

FIRST AND EAST WASHINGTON

SITE PHOTO - VICINITY MAP

MAP

FIRST AND EAST WASHINGTON

MADISON, WISCONSIN



PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction without purpose.

LAND USE APPLICATION

MAY 19, 2021



JLA
ARCHITECTS

JLA PROJECT NUMBER: 19-0802

[illegible]

VIEW NUMBER
19 **TITLE** **VIEW NAME**
 1/2" = 1' - 0" **VIEW SCALE**

DETAIL CALLOUT
 DETAIL 100

SECTION CALLOUT
 SECTION 100

ELEVATION CALLOUT
 ELEVATION 100

ELEVATION DATUM
 ELEVATION 100

NORTH ARROW
 NORTH ARROW

EXISTING CONSTRUCTION
 EXISTING CONSTRUCTION

DEMOLITION
 DEMOLITION

NEW CONSTRUCTION
 NEW CONSTRUCTION

WALL TAG
 WALL TAG

DOOR TAG
 DOOR TAG

KEYNOTE TAG
 KEYNOTE TAG

REVISION TAG
 REVISION TAG

FURNITURE TAG
 FURNITURE TAG

EQUIPMENT TAG
 EQUIPMENT TAG

WINDOW TAG
 WINDOW TAG

CASEWORK TAG (PLAN OR ELEVATION)
 CASEWORK TAG (PLAN OR ELEVATION)

FLOOR TAG
 FLOOR TAG

BASE TAG
 BASE TAG

WALL TAG
 WALL TAG

REMARKS TAG
 REMARKS TAG

CEILING TAG
 CEILING TAG

ROOM TAG
 ROOM TAG

NEW GRID AND IDENTIFICATION
 NEW GRID AND IDENTIFICATION

EXISTING GRID AND IDENTIFICATION
 EXISTING GRID AND IDENTIFICATION

FIRST AND EAST WASHINGTON
MADISON, WISCONSIN

WASHINGTON PLAZA CAPITAL, LLC
800 W BROADWAY, SUITE 400
MONONA, WI 53713
CONTACT: STEVE DORAN
EMAIL: SDORAN@GALWAYCOMPANIES.COM
MAIN: 608.327.4006

ARCHITECTURAL

JLA ARCHITECTS & PLANNERS

800 WEST BROADWAY - SUITE 200
MONONA, WISCONSIN 53713
CONTACT: ADAM FREDENDALL
EMAIL: AFREDENDALL@JLA-AP.COM
MAIN: 608.442.3823

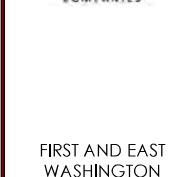
GRAEF, INC.
1010 EAST WASHINGTON AVE, SUITE 202
CONTACT: LOEL BADREDDINE, PE
EMAIL: LOEL.BADREDDINE@GRAEF-USA.COM
MAIN: 608.242.1550

GRAEF, INC.
1010 EAST WASHINGTON AVE, SUITE 202
CONTACT: LOEIL BADREDDINE, PE
EMAIL: LOEIL.BADREDDINE@GRAEF-USA.COM
MAIN: 608.242.1550

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WASHINGTON

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DATE OF ISSUANCE MAY 19, 2011

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

INDEX SHEET

SHEET NUMBER

G001



JLA PROJECT NUMBER: 19-0802



FIRST AND EAST WASHINGTON

FIRST & EAST WASHINGTON MIXED USE BUILDING DATA																								
FLOOR		TOTAL GROSS AREA (SF)	PARKING / UNFINISHED	FINISHED NON-LEASABLE	RESIDENTIAL AMENITY	RESIDENTIAL LEASABLE	COMMERCIAL LEASABLE	EFFICIENCY	UNITS								PARKING PROVIDED			RATIOS				
									STUDIO	1BR	1BR+	2BR	2BR+	T-H	TOTAL	BRs	COVERED	EXTERIOR	TOTALS	PER UNIT	PER SF			
	6	47,890		9,275	1,180	36,145	1,290	80.63%	12	24	1	11	0	0	48	59			-					
	5	57,303		10,833		48,470		81.10%	16	25	5	15	0	0	61	76			-					
	4	57,303		10,833		46,470		81.10%	16	25	4	16	0	0	61	77			-					
	3	57,303		10,833		46,470		81.10%	16	25	4	16	0	0	61	77			-					
	2	57,767		12,607	7,800	37,360		78.18%	16	19	5	13	0	0	53	66			-					
SUB-TOTALS		277,566	-	54,381	8,980	212,915	1,290	80.41%																
1ST FLOOR TOTAL		87,480																						
L1 RESTAURANT							3,530																	
L1 COMMERCIAL				450			10,830																	
L1 RES. UNITS						7,430		NR	0	1	0	1	0	4	6	15								
L1 RES. AMENITY				3,000	4,350																			
L1 PARKING			57,890																	139	42	181		
LL PARKING		87,480	87,477	-	-	-	-													196		196		
TOTALS		452,526	145,367	57,831	13,330	220,345	15,650		76	119	19	72	0	4	290	370	335	42	377	1.30	1.02			
									26.2%	41.0%	6.6%	24.8%	0.0%	1.4%										

BUILDING DATA:	
ADDRESS: 1814 EAST WASHINGTON AVE., MADISON, WI	
CURRENT ZONING: C-C2	
SETBACKS PER ZONING CODE:	
FRONT: 5'	
SIDE: 5'	
REAR: 5'	
BUILDING HEIGHT: 87 ft.	
TOTAL SITE AREA: 3.45 ac	
LOT COVERAGE: 54.7%	
VEHICLE PARKING SPACES:	
EXTERIOR: 42	
COVERED: 196 + 138 = 334	
TOTAL PARKING: 376	
JLA PARKING SPACES:	
OUTDOOR: 40	
INDOOR COVERED: 364	

LAND USE APPLICATION

PROGRESS DOCUMENTS	
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DATE OF ISSUANCE		MAY 19, 20
REVISION SCHEDULE		
Work	Description	Date

SHEET TITLE	
BUILDING DATA	

SHEET NUMBER	
G002	



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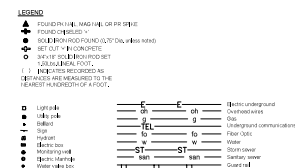
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REVISION SCHEDULE		
Mark	Description	Date

EXISTING CONDITION
PLAN

C0001



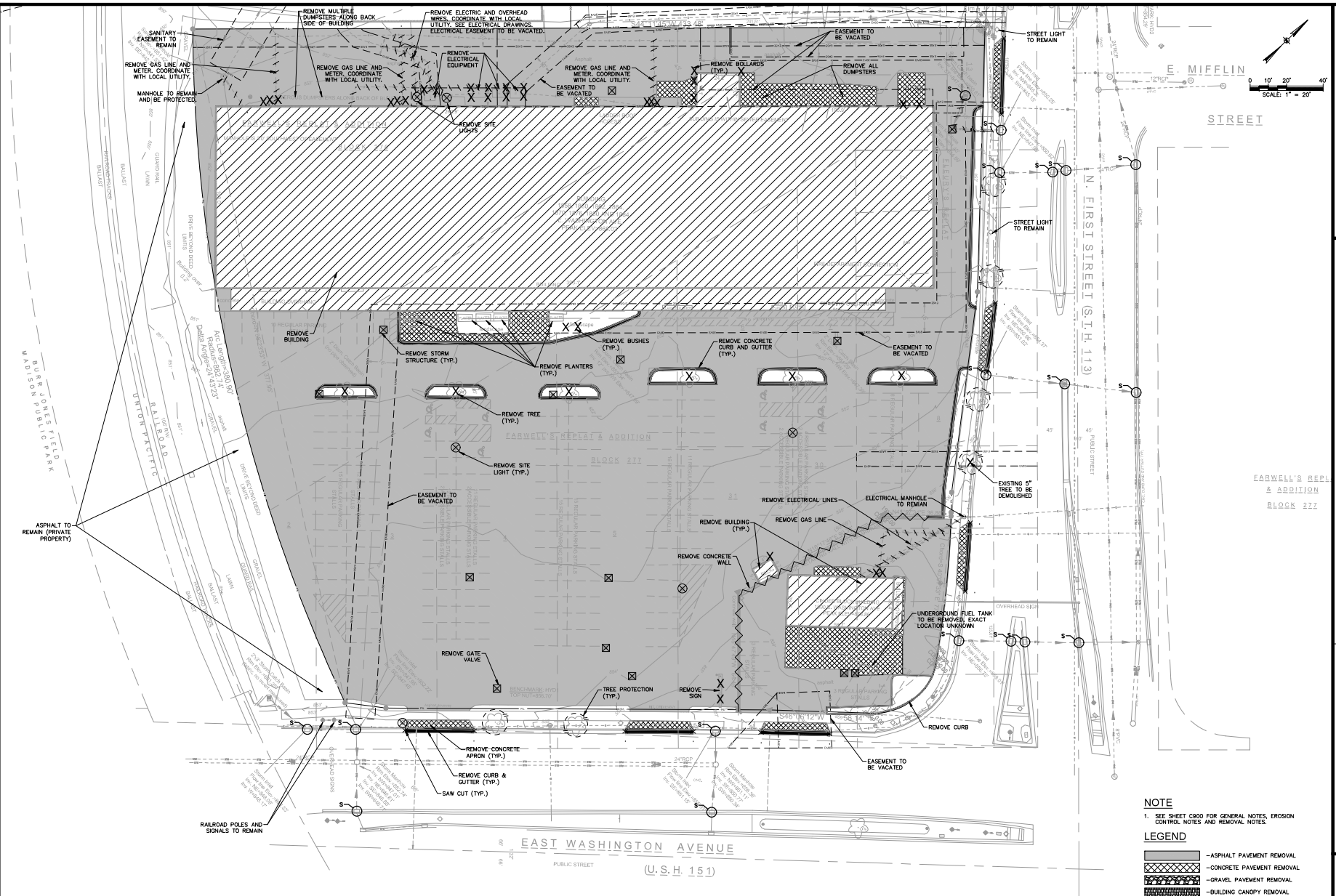
BEARINGS ARE REFERENCED TO THE
WISCONSIN COUNTY COORDINATE SYSTEM
DANE COUNTY ZONE, THE NORTH LINE
OF THE SW 1/4 OF SECTION 6, T7N, R10E
BEARS S 89°03'27" E

NOTICE:
In accordance with Wisconsin statute 162.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER:
The underground utilities shown have been located from field survey information and existing drawings. GRAEF makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. GRAEF further does not warrant that the underground utilities shown are in the exact location indicated. GRAEF has not

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NOTES:
In accordance with Wisconsin statute 182.0175, damage to transportation facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.
CAUTION: The underground utilities shown have been located from field survey information and existing drawings. GRAEF makes no guarantee that the underground utilities shown comprise all underground utilities in the area, either to service or maintain. GRAEF further does not warrant that the underground utilities shown are in the exact location indicated. GRAEF has not physically located the underground utilities.

EXISTING SITE DATA TABLE

IMPERVIOUS AREA:	3.307 ACRES
PERVIOUS AREA:	0.062 ACRES
TOTAL CONSTRUCTION BOUNDARY AREA:	3.369 ACRES

NOTE
1. SEE SHEET C200 FOR GENERAL NOTES, EROSION CONTROL NOTES AND REMOVAL NOTES.

LEGEND

- ASPHALT PAVEMENT REMOVAL
- CONCRETE PAVEMENT REMOVAL
- GRAVEL PAVEMENT REMOVAL
- BUILDING CANOPY REMOVAL
- CONCRETE WALL REMOVAL
- CURB AND GUTTER REMOVAL
- TREE AND BOLLARD REMOVAL
- SITE LIGHT REMOVAL
- UTILITY STRUCTURE REMOVAL
- STONE CONSTRUCTION ENTRANCE
- SILT FENCE
- INLET PROTECTION
- TREE PROTECTION

JLA ARCHITECTS
MADISON • MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 19-0802

GRaEF

1010 East Washington Avenue,
Suite 202
Madison, WI 53703-3130
608 / 242 1550

www.graef-usa.com

FIRST AND EAST WASHINGTON

LAND USE APPLICATION

PROGRESS DOCUMENTS

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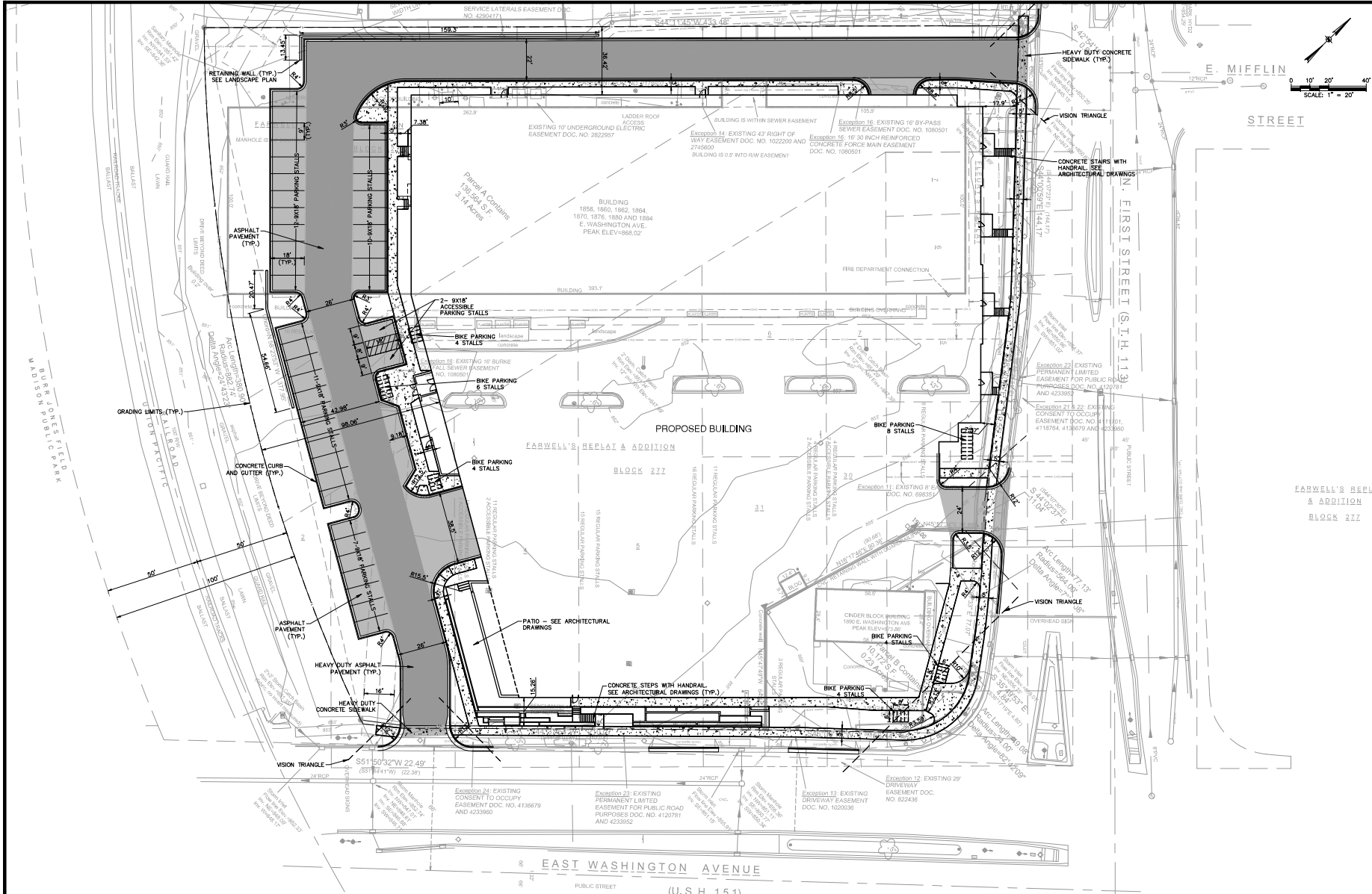
REVISION SCHEDULE		
App.	Description	Date

SHEET TITLE

DEMOLITION AND EROSION CONTROL PLAN

SHEET NUMBER

C200





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1010 East Washington Avenue,
Suite 202
Madison, WI 53703-3130
608 / 242 1550

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FIRST AND EAST WASHINGTON

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REVISION SCHEDULE		
App.	Description	Date

SHEET TITLE

OVERALL LAYOUT PLAN

SHEET NUMBER

C300

NOTES:
In accordance with Wisconsin statute 182.0175, damage to transportation facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this plan, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

CONVEYANCE:
The underground utilities shown have been located from field survey information and existing drawings. GRaEF makes no guarantee that the underground utilities shown comprise all underground utilities in the area, either to private or abandoned. GRaEF further does not warrant that the underground utilities shown are in the exact location indicated. GRaEF has not physically located the underground utilities.

SITE LAND USE INFORMATION

SITE ACREAGE: 146,754 SF (3.369 AC)

SET BACKS:
FRONT YARD (EAST WASHINGTON AND FIRST STREET): 5'-FEET
REAR YARD: 5'-FEET
SIDE YARD: 5'-FEET

TOTAL NUMBER OF STALLS: 42
ACCESSIBLE SURFACE STALLS: 2
SURFACE STALLS: 40

TOTAL NUMBER OF BIKE PARKING STALLS: 30

EXISTING IMPERVIOUS SURFACE AREA: 146,361 SF (3.360 AC)

NEW IMPERVIOUS SURFACE AREA: 105,438 SF (2.420 AC)
ROOF TOP SURFACE: 87,750 SF
ROOF TOP IMPERVIOUS: 13,371 SF
FOOT PRINT AREA: 87,750 SF
SIDEWALK: 5,920 SF
PAVED: 26,147 SF

DISTURBANCE LIMITS: 146,754 SF (3.369 AC)
IMPERVIOUS SURFACE AREA WITHIN DISTURBANCE LIMITS: 105,438 SF (2.420 AC)
PERCENT IMPERVIOUS WITHIN DISTURBANCE LIMITS: 71.8%

NOTE

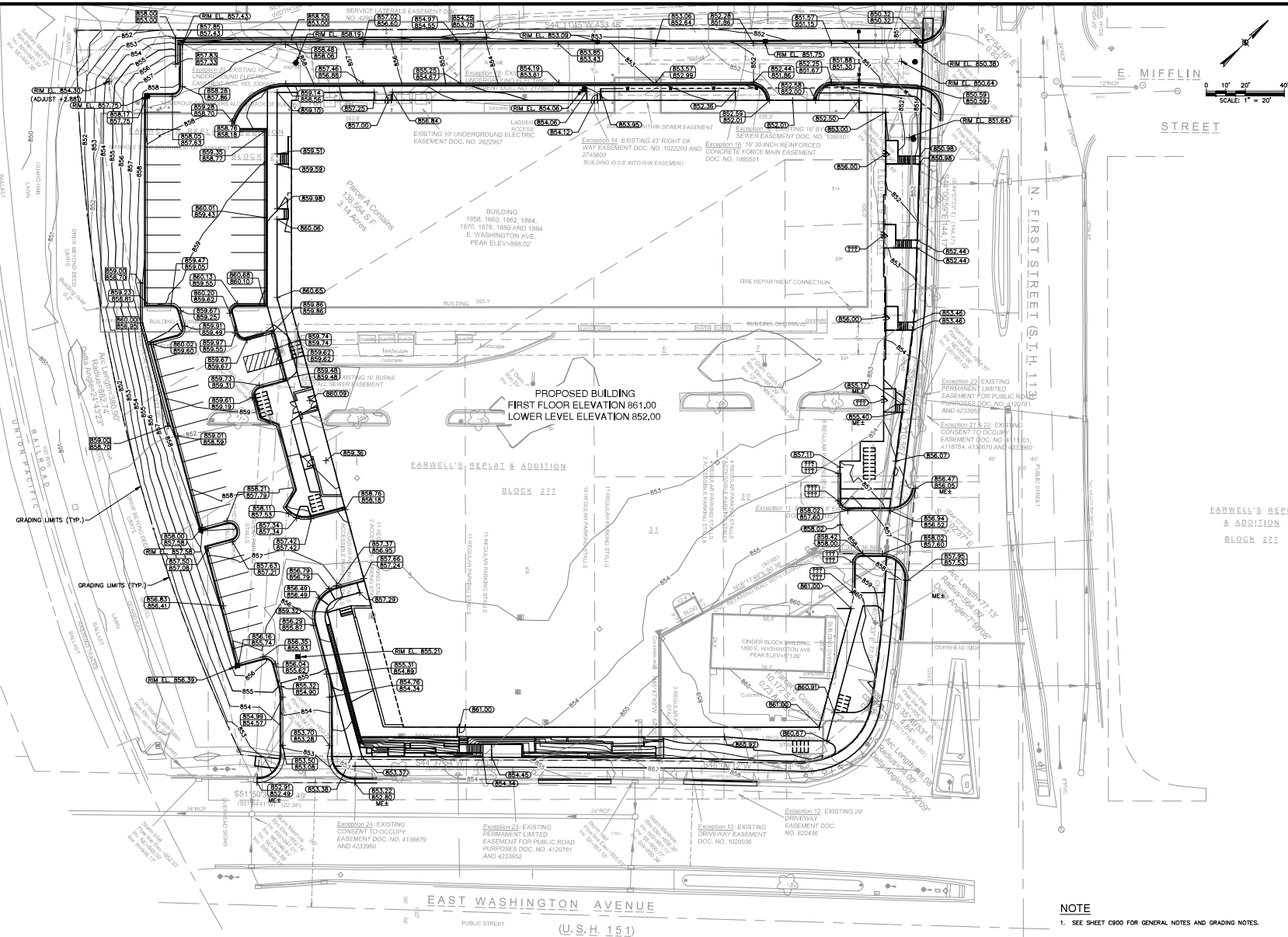
1. SEE SHEET C300 FOR GENERAL NOTES AND LAYOUT NOTES.

