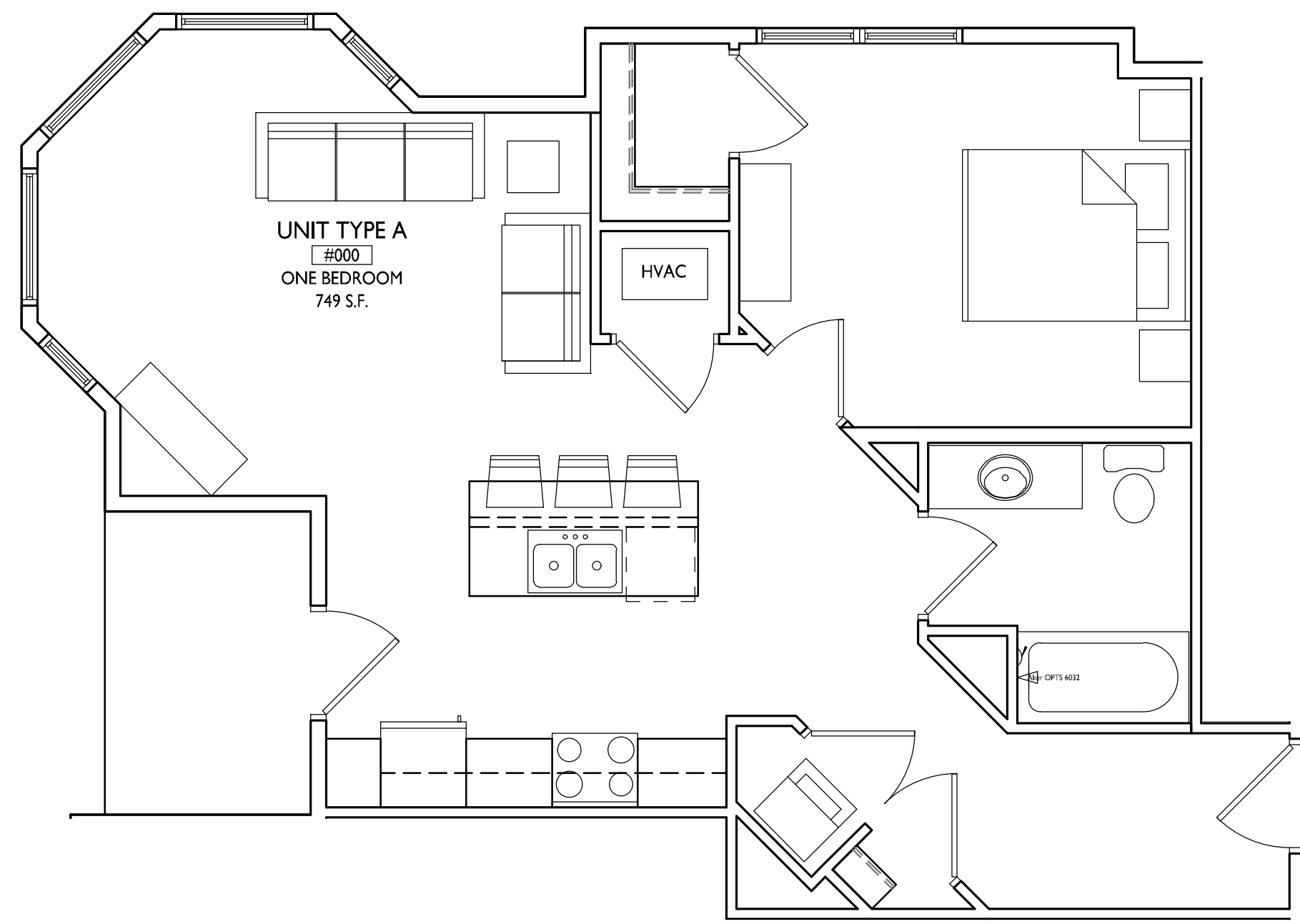


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