LEGEND

- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- HEAVY DUTY CONCRETE SIDEWALK
- CONCRETE CURB AND GUTTER
- HIGHSIDE CONCRETE CURB AND GUTTER
- FLUSH CONCRETE CURB AND GUTTER
- ADA RAMP WITH TRUNCATED DOMES

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NOTES:
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The underground utilities shown have been located from field survey information and existing drawings. GRAEF makes no guarantee that the underground utilities shown comprise all such utilities in the area, either to private or abandoned. GRAEF further does not warrant that the underground utilities shown are in the exact location indicated. GRAEF has not physically located the underground utilities.



NOTE
1. SEE SHEET C400 FOR GENERAL NOTES AND GRADING NOTES.

LEGEND		
— 100 —	— EXISTING CONTOUR	
— 100 —	— PROPOSED CONTOUR	
— — —	— CONCRETE CURB AND GUTTER	
— — —	— HIGHSIDE CONCRETE CURB AND GUTTER	
— — —	— FLUSH CONCRETE CURB AND GUTTER	
●	— MANHOLE	
○	— CATCH BASIN	
○	— ADA RAMP WITH TRUNCATED DOMES	
○	— TOP OF CURB ELEVATION	
○	— FLANGE ELEVATION	
○	— SPOT ELEVATION	
○	— FINISHED GRADE AT TOP OF WALL	
○	— FINISHED GRADE AT BOTTOM OF WALL	

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jla-ap.com

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1010 East Washington Avenue,
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608 / 242 1550
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FIRST AND EAST WASHINGTON

LAND USE APPLICATION

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REVISION SCHEDULE	
App.	Description
1	1

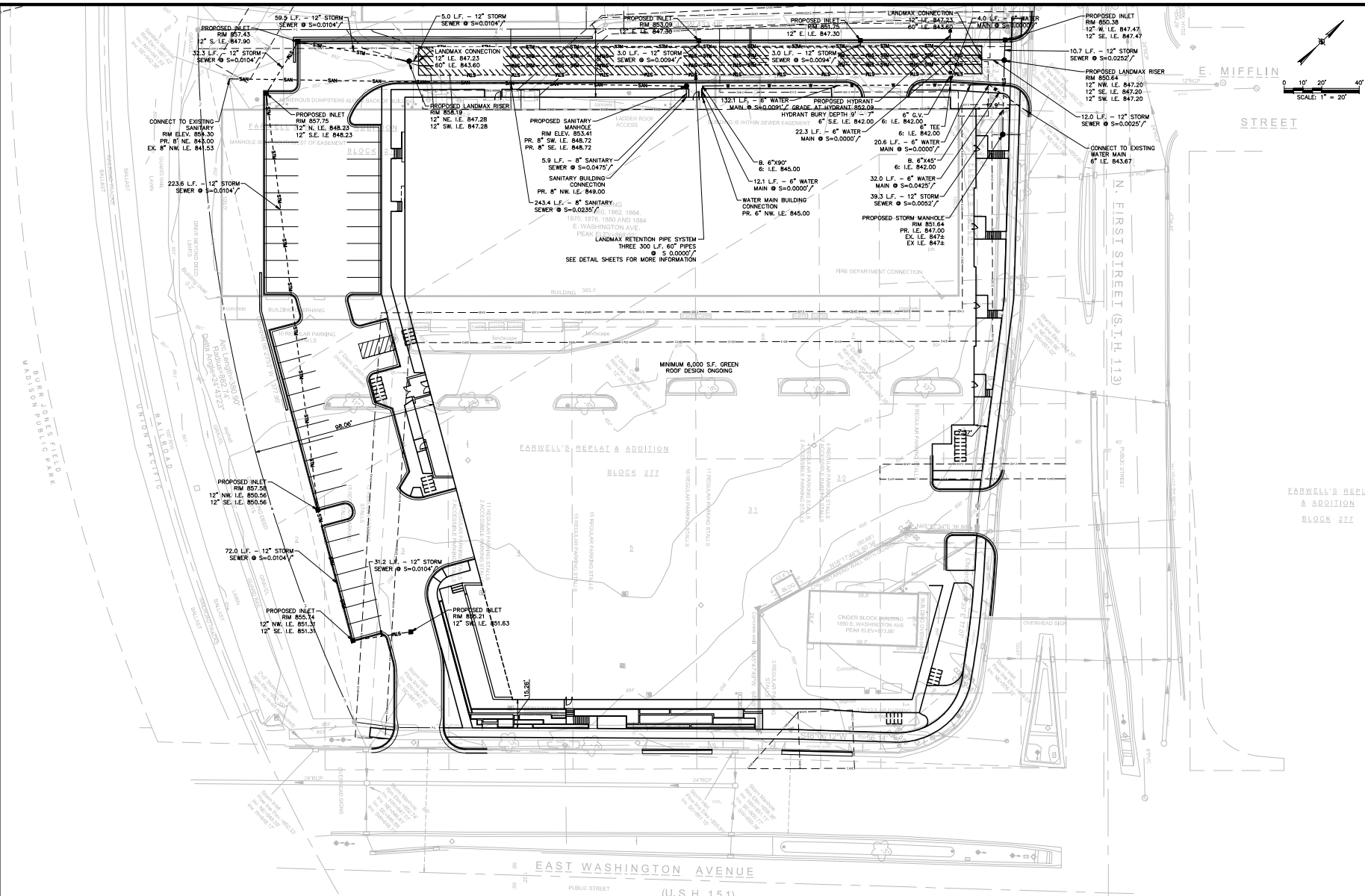
SHEET TITLE

OVERALL GRADING PLAN

SHEET NUMBER

C400

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NOTES:
In accordance with Wisconsin statute 182.0175, damage to communication facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this plan, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.
CONCURRENCE:
The underground utilities shown have been located from field survey information and existing drawings. GRAEF makes no guarantee that the underground utilities shown comprise all basic utilities in the area, either to private or abandoned. GRAEF further does not warrant that the underground utilities shown are in the exact location indicated. GRAEF has not physically located the underground utilities.

NOTE
1. SEE SHEET C500 FOR GENERAL NOTES AND UTILITY NOTES.

- LEGEND
- S--- PROPOSED STORM SEWER
 - SA--- PROPOSED SANITARY SEWER
 - W--- PROPOSED WATER MAIN
 - PROPOSED MANHOLE
 - PROPOSED CATCH BASIN
 - PROPOSED UTILITY PLUG

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1010 East Washington Avenue,
Suite 202
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608 / 242 1550

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FIRST AND EAST WASHINGTON

LAND USE APPLICATION

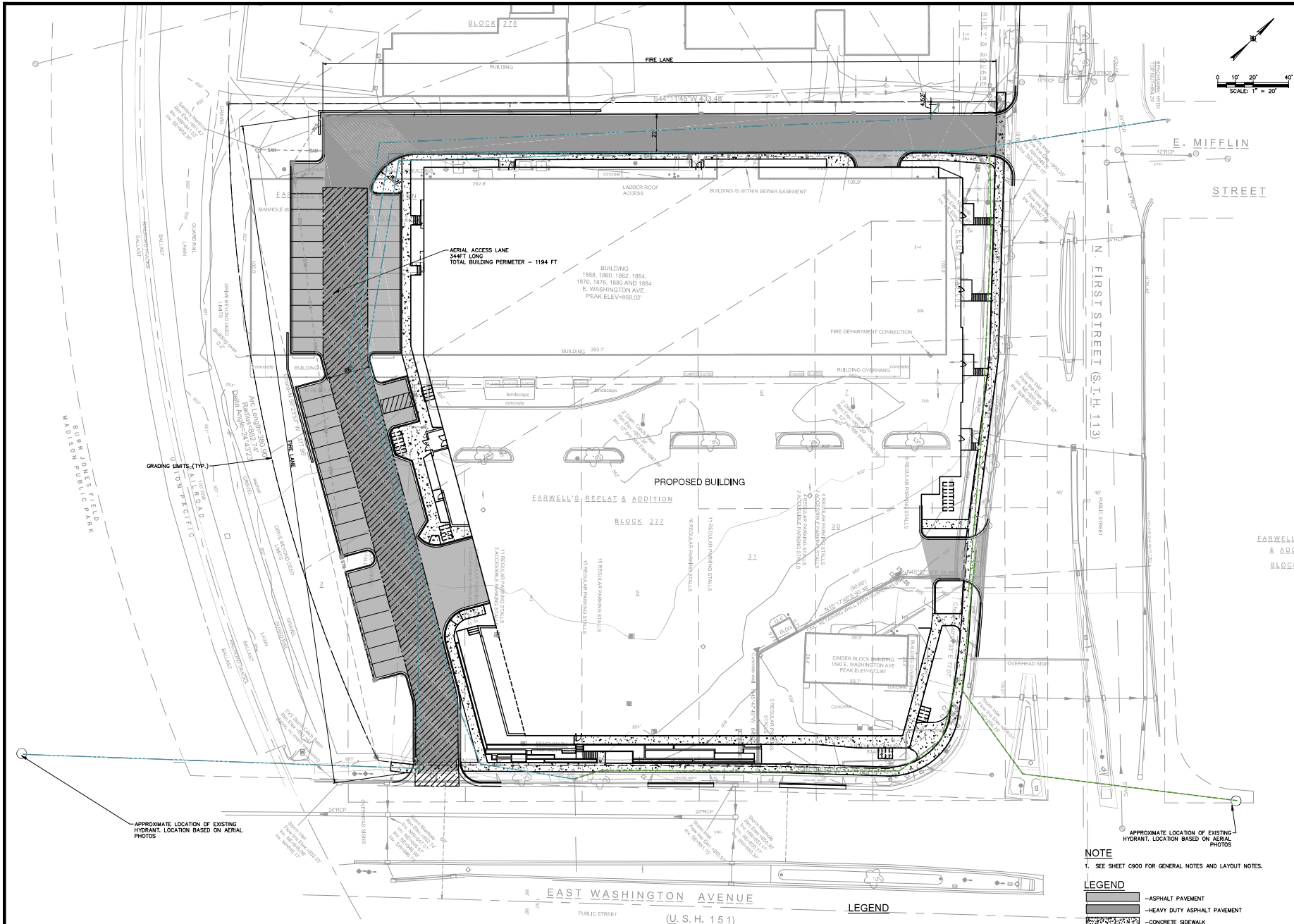
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REVISION SHEET		
App.	Description	Date

SHEET TITLE
OVERALL UTILITY PLAN

SHEET NUMBER
C500



NOTES:
In accordance with Wisconsin statute 182.0175, damage to communication facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this plan, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.
UNDERGROUND UTILITIES:
The underground utilities shown have been located from field survey information and existing drawings. GRAEF makes no guarantee that the underground utilities shown comprise all actual utilities in the area, either to private or public utility. GRAEF further does not warrant that the underground utilities shown are in the exact location indicated. GRAEF has not physically located the underground utilities.



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REVISION SCHEDULE	
App.	Description

SHEET TITLE

FIRE ACCESS PLAN

SHEET NUMBER

C600

GENERAL NOTES

1. THE BASE SURVEY WAS PREPARED BY ISTHMUS SURVEYING IN APRIL 2021. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THEREOF.
2. REFER TO SHEET C001 FOR BENCHMARKS, DATUM, AND TOPOGRAPHIC ELEMENTS.
3. CONTRACTOR SHALL VERIFY LOCATION OF WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.

EROSION CONTROL NOTES

1. CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF MADISON, AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS".
2. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. REPAIRS AND MAINTENANCE SHALL BE COMPLETED WITHIN 24 HOURS OF INSPECTION. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY.
4. SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
5. FILTER FABRIC SHALL BE INSTALLED BENEATH INLET COVERS TO TRAP SEDIMENT AS FOR INLET PROTECTION DETAIL IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS.
6. CRUSHED STONE ENTRANCE SHALL BE MAINTAINED BY TURNING OVER THE STONE OR BY PLACING NEW STONE ONCE THE SURFACE BECOMES CLOGGED WITH SEDIMENT.
7. EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
8. PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN THE PUBLIC STREET FREE OF DUST AND GRIT.
9. SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ALL TOPSOIL AND FILL STOCKPILES. NOTIFY CITY OF MADISON OF ANY NEW STOCKPILE LOCATIONS.
10. CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:
 1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 2. INSTALL SILT FENCE AND INLET PROTECTION.
 3. STRIP TOPSOIL IN TEMPORARY SEDIMENT BASIN AREA.
 4. INSTALL SEDIMENT BARRIERS AND GUTTER DIVERSIONS TO STABILIZE IMMEDIATELY AFTER INSTALLATION.
 5. STRIP TOPSOIL AND TEMPORARY DIVERSIONS TO DIRECT RUNOFF TO SEDIMENT BASIN.
 6. STRIP TOPSOIL FROM REMAINDER OF SITE.
 7. PERFORM ROUGH GRADING AND BUILDING EXCAVATION. ADJUST EROSION CONTROL AS NEEDED TO MAINTAIN DRAINAGE TO SEDIMENT BASIN.
 8. INSTALL UTILITIES, INSTALL INLET PROTECTION ON NEW INLETS.
 9. INSTALL BARRIERS AT NEW OUTFALLS.
 10. CONSTRUCT BUILDINGS.
 11. INSTALL PAVEMENTS.
 12. REMOVE TEMPORARY SEDIMENTATION BASINS.
 13. REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.
11. SITE Dewatering: WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICES SPECIFIED IN THE DNR "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS". WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
12. WASTE AND MATERIAL DISPOSAL: ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
13. TRACKING: EACH SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. TRACKING SHALL BE PREVENTED BY THE SATISFACTION OF THE CITY BEFORE THE END OF EACH WORKDAY. FLUSHING MAY NOT BE USED UNLESS SEDIMENT WILL BE CONTROLLED BY A SEDIMENT BASIN OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICES SPECIFIED IN THE DNR "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS". NOTIFY CITY OF MADISON FOR CHANGES IN STABILIZED CONSTRUCTION ENTRANCE LOCATION.
14. SEDIMENT CLEANUP: ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORK DAY.
15. ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING, AND MULCHING SODDING, COVERING WITH TARPS, OR EQUIVALENT BEST MANAGEMENT PRACTICES. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SODDING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
16. PERMANENT SEEDING SHALL BE ESTABLISHED NO LATER THAN SEPTEMBER 15TH. IF PERMANENT SEEDING IS NOT ESTABLISHED, TEMPORARY SEEDING SHALL BE ESTABLISHED NO LATER THAN OCTOBER 15TH. ALL SEEDING AREAS MUST BE MULCHED AT A RATE OF 1.5 TO 2 TONS PER ACRE AND ANCHORED BY EITHER CRIMPING OR BY APPLYING A TACKIFIER.
17. PERMANENT SEED MIX SHALL BE: WISDOT SEED MIX NO. 40 AT 7 POUNDS PER 1000 SQUARE FEET.
18. 1/5% ANNUAL RYE SEED MIX AT 100 POUNDS PER ACRE AS A TEMPORARY SEED MIX. PERMANENT SEEDING SHALL FOLLOW WITHIN ONE YEAR. IF TEMPORARY SEEDING IS NOT ESTABLISHED BY OCTOBER 15TH, USE CLASS 1 TYPE B MATING ON ALL SLOPES 4:1 OR STEEPER.
19. SOIL OR DIRT STORAGE PILES SHALL BE LOCATED A MINIMUM OF TWENTY-FIVE FEET FROM ANY DOWNSLOPE ROAD, LAKE, STREAM, WETLAND, OR DRAINAGE CHANNEL. STRAW BALE OR FILTER FABRIC FENCES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE PILE. IF REMAINING FOR MORE THAN THIRTY DAYS, PILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS.
20. WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY BEST MANAGEMENT PRACTICES SUCH AS FILTER FABRIC FENCES, STRAW BALES, SEDIMENT AND SEDIMENT TRAPS SHALL BE REMOVED.
21. NOTIFY THE CITY WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY.
22. NOTIFY THE CITY OF COMPLETION OF ANY BEST MANAGEMENT PRACTICES WITHIN THE NEXT WORKING DAY AFTER THEIR INSTALLATION.
23. OBTAIN PERMISSION IN WRITING FROM THE CITY OF MADISON ENGINEERING DEPARTMENT PRIOR TO MODIFYING THE EROSION CONTROL PLAN. NOTIFY DNR AT LEAST FIVE WORKING DAYS PRIOR TO IMPLEMENTING CHANGES TO THE EROSION CONTROL PLAN.
24. REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES.
25. KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE, INTERSECTING DIRECTIONS.

REMOVAL NOTES

1. EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AND DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER PRIOR TO COMMENCING WORK.
2. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LINES NOTED FOR ABANDONMENT OR REMOVAL. EXISTING UTILITIES THAT ARE TO BE ABANDONED OR REMOVED SHALL BE RESPECTFULLY ABANDONED OR REMOVED TO THE LOCATIONS INDICATED ON THIS PLAN. ALL UTILITY STRUCTURES LOCATED ALONG REMOVED UTILITY LINES SHALL BE REMOVED IN THEIR ENTIRETY.
3. ASPHALT PAVEMENT NOTED FOR REMOVAL SHALL BE SAW CUT TO FULL DEPTH PRIOR TO REMOVAL.
4. CONCRETE CURB AND GUTTER AND SIDEWALK NOTED FOR REMOVAL SHALL BE REMOVED AT THE NEAREST JOINT.
5. ITEMS SCHEDULED FOR REMOVAL AND EXCESS EXCAVATED MATERIALS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ANY APPLICABLE REGULATIONS.
6. CONTRACTOR IS RESPONSIBLE FOR SECURING THE JOB SITE TO PROTECT THE PUBLIC.
7. CONTRACTOR SHALL COMPLY WITH LOCAL, STATE, AND FEDERAL CODES, RULES AND REGULATIONS APPLICABLE TO DEMOLITION WORK INCLUDING BUT NOT LIMITED TO EROSION CONTROL, AIR POLLUTION, NOISE POLLUTION, AND WASTE DISPOSAL.
8. CONTRACTOR SHALL REPLACE PAVEMENT, CURB AND GUTTER, TREES, LAWN AREA, ANY ABOVE GROUND APPURTEANCES, OR ANY OTHER ITEM THAT WAS DAMAGED AS A RESULT OF CONSTRUCTION RELATED ACTIVITIES AS DEEMED BY OWNERS REPRESENTATIVE THAT WAS NOT CALLED OUT FOR REMOVAL OR REPLACEMENT. CONTRACTOR SHALL REPLACE/REPAIR DAMAGED ITEM TO THE SATISFACTION OF OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
9. TREE PROTECTION FENCING LOCATIONS SHOWN ARE APPROXIMATE. ALL EXISTING TREES OUTSIDE OF GRADING LIMITS ARE INTENDED TO REMAIN. FINAL LOCATIONS OF FENCING SHALL BE DETERMINED IN THE FIELD AND AS IDENTIFIED ON CONSTRUCTION DETAILS. ADDITIONAL FENCING MAY BE REQUIRED. COORDINATE WITH OWNER'S REPRESENTATIVE. TREE PROTECTION FENCE SHALL REMAIN IN PLACE THROUGHOUT CONSTRUCTION.

LAYOUT NOTES

1. THE BUILDING OUTLINES SHOWN ARE FOR REFERENCE PURPOSES ONLY. THE CONTRACTOR SHALL BE USED FOR STARTING PURPOSES ONLY. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT AND STRUCTURAL ENGINEER ON THE STAKING OF THE BUILDING.
2. SITE LIGHTS ARE SHOWN FOR REFERENCE PURPOSES ONLY AND THE CONTRACTOR SHALL REFER TO THE ELECTRICAL PLANS FOR LAYOUT. DESIGN INFORMATION. CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL ENGINEER ON STAKING OF THE SITE LIGHTS.
3. ALL DIMENSIONS SHOWN ARE TO THE EDGE OF PAVEMENT OR FACE OF CURB WHERE CONCRETE CURB IS SHOWN.
4. STANDARD CURB RADIUS IS 3' UNLESS INDICATED OTHERWISE.
5. ALL PAVEMENT STRIPING SHALL BE WHITE IN COLOR.
6. REFER TO LANDSCAPING PLANS FOR SITE RESTORATION INFORMATION AND DETAILS.
7. HANDICAP PARKING STALLS SHALL BE FURNISHED WITH A CONCRETE WHEEL STOP WHEN ADJACENT TO FLUSH CONCRETE CURB AND GUTTER.
8. CONTRACTOR SHALL SUBMIT A CONCRETE JOINING PLAN TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO COMMENCING CONSTRUCTION. JOINING PLAN SHALL INDICATE POUR SEQUENCE, LOCATION OF CONSTRUCTION ISOLATION, CONTRACTION JOINTS, AND TYPE OF REINFORCEMENT.

GRADING NOTES

1. ADA REGULATIONS REQUIRE A MAXIMUM SLOPE OF 1:20 (5%) ALONG THE LENGTH OF THE ACCESSIBLE ROUTE AND A MAXIMUM SLOPE OF 1:50 (2%) ACROSS THE WIDTH OF THE ACCESSIBLE ROUTE. ADA REGULATIONS REQUIRE A MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS WITHIN AN ADA PARKING STALL AND ADJACENT UNLOADING ZONE.
2. RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES.

UTILITY NOTES

1. CONTRACTOR SHALL VERIFY ELEVATION OF EXISTING INVERTS PRIOR TO INSTALLATION OF PROPOSED UTILITIES.
2. BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES. SITE UTILITY CONTRACTOR SHALL LOCATE LATERAL TO 5 FEET OUTSIDE BUILDING. SEE INTERIOR PLUMBING PLANS FOR CONTINUATION OF PIPES INTO BUILDING BY BUILDING PLUMBING CONTRACTOR IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
3. CONTRACTOR SHALL CENTER ONE FULL LENGTH OF WATER PIPE ON SEWER AT WATER MAIN CROSSINGS, THAT BOTH JOINTS WILL BE AS FAR FROM SEWER AS POSSIBLE.
4. GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL GAS, TELEPHONE, AND ELECTRICAL UTILITIES FOR EXACT LOCATION, SIZE AND DEPTH OF NEW SERVICE.
5. SANITARY SEWER SHALL BE PVC, ASTM D3034, SDR 35 UNLESS INDICATED OTHERWISE.
6. WATER MAIN SHALL BE AWWA C900, CLASS 150, DR-18 PVC UNLESS INDICATED OTHERWISE.
7. ALL SANITARY PRECAST MANHOLES SHALL CONFORM TO ASTM C-478 AND SHALL BE A MINIMUM OF 48-INCH DIAMETER WITH COORDINATE ONE-TWO DEEPEST TOP AND SHALL BE SET WITH AN EXTERNAL SEAL. FLAT TOP SLABS SHALL BE USED ONLY WITH APPROVAL OF THE CITY ENGINEER.
8. CONTRACTOR SHALL PROVIDE DRAIN TILE AT ALL PROPOSED CATCH BASINS. SEE PLAN VIEW FOR DETAIL DESIGN INFORMATION.
9. BUILDING ROOF DRAINS SHALL BE SDR-35, ASTM D3034, PVC, UNLESS OTHERWISE NOTED.
10. RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES.
11. PIPE LENGTHS AND INVERTS ARE TO CENTER OF STRUCTURES.
12. CRUSHED STONE BACKFILL SHALL BE USED UNDER AND WITHIN 5' OF ALL PAVED AREAS.



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JLA PROJECT NUMBER: 19-0802

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Suite 202
Madison, WI 53703-3130
608 / 242 1550

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FIRST AND EAST
WASHINGTON

LAND USE APPLICATION

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional details. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF BALANCE: MAY 17, 2021

REVISION SCHEDULE

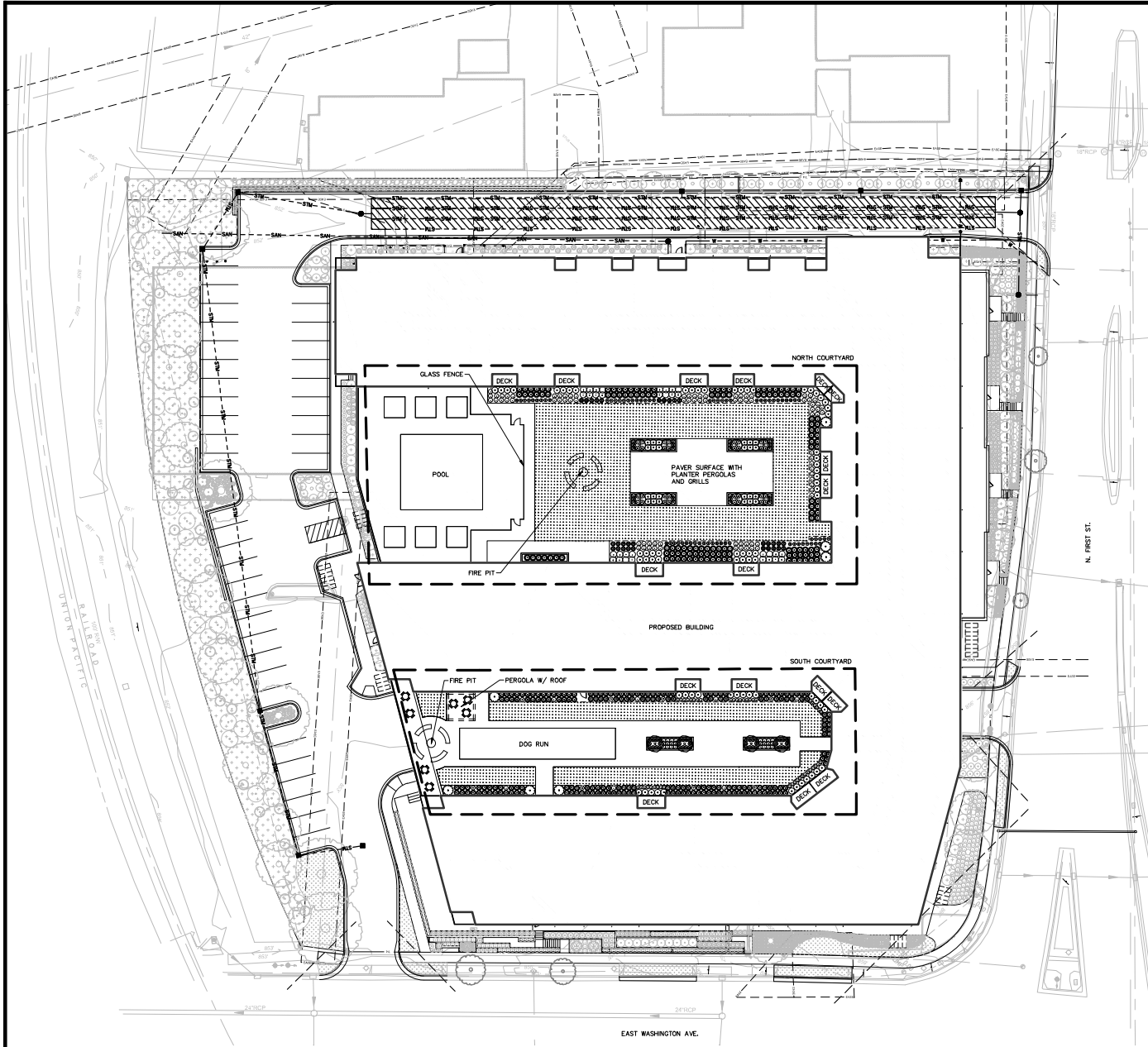
Rev.	Description	Date
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SHEET TITLE

CONSTRUCTION NOTES

SHEET NUMBER

C900



PLANT SCHEDULE			
SYMBOL	CODE	QUANTITY	PLANT NAME
[Symbol]	MAL ST1	4	Malus sargentii 'Tee'
	DAE LCO	71	Davidia indica 'Copper'
	SP1 BE7	25	Scorpaenopsis 'Tee'
[Symbol]	VB AC2	7	Viburnum acerifolium 'Olivieri' TM
	FW BMT	8	Fraxinus americana 'Blue Mount'
	CAL ACV	186	Calceolaria x aculeata 'Olivieri'
[Symbol]	ECH BLU	133	Echinops angustatus 'Blue Heaven'
	SPD HTA	30	Spodoptera hermesippe 'Tee'
	CAL NYT	81	Calceolaria nyctaginia 'Tee'
[Symbol]	ECH PMA	7	Echinops purpureus 'Vigilant'
	GDR NGA	40	Gentiana nivalis 'Roses'
	HEM HAP	87	Hemerocallis 'Happy Return'
[Symbol]	HEM STR	88	Hemerocallis 'Starry Starry' TM
	LEU ALE	8	Leucanthemum x superbum 'Alabaster'
			Alabaster Snow Day

LANDSCAPE LEGEND

- LIMIT OF LANDSCAPE CONSTRUCTION
- ALUMINUM EDGER - SEE SPECIFICATIONS
- [Pattern] MANICURED TURF (SOD) - SEE SPECIFICATIONS



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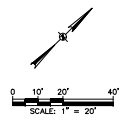
DATE OF BALANCE: MAY 19, 2021

REVISION SCHEDULE		
No.	Description	Date

SHEET TITLE
ROOFTOP LANDSCAPE PLAN

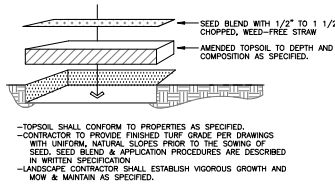
SHEET NUMBER

L101

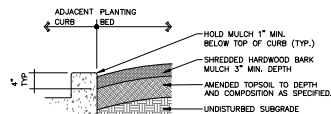


NOTES:
In accordance with Wisconsin statute 182.0175, damage to vegetation facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this plan, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.
DISCLAIMER:
The underground utilities shown have been located from field survey information and existing drawings. GRaEF makes no guarantee that the underground utilities shown comprise all of the utilities in the area, either to be installed or abandoned. GRaEF further does not warrant that the underground utilities shown are in the exact location indicated. GRaEF has not actually located the underground utilities.

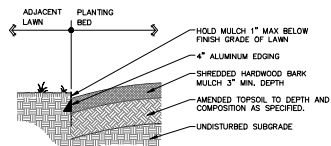
X:\MID\2021\2021-07-05\Design\54860\01_01_Rooftop Landscape Plan_0075 6/4/2021 1:57 PM



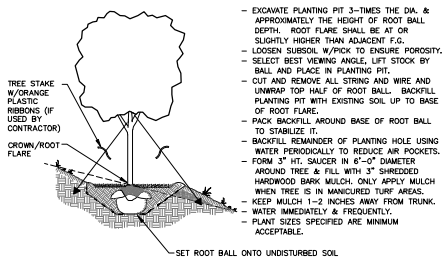
5 NO MOW TURF SEEDING



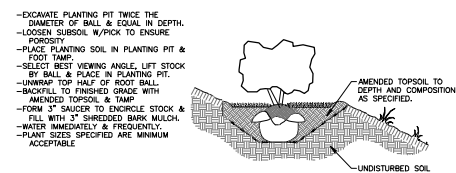
6 PLANT BED EDGE AT CURB



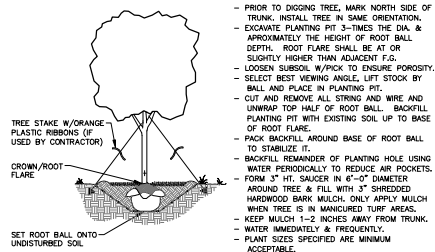
7 ALUMINUM PLANT BED EDGE



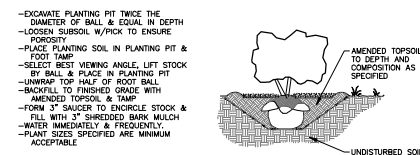
8 TREE PLANTING ON SLOPE DETAIL



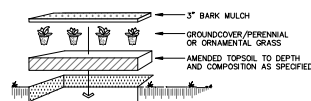
9 SHRUB PLANTING ON SLOPE DETAIL



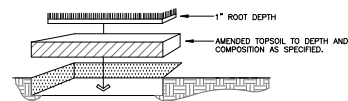
1 TREE PLANTING DETAIL



2 SHRUB PLANTING DETAIL



3 GROUND COVER / ORNAMENTAL GRASS / PERENNIAL PLANTING DETAIL



4 MANICURED TURF SOD

LANDSCAPING NOTES:

1. VERIFY EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES, AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION.
2. INSPECT THE SITE PRIOR TO COMMENCING WORK. DOCUMENT IN WRITING AND PHOTOGRAPH EXISTING CONDITIONS WITHIN, AND IN AREAS ADJACENT TO, THE LIMITS OF CONSTRUCTION. PROVIDE DIGITAL COPIES OF PHOTOGRAPHS TO THE LANDSCAPE ARCHITECT. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES NOT DOCUMENTED IN THE SUBMITTAL PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
3. REFER TO GEOTECHNICAL REPORT, IF ONE EXISTS, FOR INFILTRATION RATES AND SOIL TYPES / CONDITIONS.
4. SEE WRITTEN SPECIFICATIONS AND DETAILS FOR PLANTING METHODS, REQUIREMENTS, MATERIALS, EXECUTION AND PLANT PROTECTION, PLANT STAKING METHODS, PLANT PIT DIMENSIONS, BACKFILL, AND OTHER RELATED REQUIREMENTS.
5. PLANT PLACEMENT IS REQUIRED AS SHOWN ON THE LAYOUT, PLANTING, AND OTHER DRAWINGS.
6. PLANT NAMES ARE ABBREVIATED ON THE DRAWINGS. SEE PLANT LIST FOR SYMBOLS, ABBREVIATIONS, BOTANICAL/COMMON NAMES, SIZES, ESTIMATED QUANTITIES (IF GIVEN) AND OTHER REMARKS.
7. WHERE PROVIDED, AREA TAKEOFFS AND PLANT QUANTITY ESTIMATES ARE FOR INFORMATION ONLY. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO CONDUCT QUANTITY TAKE-OFFS FOR PLANT MATERIALS AND SIZES SHOWN ON PLANS. PLANT SYMBOLS INDICATED ON THE PLAN TAKE PRECEDENCE IN CASE OF DISCREPANCIES BETWEEN CALLOUTS AND THE PLANT LIST.
8. MAINTAIN AND WARRANT PLANT MATERIALS AS DESCRIBED IN WRITTEN SPECIFICATIONS.
9. PLANT BEDS AND TREE PLANTING PITS ARE TO RECEIVE 3\"/>



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FIRST AND EAST
WASHINGTON

LAND USE APPLICATION

PROGRESS DOCUMENTS

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DATE OF BALANCE: MAY 19, 2021

REVISION SCHEDULE

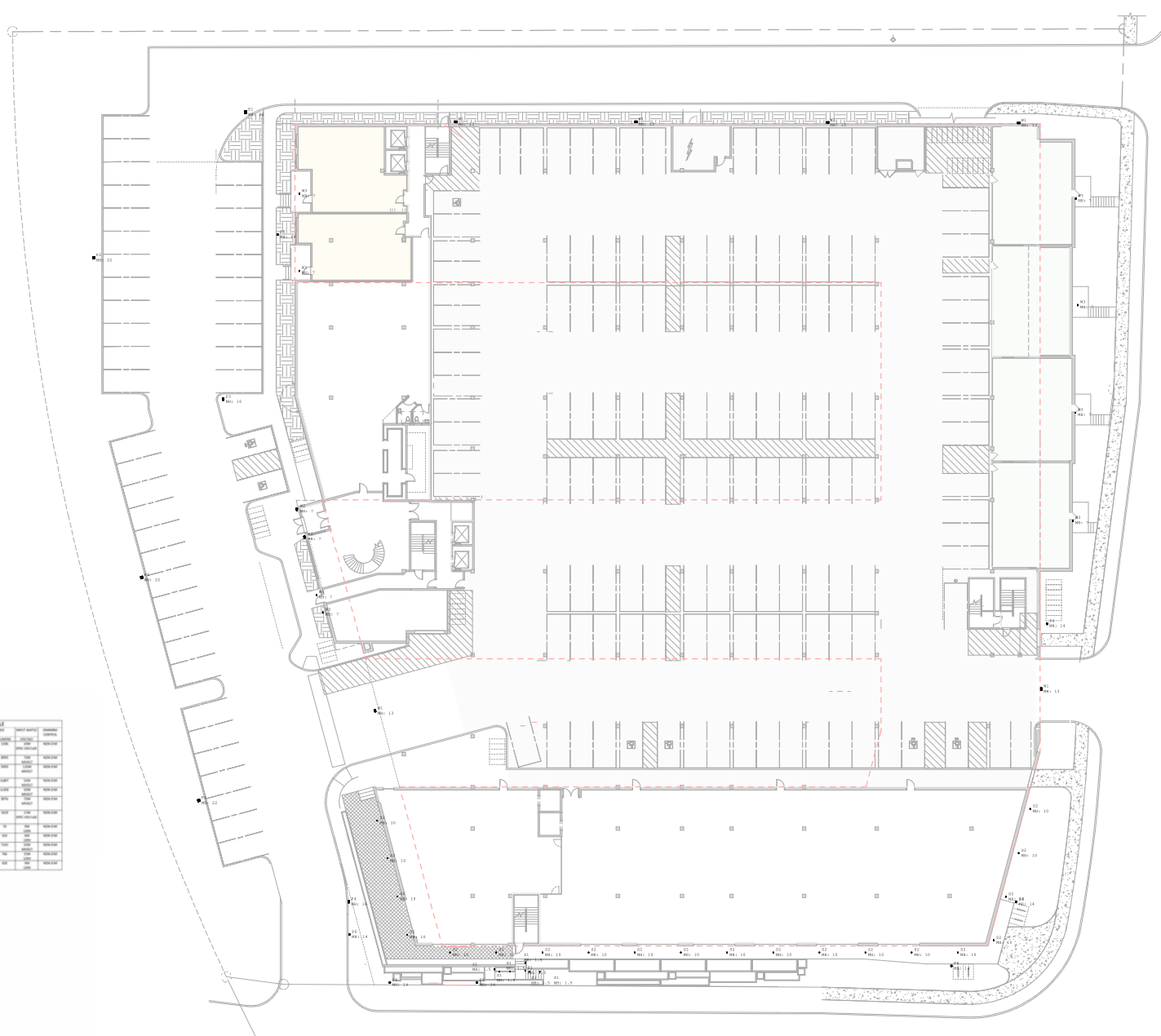
Rev.	Description	Date

SHEET TITLE

LANDSCAPE NOTES &
DETAILS

SHEET NUMBER

L900



FIRST STREET AND EAST WASHINGTON EXTERIOR LUMINAIRE SCHEDULE									
ITEM	DESCRIPTION	MANUFACTURER	MODEL	WATTAGE	VOLTAGE	BEAM ANGLE	FOOT CANDLE	NOTES	QUANTITY
101	10" SQUARE EXTERIOR DOWNLIGHT, BLACK	OSRAM	REFUGIO 2.0 10" SQUARE 120V	20W	120V	120°	100	100	100
102	10" SQUARE EXTERIOR DOWNLIGHT, BLACK	OSRAM	REFUGIO 2.0 10" SQUARE 120V	20W	120V	120°	100	100	100
103	10" SQUARE EXTERIOR DOWNLIGHT, BLACK	OSRAM	REFUGIO 2.0 10" SQUARE 120V	20W	120V	120°	100	100	100
104	10" SQUARE EXTERIOR DOWNLIGHT, BLACK	OSRAM	REFUGIO 2.0 10" SQUARE 120V	20W	120V	120°	100	100	100
105	10" SQUARE EXTERIOR DOWNLIGHT, BLACK	OSRAM	REFUGIO 2.0 10" SQUARE 120V	20W	120V	120°	100	100	100
106	10" SQUARE EXTERIOR DOWNLIGHT, BLACK	OSRAM	REFUGIO 2.0 10" SQUARE 120V	20W	120V	120°	100	100	100
107	10" SQUARE EXTERIOR DOWNLIGHT, BLACK	OSRAM	REFUGIO 2.0 10" SQUARE 120V	20W	120V	120°	100	100	100
108	10" SQUARE EXTERIOR DOWNLIGHT, BLACK	OSRAM	REFUGIO 2.0 10" SQUARE 120V	20W	120V	120°	100	100	100
109	10" SQUARE EXTERIOR DOWNLIGHT, BLACK	OSRAM	REFUGIO 2.0 10" SQUARE 120V	20W	120V	120°	100	100	100
110	10" SQUARE EXTERIOR DOWNLIGHT, BLACK	OSRAM	REFUGIO 2.0 10" SQUARE 120V	20W	120V	120°	100	100	100
111	10" SQUARE EXTERIOR DOWNLIGHT, BLACK	OSRAM	REFUGIO 2.0 10" SQUARE 120V	20W	120V	120°	100	100	100
112	10" SQUARE EXTERIOR DOWNLIGHT, BLACK	OSRAM	REFUGIO 2.0 10" SQUARE 120V	20W	120V	120°	100	100	100
113	10" SQUARE EXTERIOR DOWNLIGHT, BLACK	OSRAM	REFUGIO 2.0 10" SQUARE 120V	20W	120V	120°	100	100	100
114	10" SQUARE EXTERIOR DOWNLIGHT, BLACK	OSRAM	REFUGIO 2.0 10" SQUARE 120V	20W	120V	120°	100	100	100
115	10" SQUARE EXTERIOR DOWNLIGHT, BLACK	OSRAM	REFUGIO 2.0 10" SQUARE 120V	20W	120V	120°	100	100	100
116	10" SQUARE EXTERIOR DOWNLIGHT, BLACK	OSRAM	REFUGIO 2.0 10" SQUARE 120V	20W	120V	120°	100	100	100
117	10" SQUARE EXTERIOR DOWNLIGHT, BLACK	OSRAM	REFUGIO 2.0 10" SQUARE 120V	20W	120V	120°	100	100	100
118	10" SQUARE EXTERIOR DOWNLIGHT, BLACK	OSRAM	REFUGIO 2.0 10" SQUARE 120V	20W	120V	120°	100	100	100
119	10" SQUARE EXTERIOR DOWNLIGHT, BLACK	OSRAM	REFUGIO 2.0 10" SQUARE 120V	20W	120V	120°	100	100	100
120	10" SQUARE EXTERIOR DOWNLIGHT, BLACK	OSRAM	REFUGIO 2.0 10" SQUARE 120V	20W	120V	120°	100	100	100

1 GROUND FLOOR PLAN LIGHTS
1/16\"/>



JLA PROJECT NUMBER: 19-0802



FIRST AND EAST
WASHINGTON

LAND USE APPLICATION

PROGRESS DOCUMENTS
These documents reflect progress and intent and may be subject to change, and any additional detail. These are not final construction documents and should not be used for final posting or construction-related purposes.