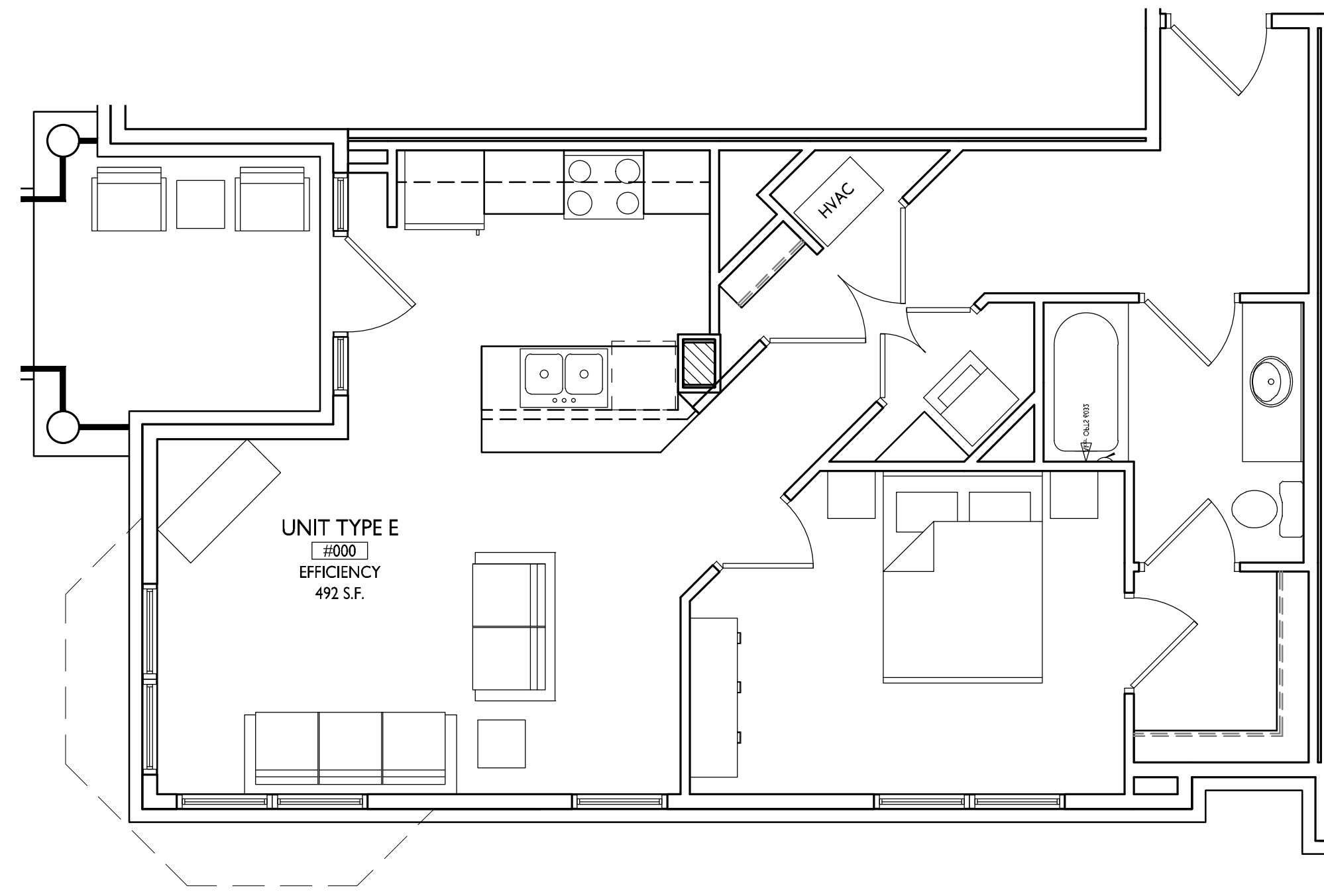
PROJECT TITLE
BAXTER
West Washington
Development