DATE OF SUBMITTAL: JULY 19, 2021

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

SHEET TITLE
GROUND FLOOR
PLAN LIGHTS

SHEET NUMBER
SL-E100



SL-E101



GRAEF
GALWAY
COMPANIES

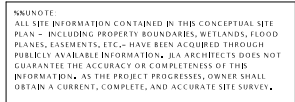
LAND USE APPLICATION

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REVISION SCHEDULE		
Mark	Description	Date

LEVEL 2 TERRACE
PLAN LIGHTS

SL-E102



Laminaria bracteata							
symbol	Qty	Tag	color	description	Grw. Rate	Grw. Length	Cost
0	83	140	blue	100% D15ANT	10	100%	1.000
1	83	140	blue	100% D15ANT	10	100%	1.000
2	83	140	blue	100% D15ANT	10	100%	1.000
3	83	140	blue	100% D15ANT	10	100%	1.000
4	83	140	blue	100% D15ANT	10	100%	1.000
5	83	140	blue	100% D15ANT	10	100%	1.000
6	83	140	blue	100% D15ANT	10	100%	1.000
7	83	140	blue	100% D15ANT	10	100%	1.000
8	83	140	blue	100% D15ANT	10	100%	1.000
9	83	140	blue	100% D15ANT	10	100%	1.000
10	83	140	blue	100% D15ANT	10	100%	1.000
11	83	140	blue	100% D15ANT	10	100%	1.000
12	83	140	blue	100% D15ANT	10	100%	1.000
13	83	140	blue	100% D15ANT	10	100%	1.000
14	83	140	blue	100% D15ANT	10	100%	1.000
15	83	140	blue	100% D15ANT	10	100%	1.000
16	83	140	blue	100% D15ANT	10	100%	1.000
17	83	140	blue	100% D15ANT	10	100%	1.000
18	83	140	blue	100% D15ANT	10	100%	1.000
19	83	140	blue	100% D15ANT	10	100%	1.000
20	83	140	blue	100% D15ANT	10	100%	1.000
21	83	140	blue	100% D15ANT	10	100%	1.000
22	83	140	blue	100% D15ANT	10	100%	1.000
23	83	140	blue	100% D15ANT	10	100%	1.000
24	83	140	blue	100% D15ANT	10	100%	1.000
25	83	140	blue	100% D15ANT	10	100%	1.000
26	83	140	blue	100% D15ANT	10	100%	1.000
27	83	140	blue	100% D15ANT	10	100%	1.000
28	83	140	blue	100% D15ANT	10	100%	1.000
29	83	140	blue	100% D15ANT	10	100%	1.000
30	83	140	blue	100% D15ANT	10	100%	1.000
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38	83	140	blue	100% D15ANT	10	100%	1.000
39	83	140	blue	100% D15ANT	10	100%	1.000
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43	83	140	blue	100% D15ANT	10	100%	1.000
44	83	140	blue	100% D15ANT	10	100%	1.000
45	83	140	blue	100% D15ANT	10	100%	1.000
46	83	140	blue	100% D15ANT	10	100%	1.000
47	83	140	blue	100% D15ANT	10	100%	1.000
48	83	140	blue	100% D15ANT	10	100%	1.000
49	83	140	blue	100% D15ANT	10	100%	1.000



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FIRST AND EAST
WASHINGTON

LAND USE APPLICATION

PROGRESS DOCUMENTS

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DATE OF SUBMITTAL: MAY 19, 2021

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

SHEET TITLE

LEVEL 2 TERRACE
PLAN CALCS

SHEET NUMBER

SL-E103

Pool Surface
Elevation (FO)
Average = 3.45
Minimum = 3.42
Maximum = 3.48
Avg/Min Ratio = 1.18
Max/Min Ratio = 1.02

SKETCH:
ALL SITE INFORMATION CONTAINED IN THIS CONCEPTUAL SITE
PLAN - INCLUDING PROPERTY BOUNDARIES, WETLANDS, FLOOD
PLANES, EASEMENTS, ETC. - HAVE BEEN ACQUIRED THROUGH
PUBLICLY AVAILABLE INFORMATION. JLA ARCHITECTS DOES NOT
GUARANTEE THE ACCURACY OR COMPLETENESS OF THIS
INFORMATION. AS THE PROJECT PROGRESSES, OWNER SHALL
OBTAIN A CURRENT, COMPLETE, AND ACCURATE SITE SURVEY.

NO.	DATE	REVISION	DESCRIPTION	BY	CHKD	DATE
1	05/19/21	1	INITIAL DESIGN	AP	AP	05/19/21
2	05/19/21	2	ADD TERRACE AREA & POOL SURF	AP	AP	05/19/21
3	05/19/21	3	ADD TERRACE AREA & POOL SURF	AP	AP	05/19/21

LEVEL 2 FLOOR PLAN CALCS
1/16" = 1'-0"



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DATE OF BRIEFING: MAY 19, 2021

REVISION SCHEDULE		
Num.	Description	Date

SHEET TITLE

LEVEL 6 TERRACE
PLAN LIGHTS

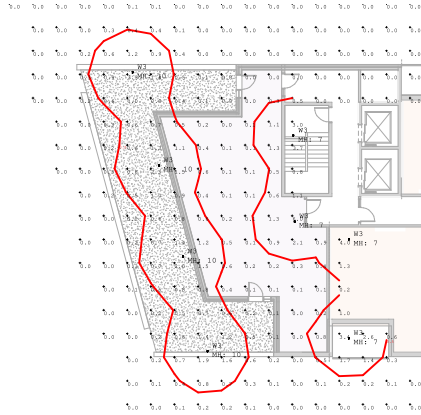
SHEET NUMBER

SL-E104



Luminaire Schedule							
Symbol	Tag	Label	Description	Sum. Watts	Sum. Lumens	LLF	
○	15	W3	BW33104-BK - R400	15.4	420	0.900	

○ LEVEL 6 TERRACE LIGHTS
3/32" = 1'-0"



Luminaire Schedule								
Symbol	Qty	Tag	Label	Description		Sum. Watts	Sum. Lumens	SPF
Q	10	W3	EXH104-BK - Grate	20W. CEILING DOWNLIGHT SOURCE		200	4200	21.000



① LEVEL 6 TERRACE PLAN CALCS
9/27/2019 1:40'



JLA
ARCHITECTS
MADISON • MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 19-0802

GRÆF
GALWAY
COMPANIES

FIRST AND EAST
WASHINGTON

LAND USE APPLICATION

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction without purpose.

DATE OF BRIEFING: MAY 19, 2021

REVISION SCHEDULE

NO.	DESCRIPTION	DATE
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SHEET TITLE

LEVEL 6 TERRACE
PLAN CALCS

SHEET NUMBER

SL-E105

RSX1 LED Area Luminaire



Specifications

SKU: RSX1-100-01
 Weight: 10.0 lbs (4.5 kg)
 Length: 10.0" (254 mm)
 Width: 10.0" (254 mm)
 Height: 10.0" (254 mm)
 Depth: 10.0" (254 mm)

Introduction

The RSX1 LED Area Luminaire delivers maximum light for its footprint and energy savings, long life and outstanding photometric performance. It is designed for use in a variety of applications, including parking lots, industrial facilities, and commercial buildings. The RSX1 is available in 100W and 150W versions, providing up to 10,000 lumens of light.

Example: RSX1 LED 100W 120VOLT DIMMABLE

Item	Value	Item	Value
Power	100W	Beam Angle	120°
Voltage	120V	Color Temperature	5000K
Life Span	50,000 hrs	Light Output	10,000 lumens
Warranty	5 years	Beam Diameter @ 100ft	10.0 ft
Material	Aluminum	Beam Diameter @ 150ft	15.0 ft
Finish	Black	Beam Diameter @ 200ft	20.0 ft
Mounting	Surface Mount	Beam Diameter @ 250ft	25.0 ft
Dimensions	10.0" x 10.0" x 10.0"	Beam Diameter @ 300ft	30.0 ft
Weight	10.0 lbs	Beam Diameter @ 350ft	35.0 ft
Accessories	None	Beam Diameter @ 400ft	40.0 ft
Notes	None	Beam Diameter @ 450ft	45.0 ft
		Beam Diameter @ 500ft	50.0 ft
		Beam Diameter @ 550ft	55.0 ft
		Beam Diameter @ 600ft	60.0 ft
		Beam Diameter @ 650ft	65.0 ft
		Beam Diameter @ 700ft	70.0 ft
		Beam Diameter @ 750ft	75.0 ft
		Beam Diameter @ 800ft	80.0 ft
		Beam Diameter @ 850ft	85.0 ft
		Beam Diameter @ 900ft	90.0 ft
		Beam Diameter @ 950ft	95.0 ft
		Beam Diameter @ 1000ft	100.0 ft

Accessories

RSX1 LED Area Luminaire accessories include mounting brackets, mounting plates, and mounting hardware. These accessories are designed to provide a secure and stable mounting for the luminaire in a variety of applications.

Mounting Information

RSX1 LED Area Luminaire is designed for surface mounting. It is available in three mounting configurations: Round Tension Mount - Pole Top Signifier, Round Tension Mount - Pole Top Signifier, and Round Tension Mount - Pole Top Signifier.

Round Tension Mount - Pole Top Signifier

Round Tension Mount - Pole Top Signifier is designed for use in a variety of applications, including parking lots, industrial facilities, and commercial buildings. It is available in three mounting configurations: Round Tension Mount - Pole Top Signifier, Round Tension Mount - Pole Top Signifier, and Round Tension Mount - Pole Top Signifier.

Round Tension Mount - Pole Top Signifier

Round Tension Mount - Pole Top Signifier is designed for use in a variety of applications, including parking lots, industrial facilities, and commercial buildings. It is available in three mounting configurations: Round Tension Mount - Pole Top Signifier, Round Tension Mount - Pole Top Signifier, and Round Tension Mount - Pole Top Signifier.

Photometric Diagrams

Photometric diagrams show the light distribution of the RSX1 LED Area Luminaire. These diagrams are designed to provide a visual representation of the luminaire's light output and beam angle.

Photometric Diagrams

Photometric diagrams show the light distribution of the RSX1 LED Area Luminaire. These diagrams are designed to provide a visual representation of the luminaire's light output and beam angle.

Photometric Diagrams

Photometric diagrams show the light distribution of the RSX1 LED Area Luminaire. These diagrams are designed to provide a visual representation of the luminaire's light output and beam angle.

Beam Spread Data

Beam spread data provides information on the beam angle and beam diameter of the RSX1 LED Area Luminaire. This data is designed to help users select the appropriate luminaire for their application.

Beam Spread Data

Beam Angle	Beam Diameter @ 100ft	Beam Diameter @ 150ft	Beam Diameter @ 200ft	Beam Diameter @ 250ft	Beam Diameter @ 300ft	Beam Diameter @ 350ft	Beam Diameter @ 400ft	Beam Diameter @ 450ft	Beam Diameter @ 500ft
120°	10.0 ft	15.0 ft	20.0 ft	25.0 ft	30.0 ft	35.0 ft	40.0 ft	45.0 ft	50.0 ft
90°	7.1 ft	10.6 ft	14.1 ft	17.6 ft	21.1 ft	24.6 ft	28.1 ft	31.6 ft	35.1 ft
60°	3.6 ft	5.3 ft	7.0 ft	8.8 ft	10.6 ft	12.4 ft	14.1 ft	15.9 ft	17.6 ft
45°	2.9 ft	4.3 ft	5.7 ft	7.1 ft	8.5 ft	9.9 ft	11.3 ft	12.7 ft	14.1 ft
30°	1.8 ft	2.6 ft	3.4 ft	4.2 ft	5.0 ft	5.8 ft	6.6 ft	7.4 ft	8.2 ft
15°	0.9 ft	1.3 ft	1.7 ft	2.1 ft	2.5 ft	2.9 ft	3.3 ft	3.7 ft	4.1 ft

Dimensions & Mounting

Dimensions and mounting information for the RSX1 LED Area Luminaire. This information is designed to help users select the appropriate luminaire for their application.

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Dimensions and mounting information for the RSX1 LED Area Luminaire. This information is designed to help users select the appropriate luminaire for their application.

Mounting Details

Mounting details for the RSX1 LED Area Luminaire. These details are designed to provide a visual representation of the luminaire's mounting options and hardware.

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Mounting details for the RSX1 LED Area Luminaire. These details are designed to provide a visual representation of the luminaire's mounting options and hardware.

RSX1 LED CUT SHEETS

JLA ARCHITECTS

MADISON • MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 19-0802

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FIRST AND EAST WASHINGTON

LAND USE APPLICATION

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change without additional notice. These are not final construction documents and should not be used for final bidding or construction purposes.

DATE OF REVISION: MAY 19, 2021

REVISION SCHEDULE

Rev.	Description	Date
1	Initial Revision	05/19/2021

SHEET TITLE

LIGHTING CUT SHEETS

SHEET NUMBER

SL-E600

19-0802-01-0000

Lighting Controls, Mounting, Cabling and Labeling

Light Beam Coverage Patterns

Beam Angle	Beam Diameter (ft)	Beam Area (sq ft)	Beam Length (ft)
15°	0.5	0.2	1.0
30°	1.0	0.8	2.0
45°	1.5	1.8	3.0
60°	2.0	3.1	4.0
75°	2.5	4.7	5.0
90°	3.0	6.3	6.0
120°	4.0	12.6	8.0
150°	5.0	19.6	10.0
180°	6.0	28.3	12.0

PERFORM & SPECIFICATIONS

Lighting Controls: The lighting controls are designed to be used with the LQ641 series. The controls are designed to be used with the LQ641 series. The controls are designed to be used with the LQ641 series.

Mounting: The LQ641 series is designed to be mounted on a wall or ceiling. The mounting is designed to be used with the LQ641 series. The mounting is designed to be used with the LQ641 series.

Cabling: The LQ641 series is designed to be cabled with the LQ641 series. The cabling is designed to be used with the LQ641 series. The cabling is designed to be used with the LQ641 series.

Labeling: The LQ641 series is designed to be labeled with the LQ641 series. The labeling is designed to be used with the LQ641 series. The labeling is designed to be used with the LQ641 series.

RSK1 LED OUT SHEETS

LUMINIS LQ641 Series Lumiquad - LED

TYPICAL PHOTOGRAPHY SUMMARY

LUMINAIRE SELECTION

Model	Power (W)	Beam Angle (°)	Beam Diameter (ft)	Beam Area (sq ft)	Beam Length (ft)
LQ641-1	10	15	0.5	0.2	1.0
LQ641-2	20	30	1.0	0.8	2.0
LQ641-3	30	45	1.5	1.8	3.0
LQ641-4	40	60	2.0	3.1	4.0
LQ641-5	50	75	2.5	4.7	5.0
LQ641-6	60	90	3.0	6.3	6.0
LQ641-7	70	120	4.0	12.6	8.0
LQ641-8	80	150	5.0	19.6	10.0
LQ641-9	90	180	6.0	28.3	12.0

OPTIONAL ACCESSORIES

Mounting: The LQ641 series is designed to be mounted on a wall or ceiling. The mounting is designed to be used with the LQ641 series. The mounting is designed to be used with the LQ641 series.

Cabling: The LQ641 series is designed to be cabled with the LQ641 series. The cabling is designed to be used with the LQ641 series. The cabling is designed to be used with the LQ641 series.

Labeling: The LQ641 series is designed to be labeled with the LQ641 series. The labeling is designed to be used with the LQ641 series. The labeling is designed to be used with the LQ641 series.

LQ641 LED OUT SHEETS

LUMINIS LQ641 Series Lumiquad - LED

TYPICAL PHOTOGRAPHY SUMMARY

LUMINAIRE SELECTION

Model	Power (W)	Beam Angle (°)	Beam Diameter (ft)	Beam Area (sq ft)	Beam Length (ft)
LQ641-1	10	15	0.5	0.2	1.0
LQ641-2	20	30	1.0	0.8	2.0
LQ641-3	30	45	1.5	1.8	3.0
LQ641-4	40	60	2.0	3.1	4.0
LQ641-5	50	75	2.5	4.7	5.0
LQ641-6	60	90	3.0	6.3	6.0
LQ641-7	70	120	4.0	12.6	8.0
LQ641-8	80	150	5.0	19.6	10.0
LQ641-9	90	180	6.0	28.3	12.0

OPTIONAL ACCESSORIES

Mounting: The LQ641 series is designed to be mounted on a wall or ceiling. The mounting is designed to be used with the LQ641 series. The mounting is designed to be used with the LQ641 series.

Cabling: The LQ641 series is designed to be cabled with the LQ641 series. The cabling is designed to be used with the LQ641 series. The cabling is designed to be used with the LQ641 series.

Labeling: The LQ641 series is designed to be labeled with the LQ641 series. The labeling is designed to be used with the LQ641 series. The labeling is designed to be used with the LQ641 series.

LUMINIS LQ641 Series Lumiquad - LED

TYPICAL PHOTOGRAPHY SUMMARY

LUMINAIRE SELECTION

Model	Power (W)	Beam Angle (°)	Beam Diameter (ft)	Beam Area (sq ft)	Beam Length (ft)
LQ641-1	10	15	0.5	0.2	1.0
LQ641-2	20	30	1.0	0.8	2.0
LQ641-3	30	45	1.5	1.8	3.0
LQ641-4	40	60	2.0	3.1	4.0
LQ641-5	50	75	2.5	4.7	5.0
LQ641-6	60	90	3.0	6.3	6.0
LQ641-7	70	120	4.0	12.6	8.0
LQ641-8	80	150	5.0	19.6	10.0
LQ641-9	90	180	6.0	28.3	12.0

OPTIONAL ACCESSORIES

Mounting: The LQ641 series is designed to be mounted on a wall or ceiling. The mounting is designed to be used with the LQ641 series. The mounting is designed to be used with the LQ641 series.

Cabling: The LQ641 series is designed to be cabled with the LQ641 series. The cabling is designed to be used with the LQ641 series. The cabling is designed to be used with the LQ641 series.

Labeling: The LQ641 series is designed to be labeled with the LQ641 series. The labeling is designed to be used with the LQ641 series. The labeling is designed to be used with the LQ641 series.

SAGA EW7624 WALL

PROJECT: [Blank]

DESCRIPTION: The SAGA EW7624 wall fixture is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications.

PERFORMANCE DETAILS: The SAGA EW7624 wall fixture is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications.

INSTALLATION: The SAGA EW7624 wall fixture is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications.

COMMENTS: [Blank]

SAGA EW7624 OUT SHEETS

tgs THINTEK MINI R LED Edge Lit Downlight

DESCRIPTION: The THINTEK MINI R LED Edge Lit Downlight is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications.

PERFORMANCE DETAILS: The THINTEK MINI R LED Edge Lit Downlight is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications.

INSTALLATION: The THINTEK MINI R LED Edge Lit Downlight is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications.

COMMENTS: [Blank]

S2 TRULY GREEN OUT SHEETS

THINTEK MINI R LED Edge Lit Downlight

Performance Information: The THINTEK MINI R LED Edge Lit Downlight is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications.

PHOTOMETRIC DATA: The THINTEK MINI R LED Edge Lit Downlight is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications.

PERFORMANCE TABLE: The THINTEK MINI R LED Edge Lit Downlight is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications.

PRODUCT DIMENSIONS: The THINTEK MINI R LED Edge Lit Downlight is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications.

INSTALLATION KITS AND ACCESSORIES: The THINTEK MINI R LED Edge Lit Downlight is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications.

THINTEK MINI R LED 54pin Lit Downlight

Performance Information: The THINTEK MINI R LED 54pin Lit Downlight is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications.

PHOTOMETRIC DATA: The THINTEK MINI R LED 54pin Lit Downlight is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications.