555 W Washington Ave.
SHEET TITLE
Roof Plan

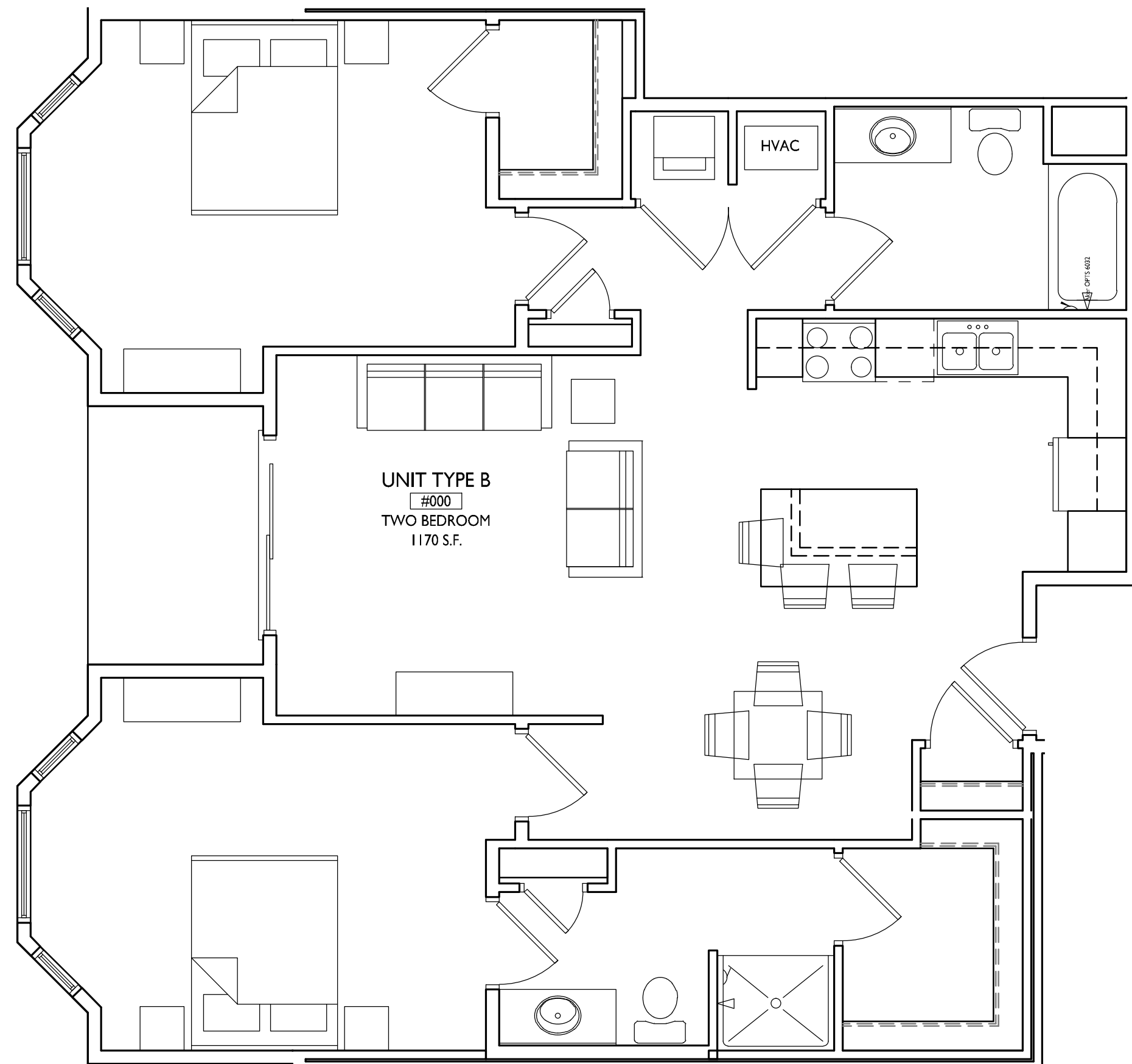
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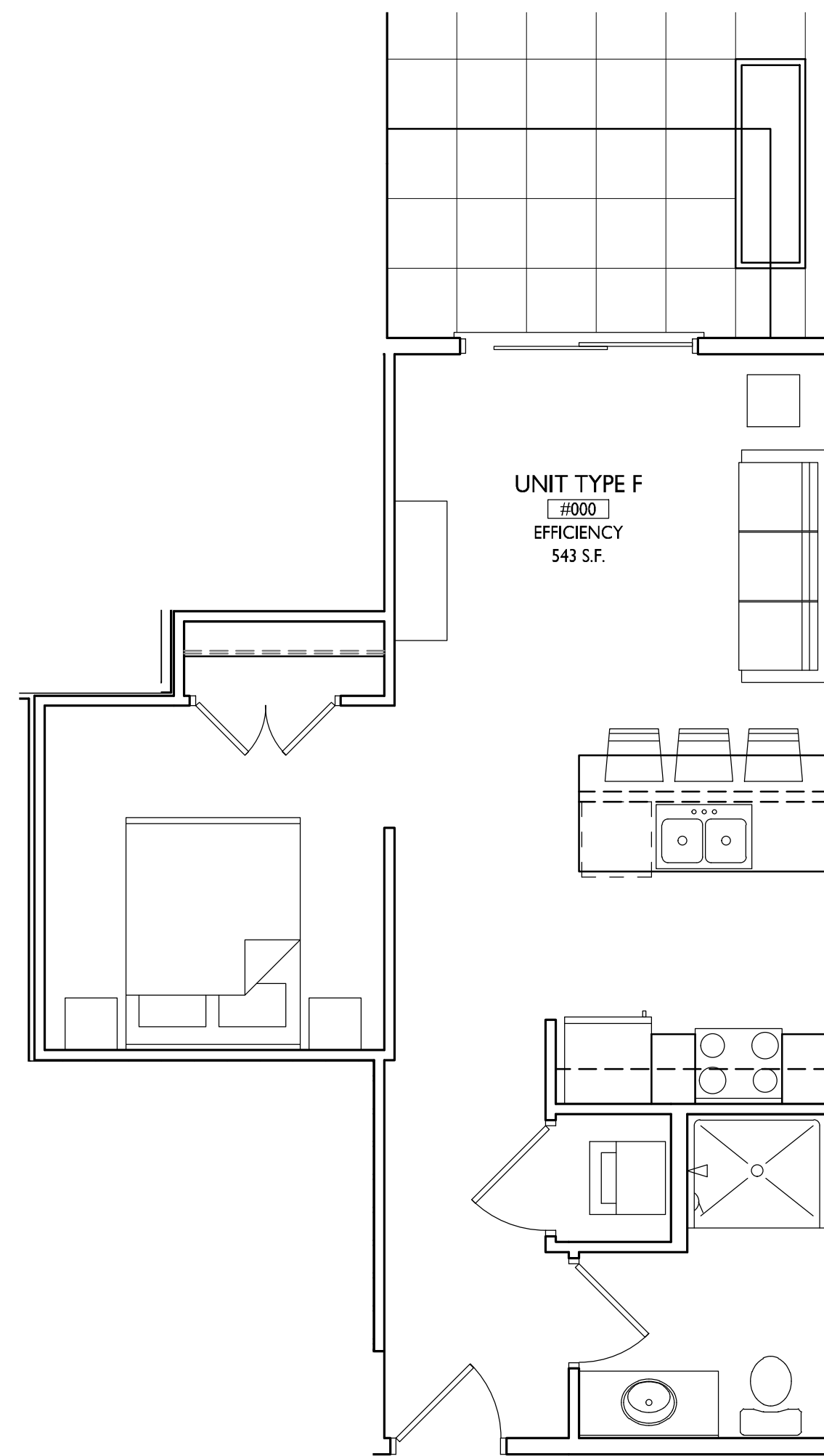
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UNIT TYPE A
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749 S.F.
1/4"=1'-0"