PERFORMANCE TABLE: The THINTEK MINI R LED 54pin Lit Downlight is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications.

PRODUCT DIMENSIONS: The THINTEK MINI R LED 54pin Lit Downlight is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications.

INSTALLATION KITS AND ACCESSORIES: The THINTEK MINI R LED 54pin Lit Downlight is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications. The fixture is designed to be used in a variety of applications.



JLA PROJECT NUMBER: 19-0802



FIRST AND EAST WASHINGTON

LAND USE APPLICATION

PROGRESS DOCUMENTS

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DATE OF REVIEW: MAY 19, 2021

REVISION SHEET		
NO.	DESCRIPTION	DATE

SHEET TITLE

LIGHTING CUT SHEETS

SHEET NUMBER

SL-E601



JLA
ARCHITECTS
MADISON • MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 19-0802

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WASHINGTON

LAND USE APPLICATION

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction without purpose.

DATE OF EXPIRATION: MAY 15, 2021

REVISION SCHEDULE

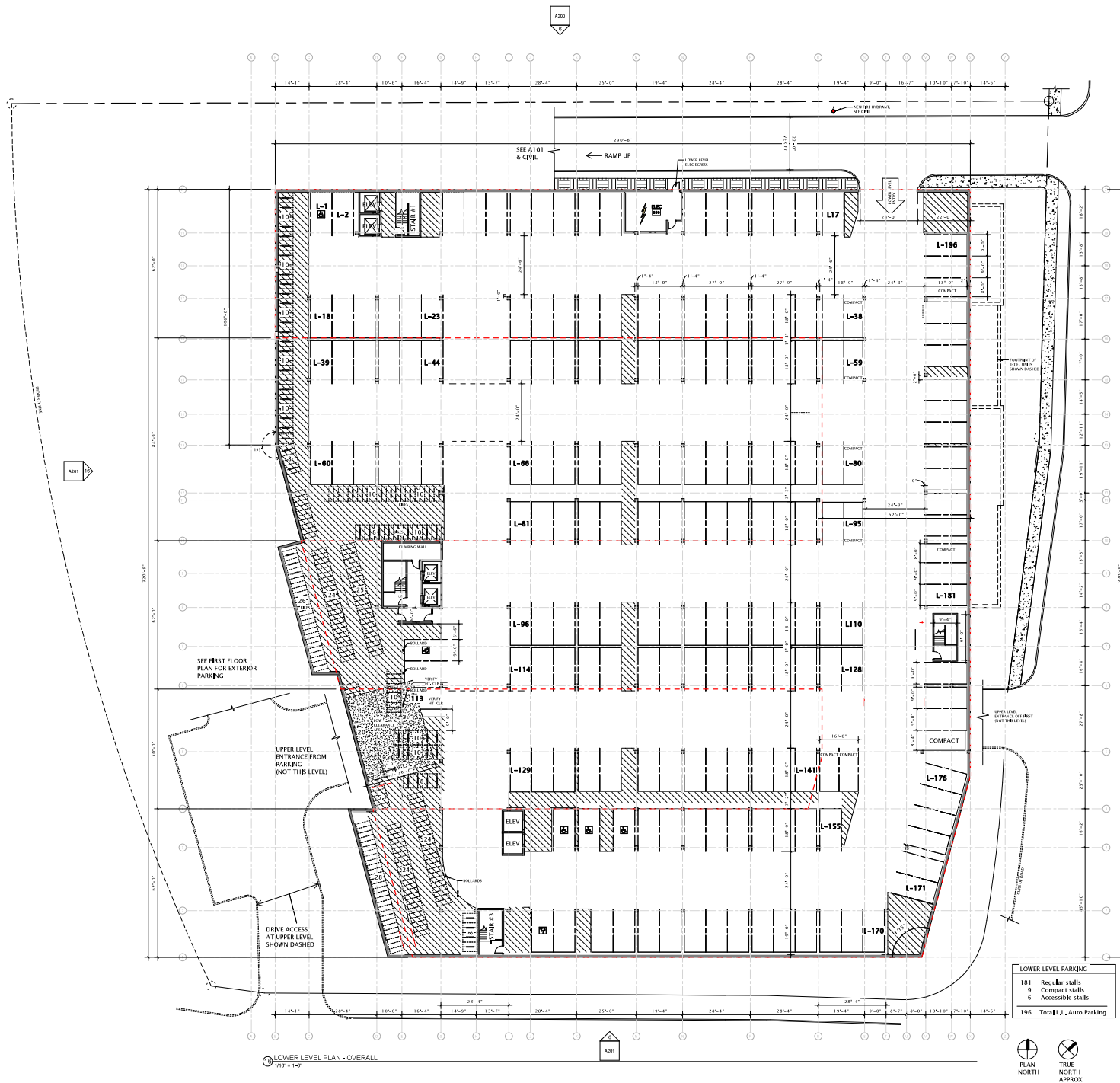
No.	Description	Date
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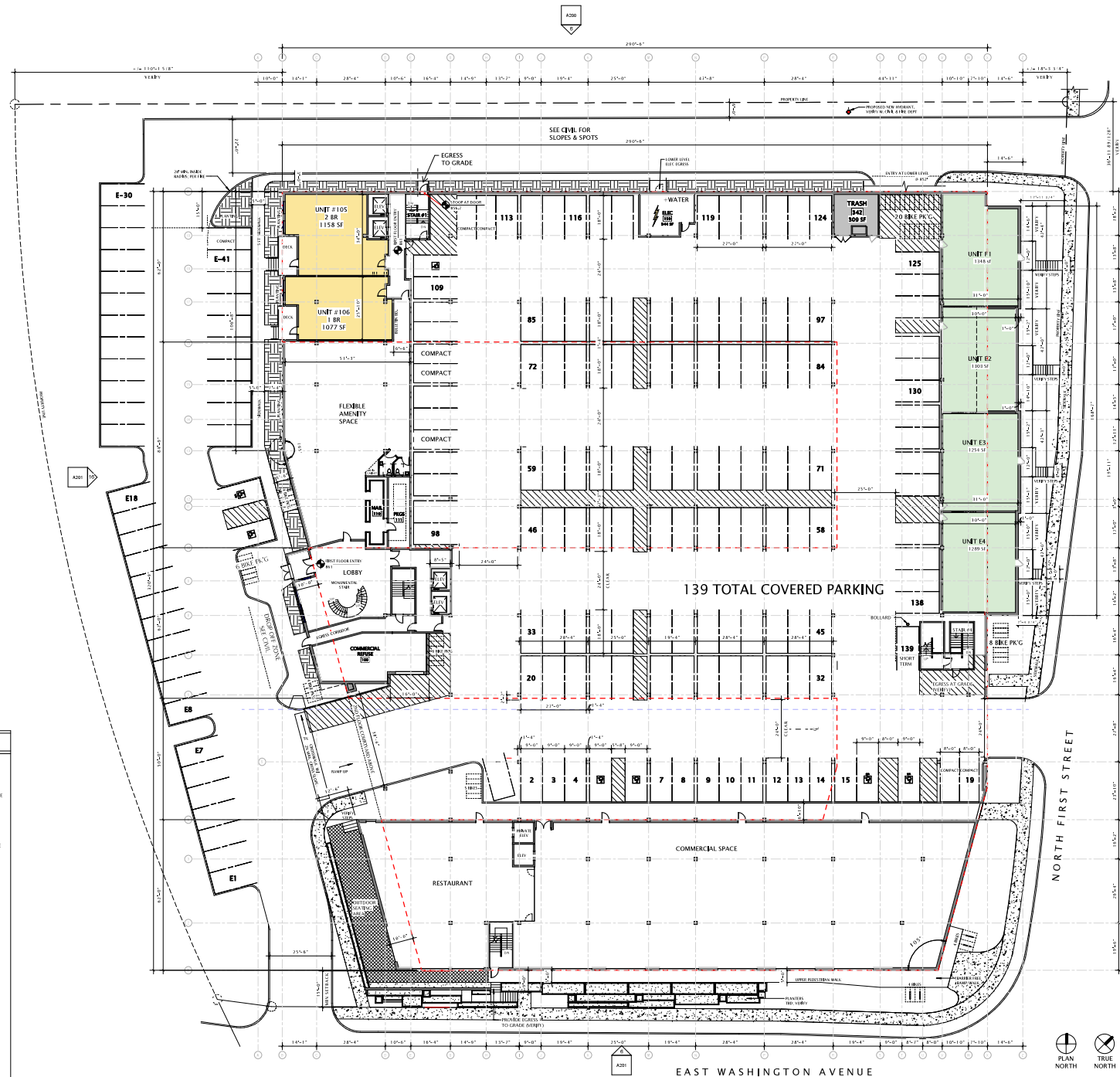
SHEET TITLE

LOWER LEVEL PLAN -
OVERALL

SHEET NUMBER

A100





GENERAL PLAN NOTES

1. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF CURB OR MASONRY WALL UNLESS OTHERWISE NOTED.
2. WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CLADDING FOR WALLS VARY. ALL WINDOW OPENINGS WITH MANUFACTURED GLASS.
3. VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
4. ALL WOOD EXPOSED TO THE OUTSIDE OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PROTECTED WITH PRESERVATIVE.
5. VERIFY ALL WINDOW, DOOR, TANK, SHOWER, FIREPLACE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURERS.
6. PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS, CLOSETS, MECHANICAL ROOMS, CLOSETS, AND OTHER PLUMBING WALLS.
7. PROVIDE BLOCKING AT ALL GYM BAR LOCATIONS - INCLUDING LOCKDOWN OF FUTURE GYM BAR & SEATING IN BATHROOMS DESIGNATED AS ACCESSIBLE.
8. PROVIDE BRIDGING FOR ALL BEAMS. TYPICAL - TYPICAL THROUGHOUT ENTIRE BUILDING.
9. FIELD VERIFY ALL CABINETRY LAYOUTS AND COORDINATE WITH THE MANUFACTURER'S REQUIREMENTS OF ALL APPLIANCES & FEATURES. PROVIDE FINISHED FLOOR FINISHES AT ALL EXPOSED CABINETRY ENDS.
10. CALL OUT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CALL OUT PERIMETER OF ALL COUNTERTOP ENCLOSURES & DISPOSALS.
11. DETAIL FLOORS, ACCESSIBLE, ETC. ACCORDING TO THE MANUFACTURER'S REQUIREMENTS.
12. ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED BY THE SUPPLIER MANUFACTURING AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.

FIRST FLOOR PLAN
1/16" = 1'-0"

JLA PROJECT NUMBER: 19-0802

FIRST AND EAST
WASHINGTON

LAND USE APPLICATION

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction without purpose.

DATE OF REVISION: 04/11/2021

REVISION SCHEDULE		
No.	Description	Date

SHEET TITLE

FIRST FLOOR PLAN -
OVERALL

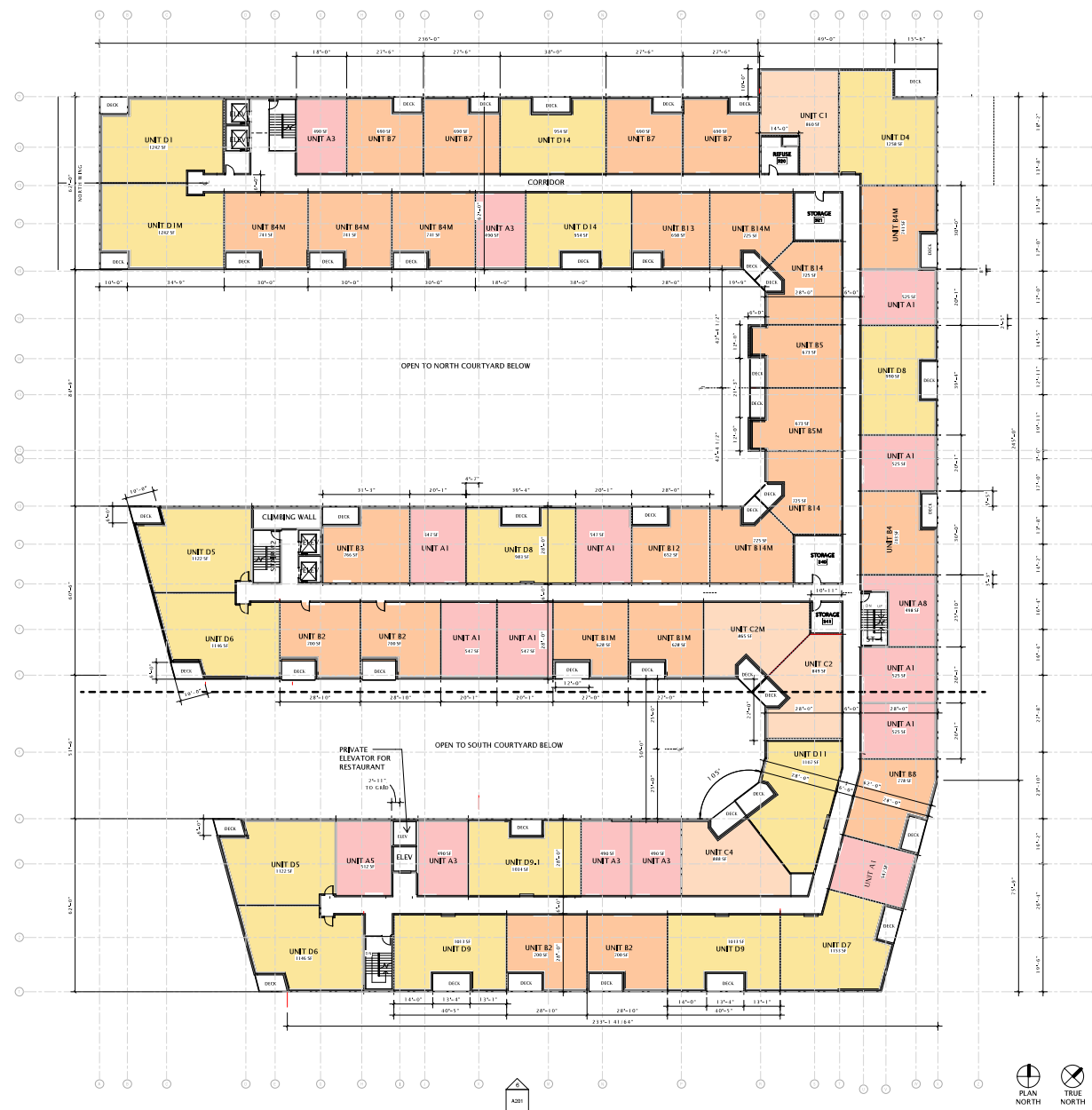
SHEET NUMBER

A101

[illegible]

A102

- GENERAL PLAN NOTES
1. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF TYPICAL MASONRY WALLS UNLESS OTHERWISE NOTED.
 2. WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
 3. VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
 4. ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESURE TREATED.
 5. VERIFY ALL WINDOW, DOOR, TUB, SHOWER, BRIDGE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
 6. PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING INTERIORS, LAUNDRY ROOMS, CLOSETS, MECHANICAL ROOMS, CLOSETS, AND OTHER ROOMS.
 7. PROVIDE BLOCKING AT ALL GARAGE LOCATIONS - INCLUDING LOCATIONS OF FUTURE GARAGE BAYS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
 8. PROVIDE REINFORCING PER 2015 IBC 1703.3.1 - TYPICAL THROUGHOUT TO THE BUILDING.
 9. FIELD VERIFY ALL CLOSET LAYOUTS AND COORDINATE WITH THE FURNITURE, REFINISHING, AND ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END FINISHES AT ALL EXPOSED CLOSET ENDS.
 10. GUAIR AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. GUAIR AT PERIMETER OF ALL COUNTERTOP BACKSPLASHES & REFRIGERATORS.
 11. INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MANUFACTURER'S SCHEDULE.
 12. ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIALS AND WINDOW SCHEDULES.



THIRD FLOOR PLAN - OVERALL

GENERAL PLAN NOTES

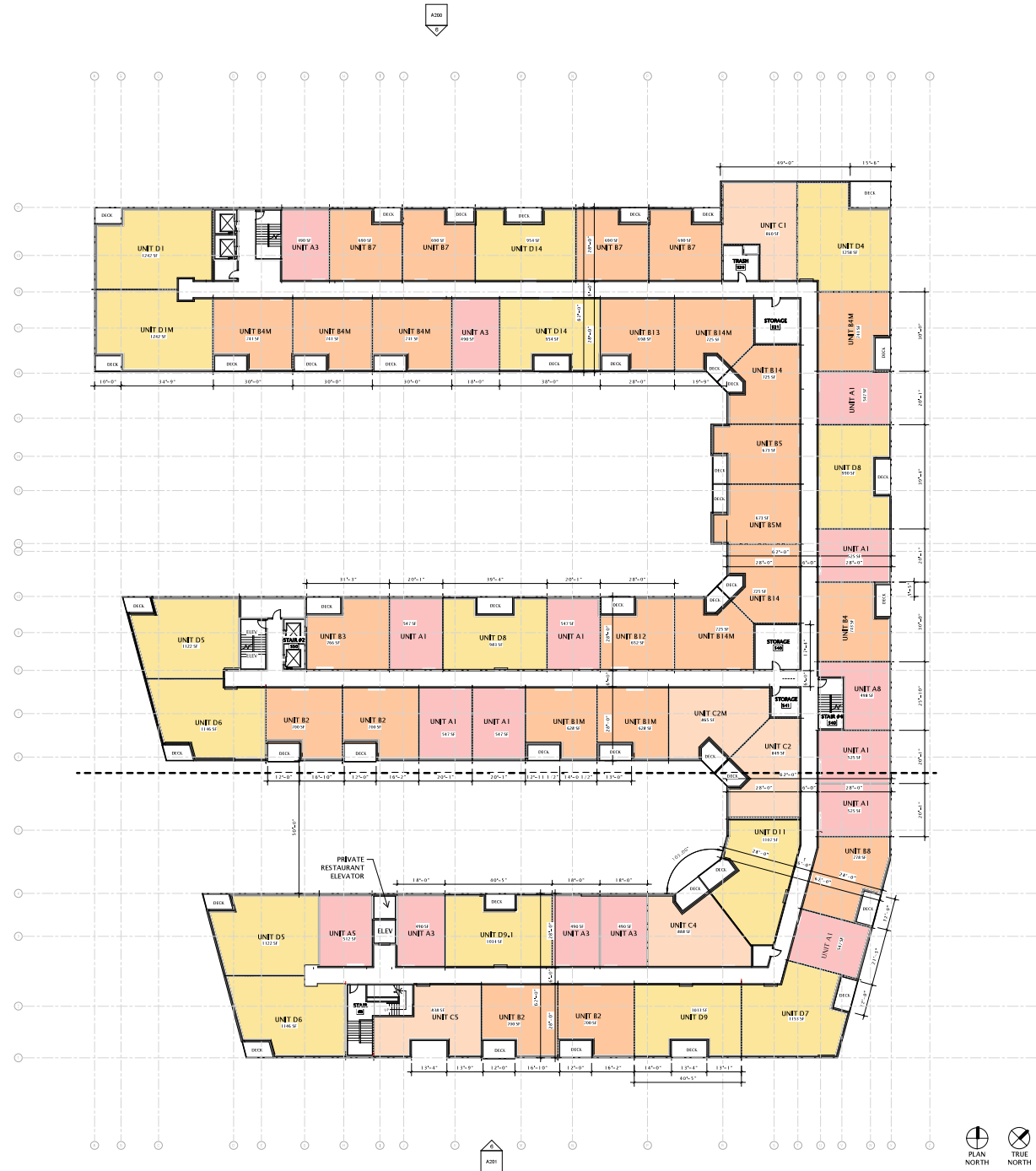
1. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
2. WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
3. VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
4. ALL WINDOWS EXPOSED TO THE INTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PROPERLY SEALED.
5. VERIFY ALL WINDOW, DOOR, TUB, SHOWER, FIREPLACE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
6. PROVIDE SOUND BATTLEMENTS AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS, CLOSETS, MECHANICAL ROOMS, CLOSETS, AND OTHER PLUMBING WALLS.
7. PROVIDE BLOCKING AT ALL CHAIR BAR LOCATIONS - INCLUDING LOCATION OF FUTURE CHAIR BARS & SEATS IN BATHROOMS DEMONSTRATED AS ACCESSIBLE.
8. PROVIDE REINFORCING PER 2015 IBC 21.02.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.
9. FIELD VERIFY ALL CARRIER LAYOUTS AND CONFORM WITH THE CONSTRUCTION REQUIREMENTS OF ALL APPLIANCES & FIXTURES, PROVIDE FINISHED FLOOR FINISHES AT ALL KNOWN CARRIER ENDS.
10. CALL OUT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CALL OUT PERIMETER OF ALL CLOSET TOP ENCLOSURES & BENCHES.
11. INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MANUFACTURER'S SCHEDULE.
12. ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED BY THE SCHEDULE & DIMENSIONS AND AS INDICATED ON THE EXTERIOR MATERIALS AND WINDOW SCHEDULES.



FOURTH FLOOR PLAN - OVERALL
1/8" = 1'-0"

GENERAL PLAN NOTES

1. BUILDING ORIENTATIONS ARE TO OUTSIDE FACE OF STUDY OR HAZARDOUS WALKS (OTHERWISE NOTED).
2. WINDOW & DOOR LOCATION ORIENTATIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTACT FOR SHALL VERIFY ALL BRIGHT OPENINGS WITH MANUFACTURER.
3. VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
4. ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESURE TREATED.
5. VERIFY ALL WINDOW, DOOR, FIBER, SHOWER, FIBERFACE, APPLIANCE, EQUIPMENT, ETC., BRIGHT OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
6. PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS, CLOSETS, MECHANICAL ROOMS, CORRIDORS, AND OTHER PLUMBING WALLS.
7. PROVIDE BLOCKING AT ALL GARBAGE LOCATIONS, INCLUDING LOCATIONS OF FUTURE GARBAGE BINS & MATH IN BATHROOMS DESIGNATED AS ACCESSIBLE.
8. PROVIDE FRIBLOCKING PER DETAIL T-10.2.1 - TYPICAL THROUGHOUT ENTRY BUILDING.
9. FIELD VERIFY ALL CABINETS LAYOUTS AND COORDINATE WITH THE DRINKING REQUIREMENTS OF ALL APPLIANCES & FIBERFACE, PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINETS ENDS.
10. CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES, CASK AT PERIMETER OF ALL COUNTERTOP BACKSPASHES & SINKSPLASHES.
11. INSTALL INTERIOR ACCESSORIES, ETC. ACCORDING TO THE MANUFACTURER'S SCHEDULE.
12. ALL WINDOWS & PARTIAL DOORS SHALL BE AS SHOWN IN THE SCHEDULES & FINISHES AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.



PROGRESS DOCUMENTS

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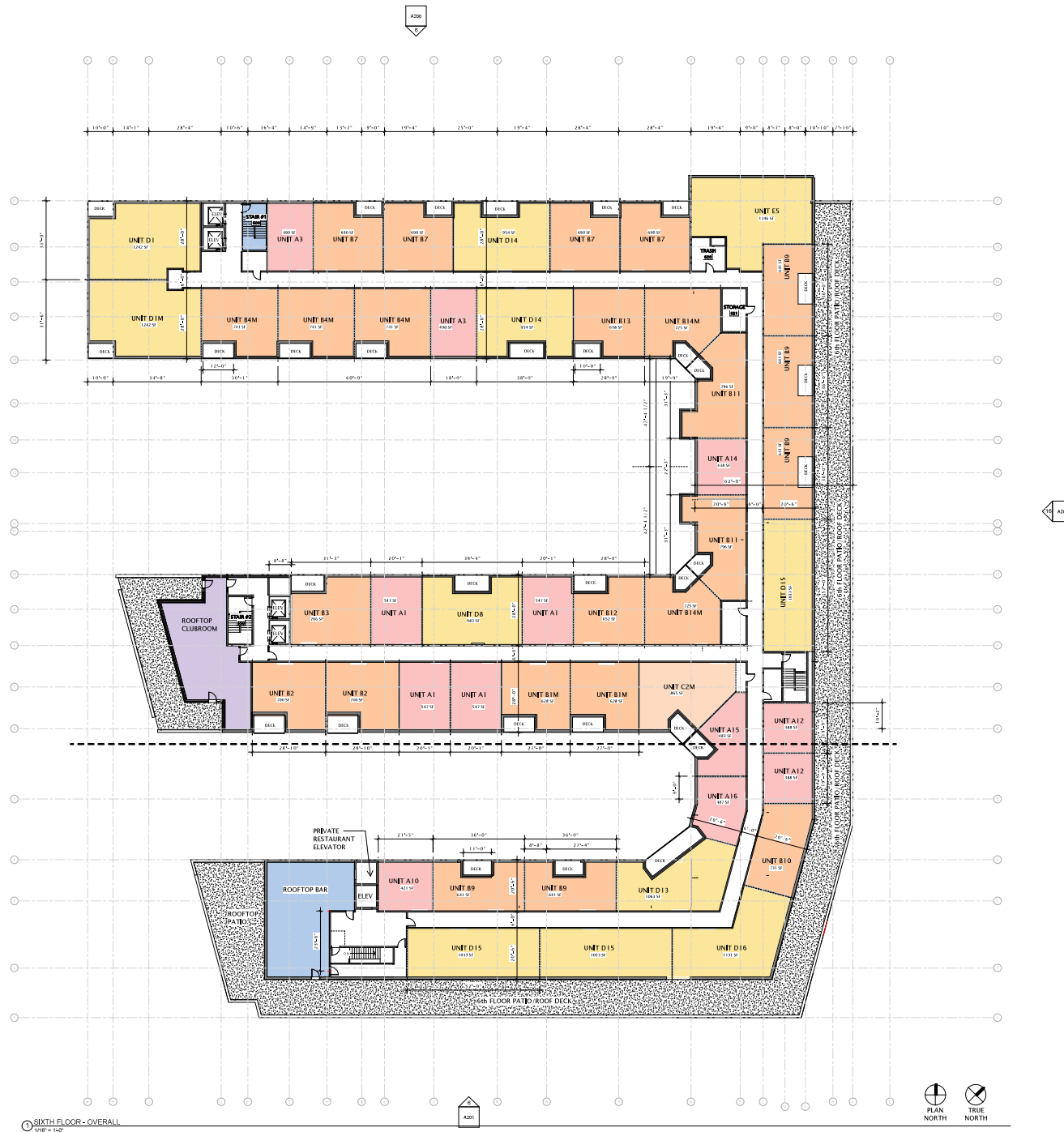
NO.	DESCRIPTION	DATE

SHEET TITLE

FIFTH FLOOR PLAN -
OVERALL

SHEET NUMBER

A105



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NO.	Description	Date

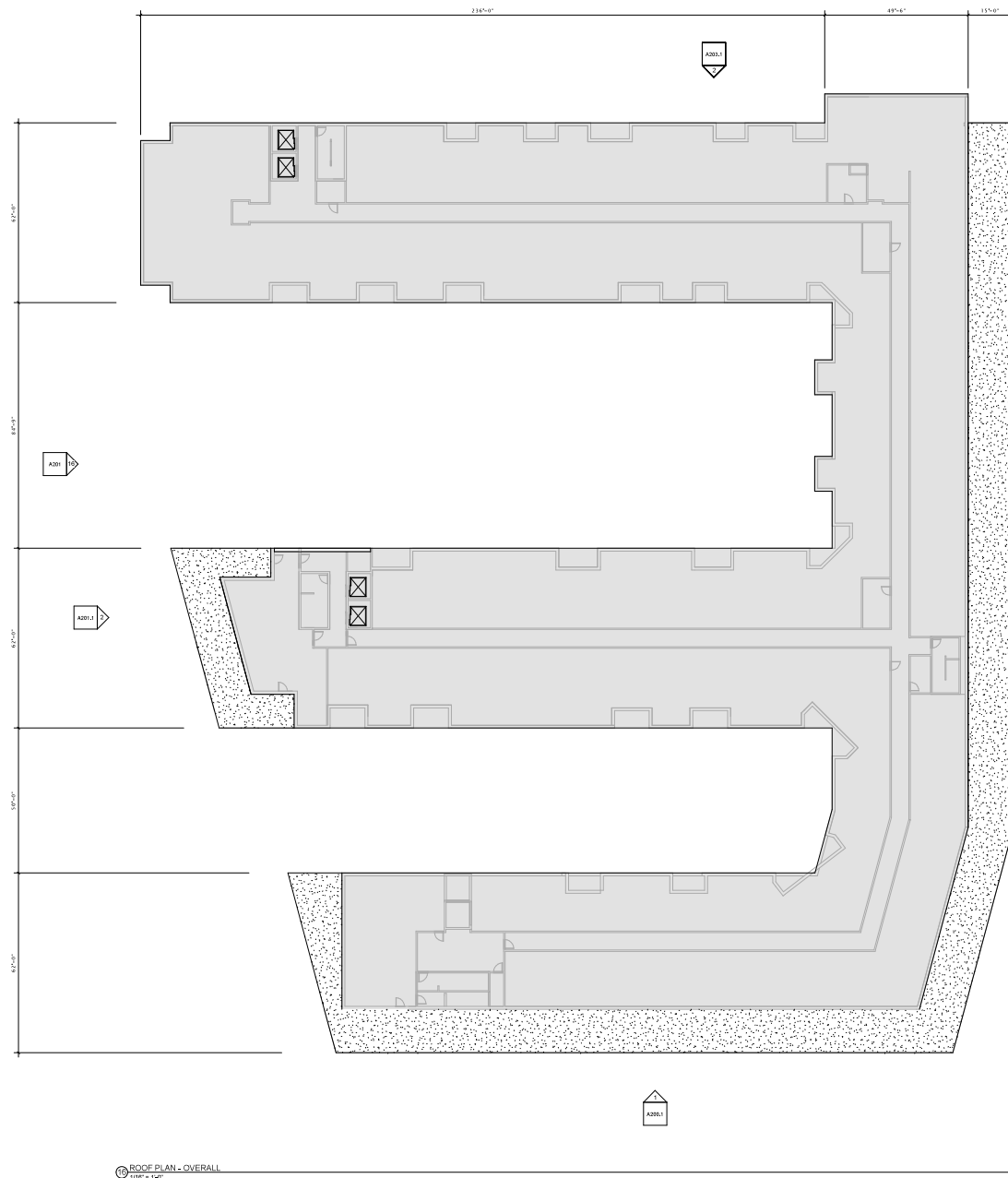
SHEET TITLE

SIXTH FLOOR PLAN - OVERALL

SHEET NUMBER

A106

- ROOF NOTES**
1. ROOF SHALL BE ROOF ASSEMBLY - W/LS, UNLESS NOTED OTHERWISE. TOP CHORDS OF TRUSSES SHALL BE RECEIVED AT 1/4" PER FOOT MINIMUM TO PROVIDE ROOF DRAINAGE. (SEE A501 FOR ROOF ASSEMBLY DESCRIPTIONS.)
 2. PROVIDE TAPERED INSULATION BOARD WHERE NECESSARY OVER ROOF ASSEMBLY TO MAINTAIN A 1/4" PER FOOT MINIMUM PITCH TO ROOF DRAINS. PROVIDE A 3/16" PER FOOT MINIMUM PITCH FOR TAPERED INSULATION SADDLES AND/ OR CRICKETS WHERE NECESSARY.
 3. ROOF DRAINS ARE SHOWN FOR INTENT ONLY. DESIGN/BUILD PLUMBING CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS TO DETERMINE FINAL QUANTITY, SIZE AND LOCATION OF ROOF DRAINS AND OVERFLOW DRAINS. COORDINATE ALL ROOF DRAINS WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.
 4. AT ALL FIRE WALLS, PROVIDE NON-COMBUSTIBLE ROOF SHEATHING. EXTENDING TO A DISTANCE OF 48" MINIMUM FROM BOTH SIDES OF FIRE WALL.
 5. PROVIDE WATERTIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURER'S STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT MECA STANDARDS.
 6. VERIFY ANY ROOF TOP EQUIPMENT AND PENETRATIONS WITH OWNER'S DESIGN / BUILD MECHANICAL, ELECTRICAL, AND PLUMBING PLANS.
 7. DESIGN / BUILD CONTRACTORS PROVIDING ROOF PENETRATIONS MUST PROVIDE TEMPORARY WEATHERTIGHT COVERS FOR OPENING UNTIL PLACEMENT OF FINISHED WORK OR COVERING.
 8. OVERHANGS IF ANY SHALL BE AS SHOWN ON ROOF PLAN.
 9. PROVIDE CONTINUOUS ATTIC DRAFTSTOPPING AT LOCATIONS INDICATED ON ROOF PLAN. EXTEND DRAFTSTOPPING FULLY INTO SOFFITS AND PENETRATIONS. SEAL ALL JOINTS WITH CAULK AND/ OR TAPE AS NEEDED TO PROVIDE SMOOFTIGHT SEAL.
 10. ALL DRYERS SHALL BE VENTED WITH 1/2" CLASSIFIED DRYER BOX & VENT. PROVIDE POWER BOOSTER FAN/ VENT IF VENT RUN EXCEEDS 25'-0".
 11. PLUMBING DESIGN-BUILD CONTRACTOR TO COORDINATE THE LOCATION OF ROOF FROST PROOF ROSE WITH OWNER. COORDINATE LOCATION WITH TRUSS LAYOUT AND UNIT LAYOUT BELOW.
 12. PROVIDE PREFINISHED SHEET METAL COPINGS AND/ OR GRAVEL STOP-UP PLANS/ REFER TO EXTERIOR ELEVATIONS MATERIAL SCHEDULE FOR SPECIFIED METAL COLORS.
 13. PROVIDE PREFINISHED SHEET METAL DOWNSPOUTS WHERE INDICATED. REFER TO EXTERIOR ELEVATIONS MATERIAL SCHEDULE FOR SPECIFIED METAL COLORS. DESIGN/BUILD PLUMBING CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS AND DETERMINE FINAL QUANTITY, SIZE AND LOCATION OF DOWNSPOUTS AND SHALL COORDINATE WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.
 14. ROOF DRAINS AND/ OR DOWNSPOUTS SHOWN FOR INTENT ONLY. ROOFING AND PLUMBING CONTRACTORS SHALL DETERMINE AND COORDINATE FINAL ROOF DRAIN/ DOWNSPOUT SIZES AND LOCATIONS BASED ON DRAINAGE CALCULATIONS PROVIDED BY PLUMBING SUB-CONTRACTOR.



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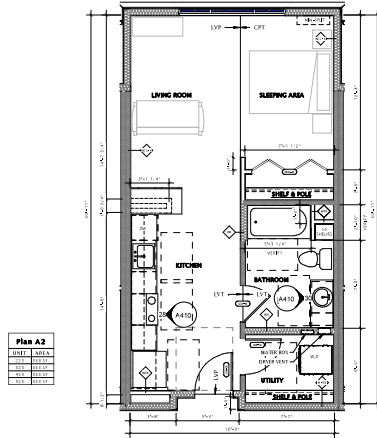
PROGRESS DOCUMENTS
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NO.	DESCRIPTION	DATE

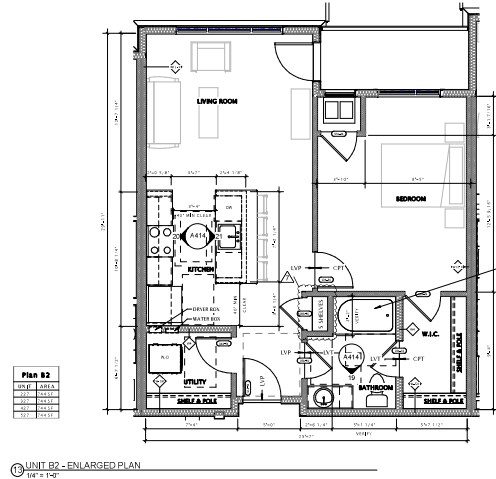
SHEET TITLE
**ROOF PLAN
OVERALL**

SHEET NUMBER
A110

TYPICAL STUDIO UNIT



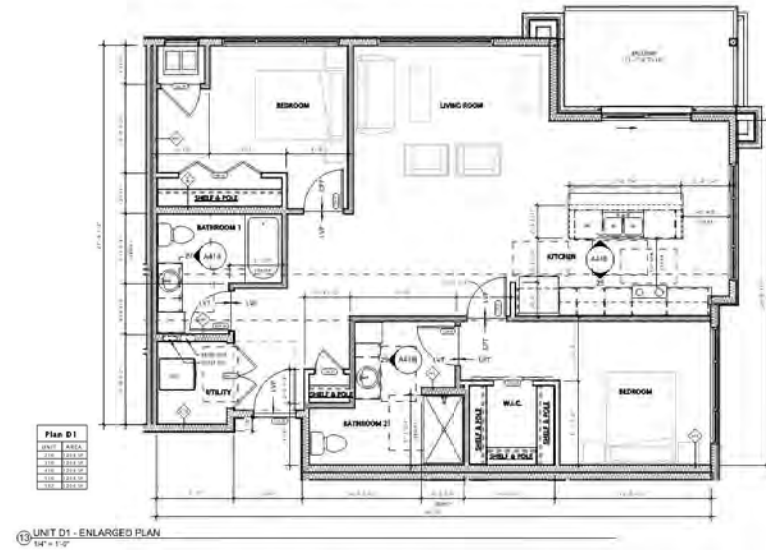
TYPICAL 1 BEDROOM UNIT



UNIT PLAN NOTES

1. DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
2. SEE OVERALL PLANS FOR EXTERIOR DOOR & WINDOW LOCATIONS. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
3. ALL INTERIOR WALLS SHALL BE TYPE W2 UNLESS OTHERWISE NOTED.
4. ALL UNITS SHALL HAVE PLUMBING ROUGHED IN FOR LAUNDRY APPLIANCES.
5. VERIFY ALL TUB AND SHOWER ROUGH OPENINGS WITH MANUFACTURER.
6. PROVIDE SOUND BATT INSULATION WITHIN ALL STUD WALLS AS INDICATED ON ENLARGED UNIT PLANS.
7. ALL UNIT BATHROOMS SHALL MEET THE ACCESSIBILITY REQUIREMENTS OF G006 AND G007.
8. ALL APPLIANCES, EQUIPMENT, ETC IN ADA (TYPE 'A') UNITS SHALL HAVE ACCESSIBLE OPERABLE PARTS PER ANSI 117.1 - SECTION 309.
9. PROVIDE BLOCKING AT ALL TOWEL BAR & GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
10. FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINERY ENDS.
11. TYPICAL CLOSETS SHALL HAVE CLOSET SYSTEM BY CALIFORNIA CLOSETS. LINEN & PANTRY CLOSETS SHALL HAVE 5 WIRE SHELVES. SHELVES THAT TERMINATE INTO AN ANGLED WALL SHALL BE LAMINATE SHELVING.
12. CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPLASHES & SIDESPLASHES.
13. SEE SCOPE SPECIFICATIONS FOR BATHROOM ACCESSORIES THAT ARE TO BE PROVIDED.
14. INSTALL MOISTURE RESISTANT, PAPERLESS GYPSUM WALL BOARD AT WALLS BEHIND ALL PLUMBING FIXTURES.
15. INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.

TYPICAL 2 BEDROOM UNIT



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SHEET TITLE

ENLARGED UNIT
PLANS

SHEET NUMBER

A140



BRICK 1 – PRIMARY BRICK
EMPEROR SIZE (2.25" X 15 5/8")

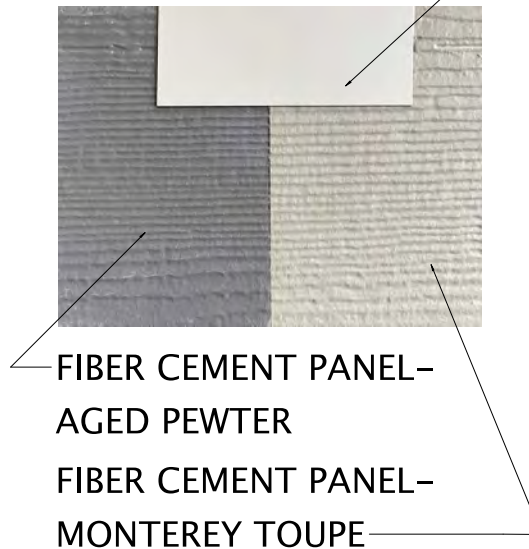


BRICK 2 – BASE BRICK
EMPEROR SIZE (3 9/16" X 15 5/8")



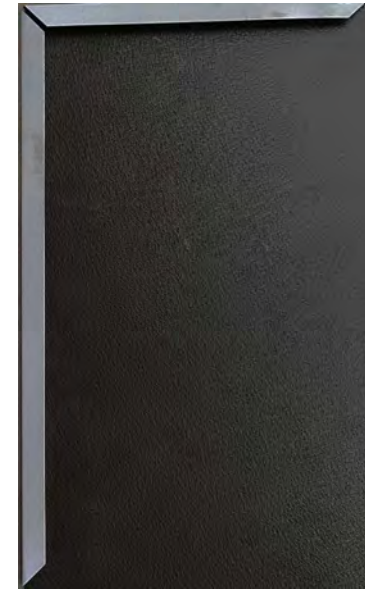
MATTE FINISH – BLACK
CORRUGATED METAL
PANELS

LIGHT GREY METAL
PANEL TRIM



FIBER CEMENT PANEL–
AGED PEWTER

FIBER CEMENT PANEL–
MONTEREY TOUPE



MATTE FINISH – BLACK
INTERLOCKING FLAT
METAL PANELS



FIBER CEMENT PANELS –
MOUNTAIN CEDAR

* APPEARANCE OF EXTERIOR MATERIALS IN FOLLOWING IMAGES
MAY APPEAR INCONSISTENT DUE TO TRUE DAYLIGHT PARAMETERS.