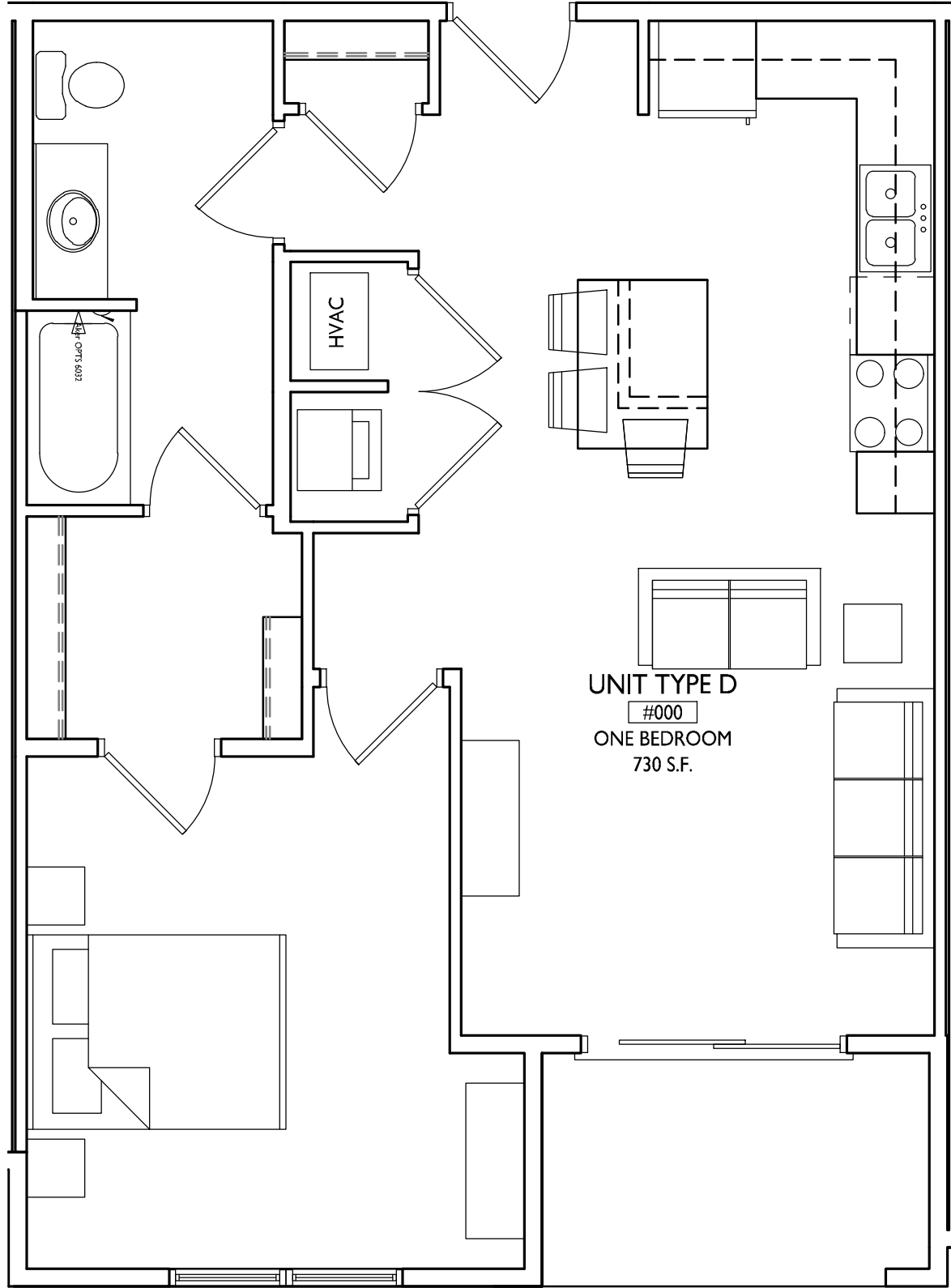
3
A-5.1
UNIT TYPE E
EFFICIENCY
492 S.F.
1/4"=1'-0"