MATTE FINISH BLACK
INTERLOCKING FLAT METAL
PANELS

PRECAST TRIM

BRICK 1

BRICK 2

HORIZONTAL CABLE
RAILING DARK GREY FINISH

MATTE FINISH BLACK
CORRUGATED METAL PANEL

FIBER CEMENT - MOUNTAIN
CEDAR

FIBER CEMENT PANEL -
MONTEREY TOUPE



© EAST ELEVATION - IMAGE
3/22" = 1'-0"

MATTE FINISH BLACK
CORRUGATED METAL PANEL

FIBER CEMENT PANEL -
MONTEREY TOUPE

MATTE FINISH BLACK
INTERLOCKING FLAT METAL
PANELS



BRICK 1

PRECAST TRIM

BRICK 2

FIBER CEMENT - MOUNTAIN
CEDAR

© SOUTH ELEVATION - IMAGE
3/22" = 1'-0"



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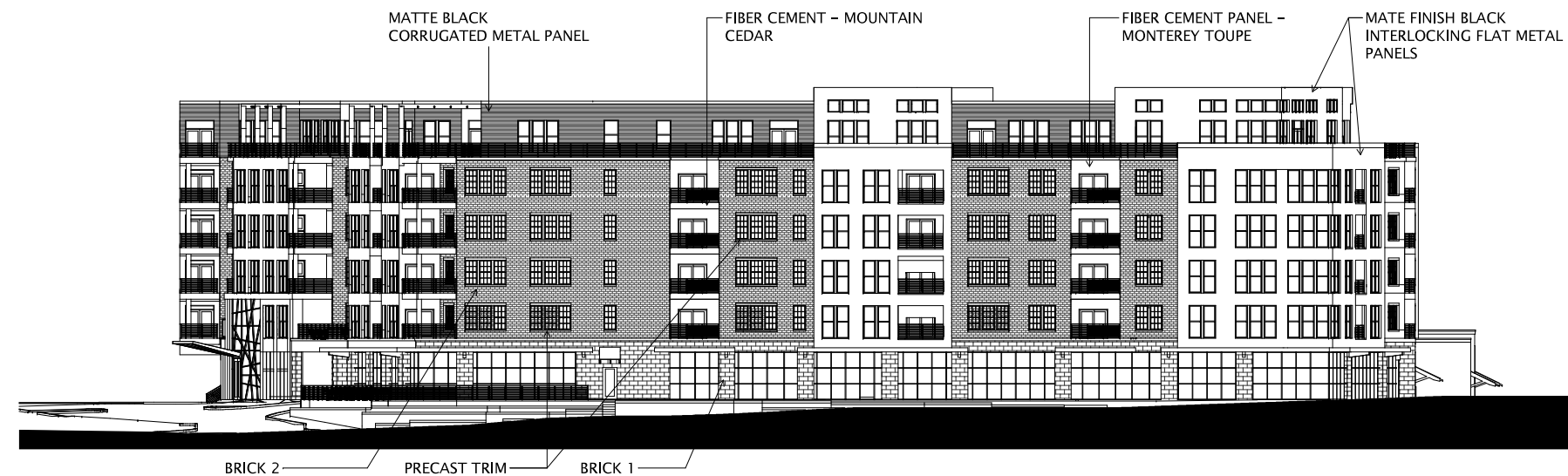
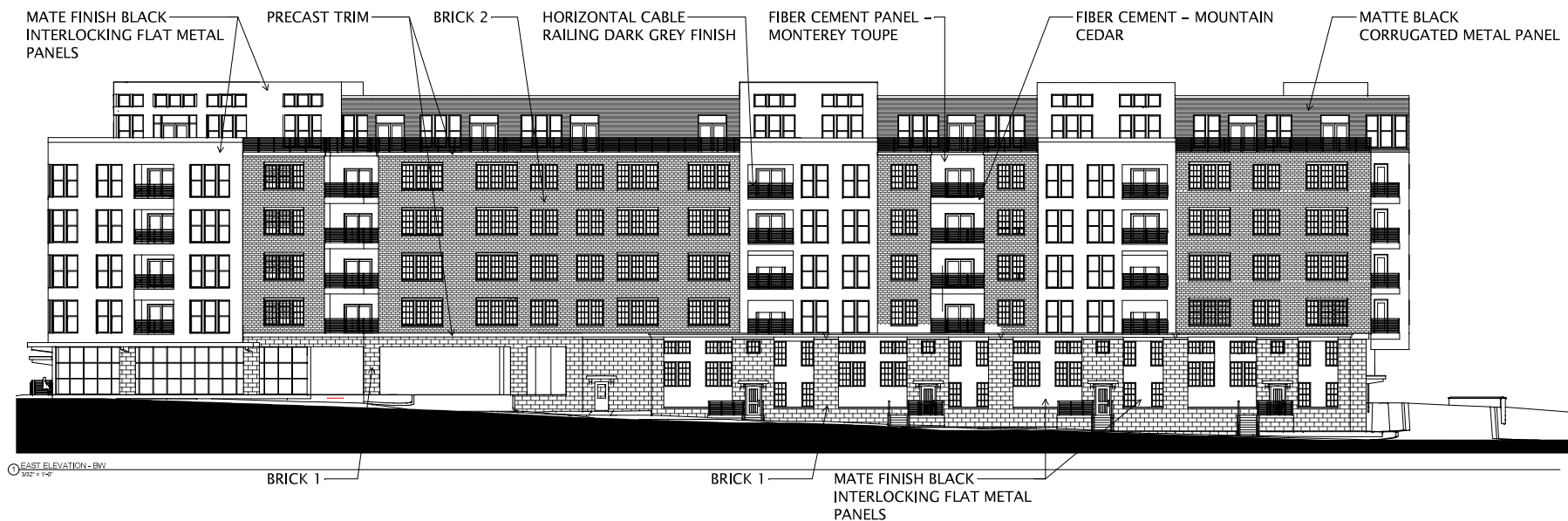
NO.	DESCRIPTION	DATE

SHEET TITLE

EXTERIOR
ELEVATIONS -
PERIMETER

SHEET NUMBER

A200.1



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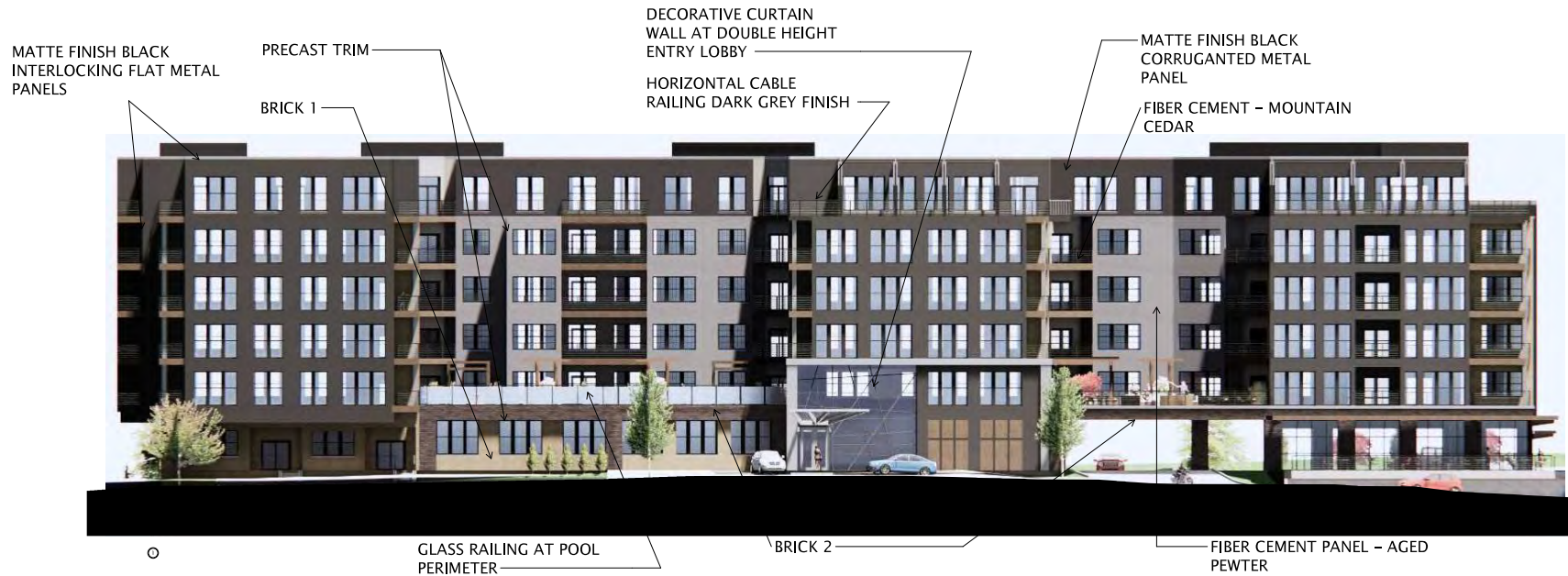
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DATE OF ISSUANCE		MAY 19, 2021
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
**EXTERIOR
ELEVATIONS - BLACK
& WHITE**

SHEET NUMBER
A200.2



WEST ELEVATION - IMAGE
3/22" = 1'-0"



NORTH ELEVATION - IMAGE
3/22" = 1'-0"



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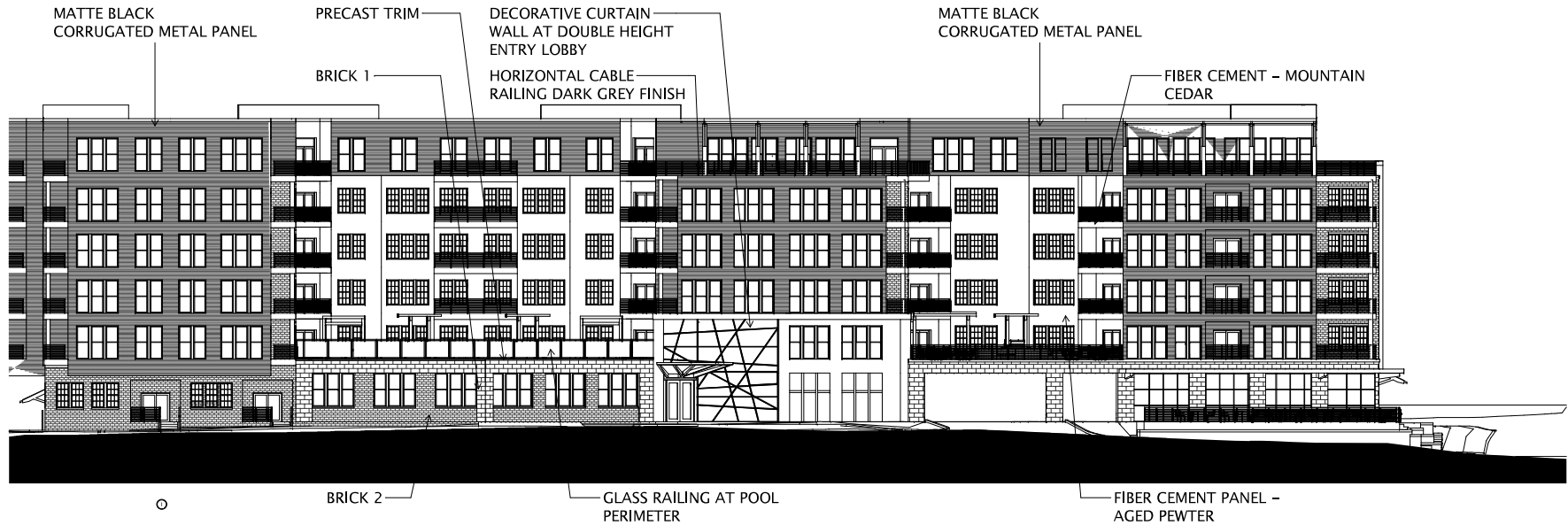
REVISION SCHEDULE		
No.	Description	Date

SHEET TITLE

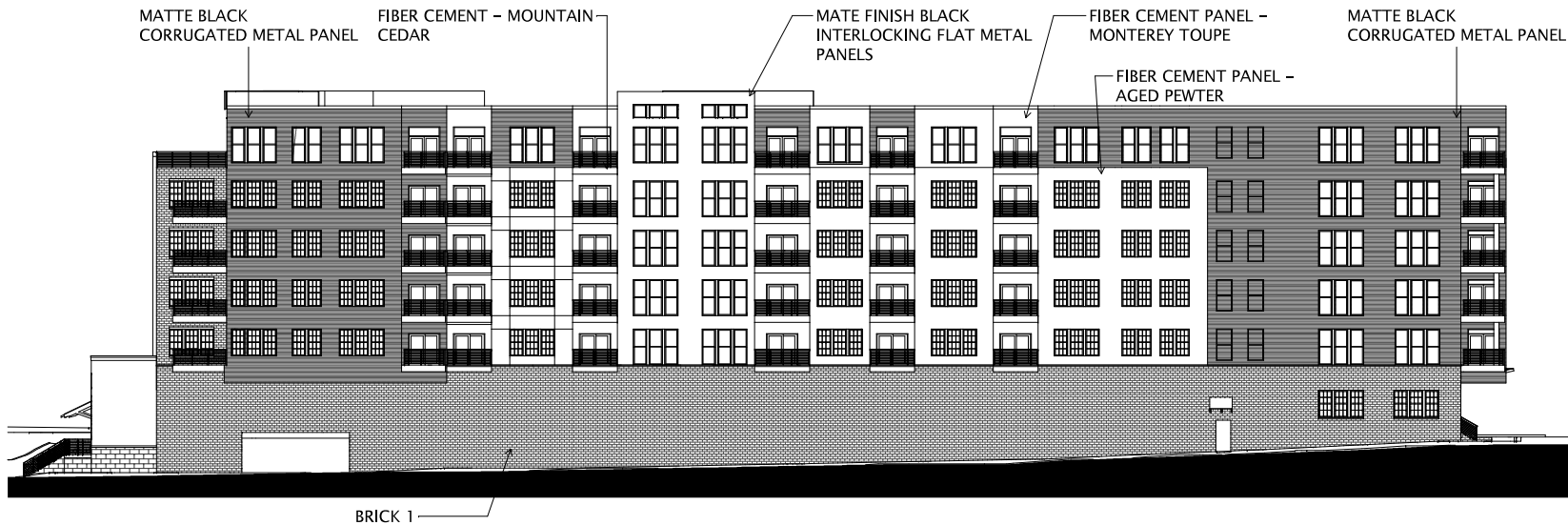
EXTERIOR
ELEVATIONS -
PERIMETER

SHEET NUMBER

A201.1



1 WEST ELEVATION - BW
3/22" = 1'-0"



2 NORTH ELEVATION - BW
3/32" = 1'-0"



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No.	Description	Date

SHEET TITLE

EXTERIOR
ELEVATIONS - BLACK
& WHITE

SHEET NUMBER

A201.2



NORTH COURTYARD - NORTH ELEVATION
302' x 140'



NORTH COURTYARD - SOUTH ELEVATION
302' x 140'



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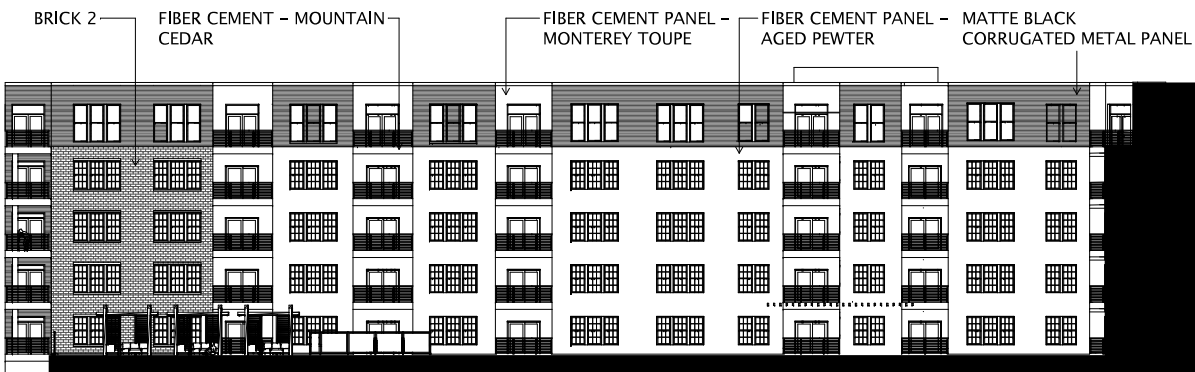
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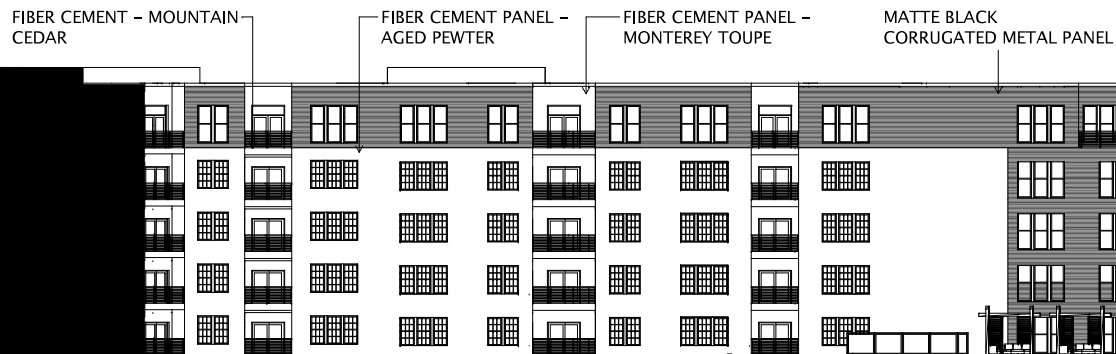
EXTERIOR
ELEVATIONS - NORTH
COURTYARD

SHEET NUMBER

A202.1



Ⓢ NORTH COURTYARD - NORTH ELEVATION - BW
202' x 147'



Ⓢ NORTH COURTYARD - SOUTH ELEVATION - BW
202' x 147'



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NO.	DESCRIPTION	DATE

SHEET TITLE

EXTERIOR
ELEVATIONS - BLACK
& WHITE

SHEET NUMBER

A202.2



① SOUTH COURTYARD - NORTH ELEVATION
3/02" = 1'-0"



② SOUTH COURTYARD - SOUTH ELEVATION
3/02" = 1'-0"



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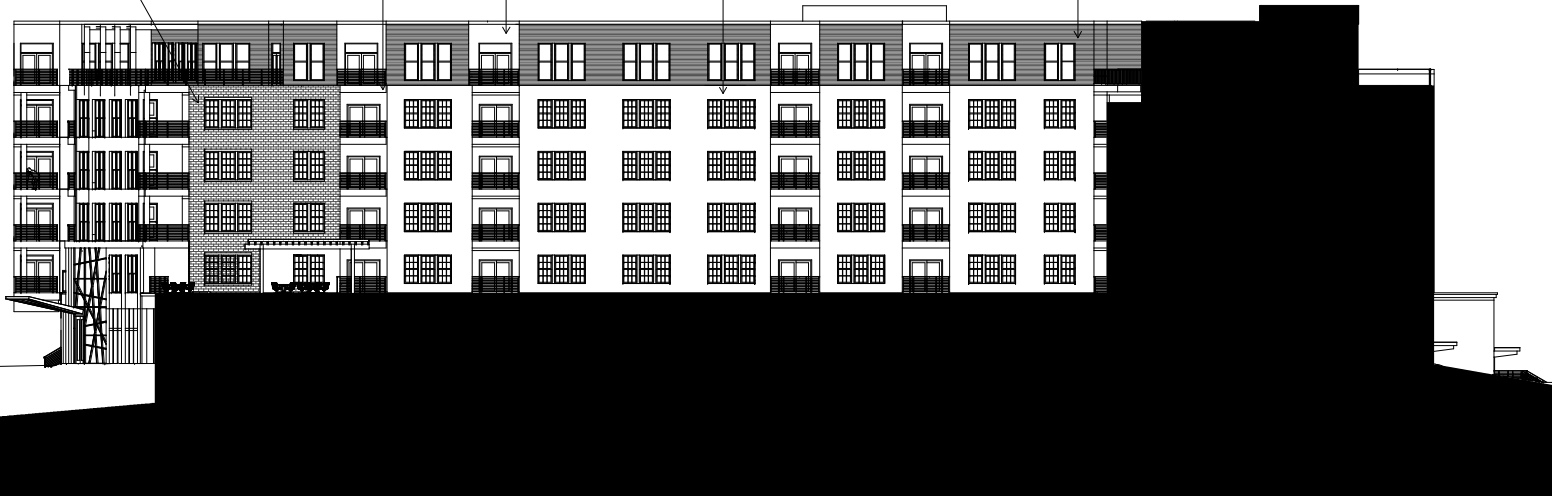
SHEET TITLE

EXTERIOR
ELEVATIONS - SOUTH
COURTYARD

SHEET NUMBER

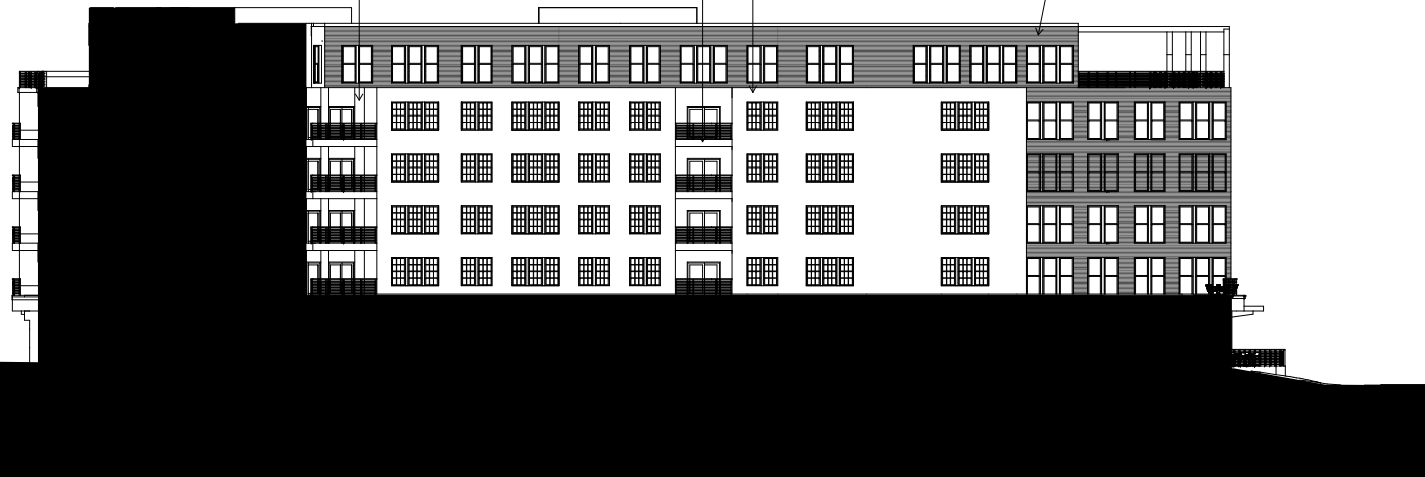
A203.1

BRICK 2 FIBER CEMENT - MOUNTAIN CEDAR FIBER CEMENT PANEL - MONTEREY TOUPE FIBER CEMENT PANEL - AGED PEWTER MATTE BLACK CORRUGATED METAL PANEL



1 SOUTH COURTYARD - NORTH ELEVATION - BW
3/22/24 1:4"

FIBER CEMENT PANEL - MONTEREY TOUPE FIBER CEMENT - MOUNTAIN CEDAR FIBER CEMENT PANEL - AGED PEWTER MATTE BLACK CORRUGATED METAL PANEL



2 SOUTH COURTYARD - SOUTH ELEVATION - BW
3/22/24 1:4"



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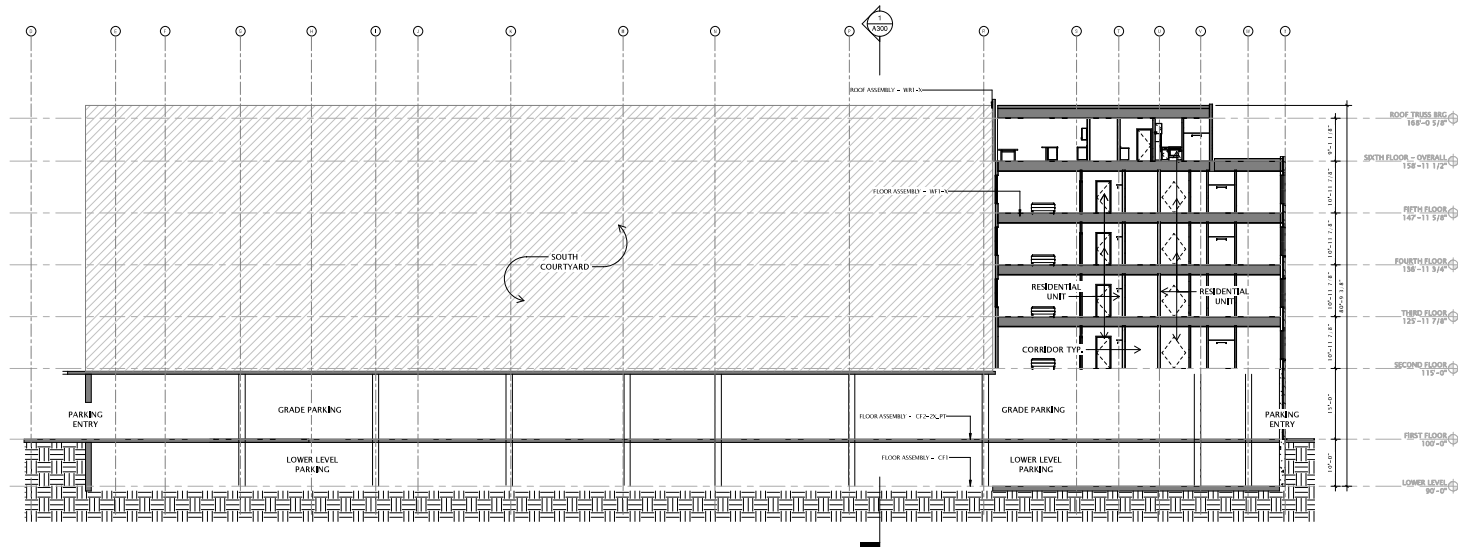
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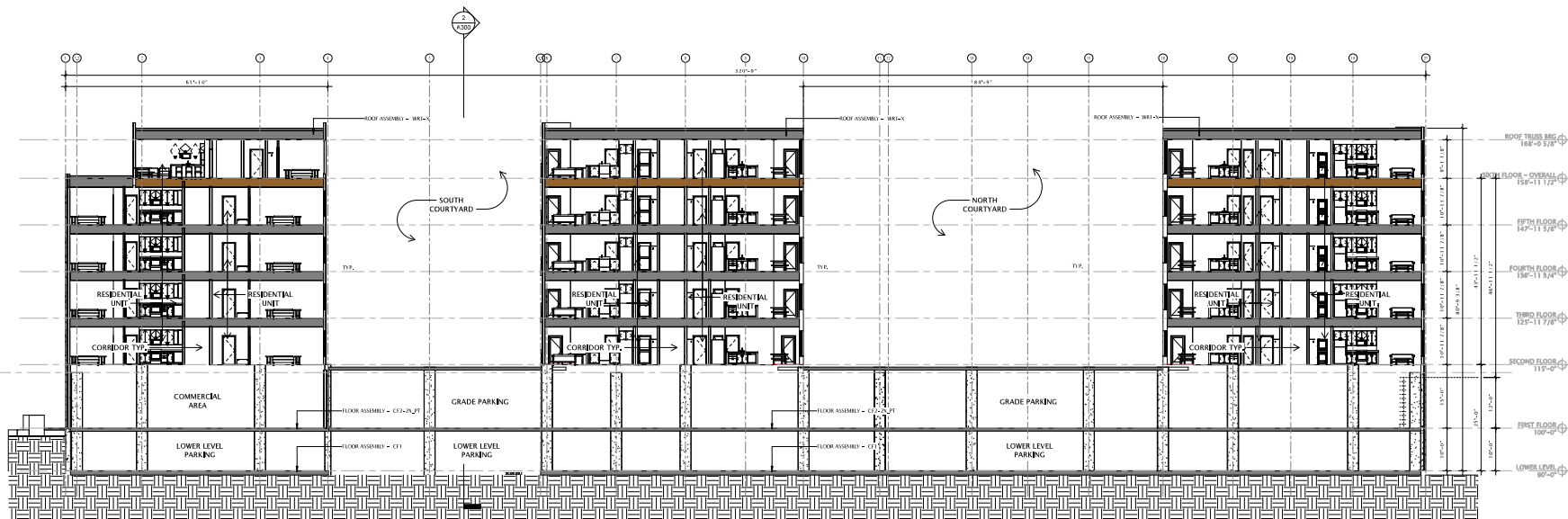
EXTERIOR ELEVATIONS - BLACK & WHITE

SHEET NUMBER

A203.2



OVERALL BUILDING SECTION B
302'-0" x 142'-0"



OVERALL BUILDING SECTION A
302'-0" x 142'-0"



PERSPECTIVE 1 – FROM SE



PERSPECTIVE 2 – FROM SW



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No.	Description	Date

SHEET TITLE

**BUILDING
PERSPECTIVES**

SHEET NUMBER

A700



PERSPECTIVE 3 - FROM NE



PERSPECTIVE 4 - FROM SE



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SHEET TITLE

**BUILDING
PERSPECTIVES**

SHEET NUMBER

A701



PERSPECTIVE 5 – FROM NW



PERSPECTIVE 6 – FROM W



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**BUILDING
PERSPECTIVES**

SHEET NUMBER

A702



PERSPECTIVE 7 – FROM NE



PERSPECTIVE 8 – FROM SW



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NO.	DESCRIPTION	DATE

SHEET TITLE

**BUILDING
PERSPECTIVES**

SHEET NUMBER

A703



PERSPECTIVE 9 – EYE LEVEL TOWNHOMES



PERSPECTIVE 10 – EYE LEVEL ALONG EAST WASHINGTON



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NO.	DESCRIPTION	DATE

SHEET TITLE

**BUILDING
PERSPECTIVES**

SHEET NUMBER

A704



PERSPECTIVE 11 – FROM SOUTHWEST



PERSPECTIVE 12 – RESIDENTIAL AND PARKING ENTRY



PERSPECTIVE 13 – CLOSE UP AT CORNER OF E. WASHINGTON AND 1ST STREET



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Rev.	Description	Date

SHEET TITLE

**BUILDING
PERSPECTIVES**

SHEET NUMBER

A705



PERSPECTIVE 14 – TOWNHOMES FROM NORTH



PERSPECTIVE 15 – NORTH COURTYARD



PERSPECTIVE 16 – NORTH ACCESS ROAD



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No.	Description	Date

SHEET TITLE

BUILDING
PERSPECTIVES

SHEET NUMBER

A706

9 AM

SPRING EQUINOX



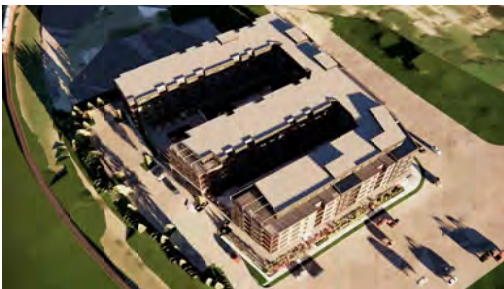
SUMMER SOLSTICE



AUTUMN EQUINOX



WINTER SOLSTICE



NOON



5 PM



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No.	Description	Date

SHEET TITLE

SOLAR SHADE
ANALYSIS

SHEET NUMBER

A707



City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506
Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 1858 E. Washington Avenue & 1890 E. Washington Avenue, Madison, Wisconsin 53704

Contact Name & Phone #: Galway Companies, Inc. / Steve Doran (608) 327-4006

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered , fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A

Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.



CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address 1858 E. Washington Avenue & 1890 E. Washington Avenue, Madison, Wisconsin 53704
Name of Project New First and East Washington Avenue Mixed-Use Development
Owner / Contact Galway Companies, Inc. / Steve Doran
Contact Phone (608) 327-4006 Contact Email sdoran@galwaycompanies.com

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size
MUST be prepared by a registered landscape architect. ****

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless **all** of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 45,717 square feet

Total landscape points required 762 points

- (b) **For lots larger than five (5) acres**, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area _____

Five (5) acres = 217,800 square feet

First five (5) developed acres = 3,630 points

Remainder of developed area _____

Total landscape points required _____

- (c) **For the Industrial – Limited (IL) and Industrial – General (IG) districts**, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area _____

Total landscape points required _____

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35	0	0	37	1295
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35	0	0	0	0
Ornamental tree	1 1/2 inch caliper	15	0	0	14	210
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10	0	0	27	270
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3	0	0	247	741
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4	0	0	112	448
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2	0	0	1125	2250
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.	0	0	0	0
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200	0	0	0	0
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"	0	0	0	0
Sub Totals						5214

Total Number of Points Provided 5214

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, as foundation plantings, or as general site landscaping. The total number of landscape points provided shall be distributed on the property as follows.

Total Developed Area

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

Development Frontage Landscaping

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant materials.

Interior Parking Lot Landscaping

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. **All parking lots with twenty (20) or more parking spaces** shall be landscaped in accordance with the interior parking lot standards.

Foundation Plantings

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses.

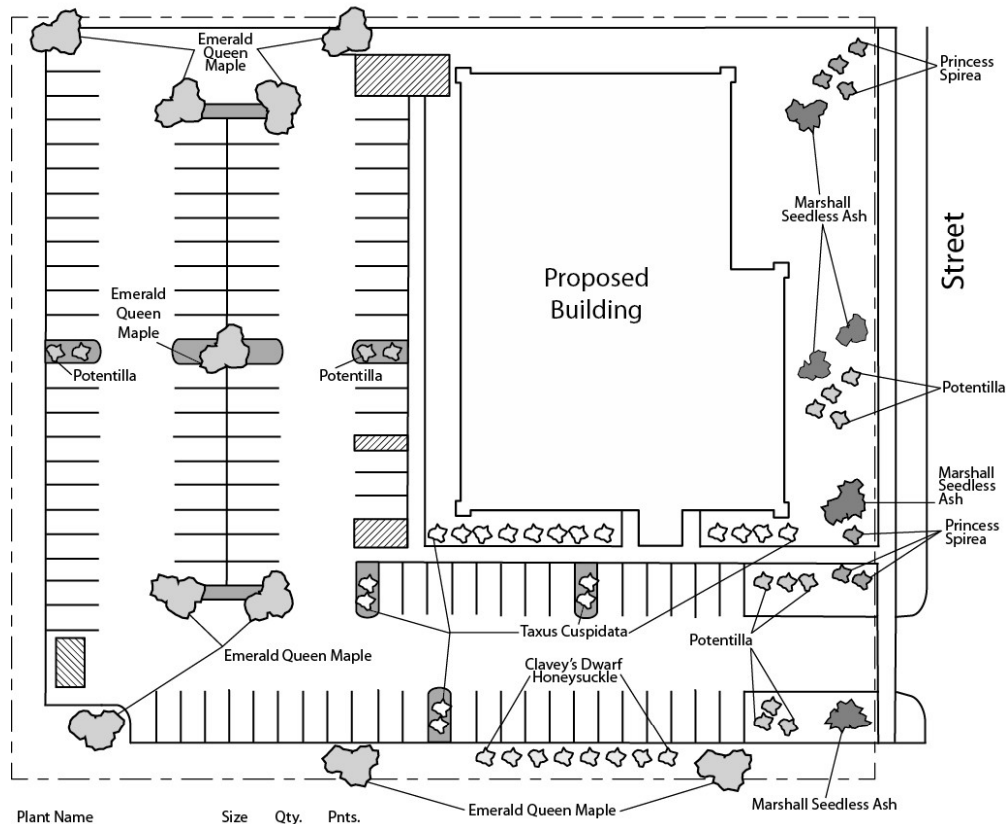
Screening Along District Boundaries

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts.

Screening of Other Site Elements

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site: refuse disposal areas, outdoor storage areas, loading areas, and mechanical equipment.

Example Landscape Plan



Plant Name	Size	Qty.	Pnts.
Emerald Queen Maple	2-2.5"	9	-
Marshall Seedless Ash	2-2.5"	4	450
Clavey's Dwarf Honeysuckle	1 Gal	8	24
Princess Spirea	1 Gal	7	21
Potentilla	1 Gal	10	30
Taxus Cuspidata	2 Gal	12	60
TOTAL			585

Call City Zoning, 266-4551, with your questions about this type of plan

LANDSCAPE PLAN AND LANDSCAPE WORKSHEET INSTRUCTIONS

Refer to Zoning Code Section 28.142 LANDSCAPING AND SCREENING REQUIREMENTS for the complete requirements for preparing and submitting a Landscape Plan and Landscape Worksheet.

Applicability.

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Plan and Design Standards.

Landscape plans shall be submitted as a component of a site plan, where required, or as a component of applications for other actions, including zoning permits, where applicable. Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size must be prepared by a registered landscape architect.

- (a) Elements of the landscape plan shall include the following:
 - 1. Plant list including common and Latin names, size and root condition (i.e. container or ball & burlap).
 - 2. Site amenities, including bike racks, benches, trash receptacles, etc.
 - 3. Storage areas including trash and loading.
 - 4. Lighting (landscape, pedestrian or parking area).
 - 5. Irrigation.
 - 6. Hard surface materials.
 - 7. Labeling of mulching, edging and curbing.
 - 8. Areas of seeding or sodding.
 - 9. Areas to remain undisturbed and limits of land disturbance.
 - 10. Plants shall be depicted at their size at sixty percent (60%) of growth.
 - 11. Existing trees eight (8) inches or more in diameter.
 - 12. Site grading plan, including stormwater management, if applicable.
- (b) Plant Selection. Plant materials provided in conformance with the provisions of this section shall be nursery quality and tolerant of individual site microclimates.
- (c) Mulch shall consist of shredded bark, chipped wood or other organic material installed at a minimum depth of two (2) inches.

Landscape Calculations and Distribution.

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area, for the purpose of this requirement, is defined as that area within a single contiguous boundary which is made up of structures, parking driveways and docking/loading facilities, but **excluding** the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

- (a) Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, and as foundation plantings, or as general site landscaping.
- (b) Planting beds or planted areas must have at least seventy-five percent (75%) vegetative cover.
- (c) Canopy tree diversity requirements for new trees:
 - 1. If the development site has fewer than 5 canopy trees, no tree diversity is required.
 - 2. If the development site has between 5 and 50 canopy trees, no single species may comprise more than 33% of trees.
 - 3. If the development site has more than 50 canopy trees, no single species may comprise more than 20% of trees.

Development Frontage Landscaping.

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant material meeting the following minimum requirements:

- (a) One (1) overstory deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) overstory deciduous tree.
- (b) In cases where building facades directly abut the sidewalk, required frontage landscaping shall be deducted from the required point total.
- (c) In cases where development frontage landscaping cannot be provided due to site constraints, the zoning administrator may waive the requirement or substitute alternative screening methods for the required landscaping.
- (d) Fencing shall be a minimum of three (3) feet in height, and shall be constructed of metal, masonry, stone or equivalent material. Chain link or temporary fencing is prohibited.

Interior Parking Lot Landscaping.

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. **All parking lots with twenty (20) or more parking spaces** shall be landscaped in accordance with the following interior parking lot standards.

- (a) For new development on sites previously undeveloped or where all improvements have been removed, a minimum of eight percent (8%) of the asphalt or concrete area of the parking lot shall be devoted to interior planting islands, peninsulas, or landscaped strips. For changes to a developed site, a minimum of five percent (5%) of the asphalt or concrete area shall be interior planting islands, peninsulas, or landscaped strips. A planting island shall be located at least every twelve (12) contiguous stalls with no break or alternatively, landscaped strips at least seven (7) feet wide between parking bays.
- (b) The primary plant materials shall be shade trees with at least one (1) deciduous canopy tree for every one hundred sixty (160) square feet of required landscaped area. Two (2) ornamental deciduous trees may be substituted for one (1) canopy tree, but ornamental trees shall constitute no more than twenty-five percent (25%) of the required trees. No light poles shall be located within the area of sixty percent (60%) of mature growth from the center of any tree.
- (c) Islands may be curbed or may be designed as uncurbed bio-retention areas as part of an approved low impact stormwater management design approved by the Director of Public Works. The ability to maintain these areas over time must be demonstrated. (See Chapter 37, Madison General Ordinances, Erosion and Stormwater Runoff Control.)

Foundation Plantings.

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses. The Zoning Administrator may modify this requirement for development existing prior to the effective date of this ordinance, as long as improvements achieve an equivalent or greater level of landscaping for the site.

Screening Along District Boundaries.

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts. Screening shall consist of a solid wall, solid fence, or hedge with year-round foliage, between six (6) and eight (8) feet in height, except that within the front yard setback area, screening shall not exceed four (4) feet in height. Height of screening shall be measured from natural or approved grade. Berms and retaining walls shall not be used to increase grade relative to screening height.

Screening of Other Site Elements.

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site, as follows:

- (a) Refuse Disposal Areas. All developments, except single family and two family developments, shall provide a refuse disposal area. Such area shall be screened on four (4) sides (including a gate for access) by a solid, commercial-grade wood fence, wall, or equivalent material with a minimum height of six (6) feet and not greater than seven (7) feet.
- (b) Outdoor Storage Areas. Outdoor storage areas shall be screened from abutting residential uses with a by a building wall or solid, commercial-grade wood fence, wall, year-round hedge, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (c) Loading Areas. Loading areas shall be screened from abutting residential uses and from street view to the extent feasible by a building wall or solid, commercial-grade wood fence, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (d) Mechanical Equipment. All rooftop and ground level mechanical equipment and utilities shall be fully screened from view from any street or residential district, as viewed from six (6) feet above ground level. Screening may consist of a building wall or fence and/or landscaping as approved by the Zoning Administrator.

Maintenance.

The owner of the premises is responsible for the watering, maintenance, repair and replacement of all landscaping, fences, and other landscape architectural features on the site. All planting beds shall be kept weed free. Plant material that has died shall be replaced no later than the upcoming June 1.