2
A-5.1
UNIT TYPE B
TWO BEDROOM
1170 S.F.
1/4"=1'-0"



1
A-5.1
UNIT TYPE F
EFFICIENCY
543 S.F.
1/4"=1'-0"

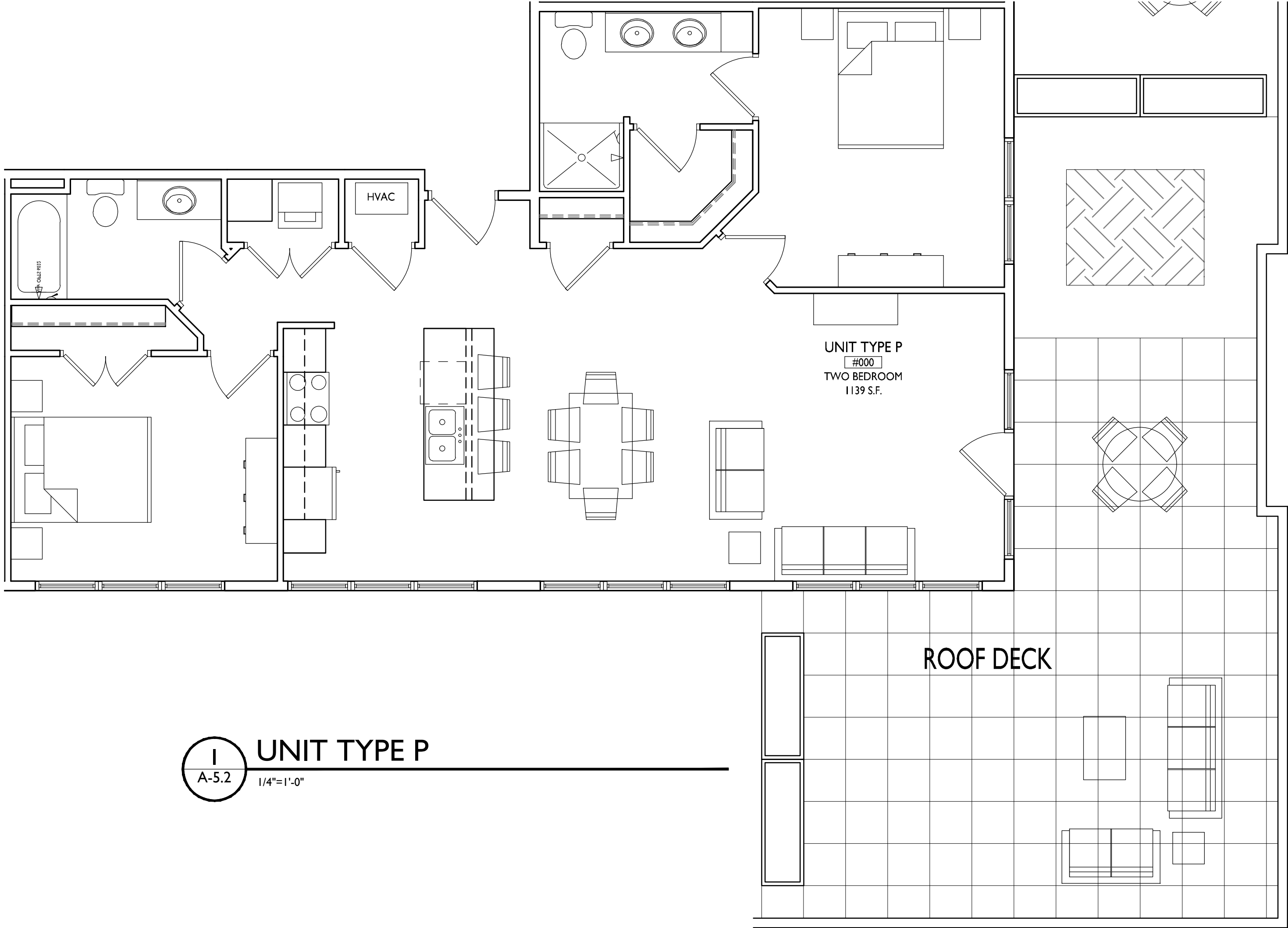


2

UNIT TYPE D

A-5.2

1/4"=1'-0"



1

UNIT TYPE P

A-5.2

1/4"=1'-0"

ISSUED
Issued for Land Use - June 20, 2018

PROJECT TITLE
BAXTER
West Washington
Development

555 W Washington Ave.
SHEET TITLE
Typical Unit Plans

SHEET NUMBER

A-5.2
PROJECT NO. 1713
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ISSUED
Issued for Land
Use - June 20,
2018

PROJECT TITLE

SHEET TITLE
Exterior
Elevations

SHEET NUMBER

A-2.1

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ROOFTOP SCREENING SYSTEM



1
A-2.1
NorthEast
1/16" = 1'-0"



2
A-2.1
NorthWest
1/16" = 1'-0"



2
A-2.2 SouthWest
1/16" = 1'-0"



1
A-2.2 SouthEast
1/16" = 1'-0"

ISSUED

Issued For Land
Use - June 20,
2018

PROJECT TITLE

SHEET TITLE

Exterior
Elevations

SHEET NUMBER

A-2.2

PROJECT NUMBER 1713

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555 West Washington
June 20, 2018



555 West Washington
June 20, 2018



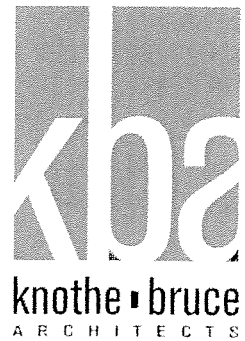
555 West Washington
June 20, 2018



555 West Washington
June 20, 2018



555 West Washington
June 20, 2018



July 2, 2018

Ms. Janine Glaeser
Urban Design Committee
City of Madison
146 S. Hamilton Street
PO Box 2985
Madison, Wisconsin 53701

Re: Letter of Intent
555 W. Washington Ave.
KBA Project #1713

Ms. Janine Glaeser:

The exterior lighting will be a combination of wall sconces and downlights. We are required to provide illumination at each exit door to light the exit pathway. The main entry will have a recessed downlight and each balcony/patio will have a wall sconce light fixture. The exact light fixtures are yet to be determined.

Sincerely,

Kevin Burow, AIA



1

A-2.1

NORTHEAST ELEVATION

1/8"=1'-0"



2

A-2.1

NORTHWEST ELEVATION
ALONG WEST WASHINGTON

1/8"=1'-0"

EXTERIOR MATERIAL SCHEDULE	
BRICK	BRAMPTON - MORGAN - QUEEN SIZE
STONE MASONRY	CORDOVA - BUFF
PANELS & TRIM	COMPOSITE SIDING - DARK BRONZE
WINDOWS	FIBREX - DARK BRONZE
RAILING	ALUMINUM - DARK BRONZE
FACIA	ALUMINUM - MATCH TRIM

PROJECT TITLE

555 W Washington Ave.

SHEET TITLE

Exterior
Elevations

SHEET NUMBER

A-2.1

PROJECT NO.

1713

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TYPICAL MATERIALS



2
A-2.2
1/8"=1'-0"

SOUTHWEST ELEVATION
ALONG SOUTH BEDFORD STREET

TYPICAL MATERIALS



1
A-2.2
1/8"=1'-0"

SOUTHEAST ELEVATION

EXTERIOR MATERIAL SCHEDULE	
BRICK	BRAMPTON - MORGAN - QUEEN SIZE
STONE MASONRY	CORDOVA - BUFF
PANELS & TRIM	COMPOSITE SIDING - DARK BRONZE
WINDOWS	FIBREX - DARK BRONZE
RAILING	ALUMINUM - DARK BRONZE
FACIA	ALUMINUM - MATCH TRIM

ISSUED
Issued for Review - June 1, 2018
Issued for UDC Supplement - July 2, 2018

PROJECT TITLE
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555 W Washington Ave.
SHEET TITLE
Exterior
Elevations

SHEET NUMBER