URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submittal reviewed by _____

Legistar # _____

1. Project Information

Address: 8355 Mansion Hill Avenue, Madison, WI 53593

Title: Continental 479 Fund LLC (Springs at Pleasant View)

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested 7/29/20

- ☐ New development
- ☐ Alteration to an existing or previously-approved development
- ☐ Informational
- ☐ Initial approval
- ☑ Final approval

3. Project Type

- ☐ Project in an Urban Design District
- ☐ Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- ☐ Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- ☐ Planned Development (PD)
  - ☐ General Development Plan (GDP)
  - ☐ Specific Implementation Plan (SIP)
- ☑ Planned Multi-Use Site or Residential Building Complex

Signage

- ☐ Comprehensive Design Review (CDR)
- ☐ Signage Variance (i.e. modification of signage height, area, and setback)

Other

- ☐ Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name	Continental 479 Fund LLC	Company	Continental 479 Fund LLC
Street address	W134 N8675 Executive Pkwy	City/State/Zip	Menomonee Falls, WI 53051
Telephone	(262) 502-5500	Email	N/A
Project contact person	Robert McCaigue	Company	Continental Properties Company, Inc.
Street address	W134 N8675 Executive Pkwy	City/State/Zip	Menomonee Falls, WI 53051
Telephone	(262) 502-5500	Email	rmccaigue@cproperties.com
Property owner (if not applicant)	Randall Theis Trust; Laverne Theis Trust		
Street address	9101 Mineral Point Rd.	City/State/Zip	Verona, WI 53593
Telephone	(608) 833-6459	Email	rtheis2004@yahoo.com

5. Required Submittal Materials

- ☑ **Application Form**
- ☑ **Letter of Intent**
  - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
  - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- ☑ **Development plans** (Refer to checklist on Page 4 for plan details)
- ☐ **Filing fee**
- ☑ **Electronic Submittal***

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaeser, Jeffrey Greger and Tim Parks on 11/15/19.

2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Continental 479 Fund LLC Relationship to property Developer

Authorizing signature of property owner Please see attached Agent Authorization Form Date 11/27/19

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than $1,000.

Please consult the schedule below for the appropriate fee for your request:

- ☐ Urban Design Districts: $350 *(per §35.24(6) MGO)*.
- ☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : $150 *(per §33.24(6)(b) MGO)*
- ☐ Comprehensive Design Review: $500 *(per §31.041(3)(d)(1)(a) MGO)*
- ☐ Minor Alteration to a Comprehensive Sign Plan: $100 *(per §31.041(3)(d)(1)(c) MGO)*
- ☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: $300 *(per §31.041(3)(d)(2) MGO)*

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

URBAN DESIGN COMMISSION APPROVAL PROCESS

UDC

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels**.

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

UDC

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan
- ☐ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*** All plans must be legible, including the full-sized landscape and lighting plans (if required)*

2. Initial Approval

- ☑ Locator Map
- ☑ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☑ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☑ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☑ Landscape Plan and Plant List (*must be legible*)
- ☑ Building Elevations in both black & white and color for all building sides (include material callouts)
- ☐ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- ☑ Grading Plan
- ☑ Proposed Signage (if applicable)
- ☑ Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- ☑ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☐ PD text and Letter of Intent (if applicable)
- ☐ Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (*Signage applications only*)

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- ☐ Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

AGENT AUTHORIZATION

Continental 479 Fund LLC, and any of its affiliates, as agent for the property owner listed below, has approval to submit applications to the Township of Middleton, Dane County, the State of Wisconsin, or any governmental or quasi-governmental department, division, subdivision, council, commission, bureau or other similar entity for rezoning, site plan, subdivision plat, and other necessary development related approvals and permits.

Randall A. Theis Trust and
Theis Trust

Printed Name of Property Owner

3306 County Highway M

Address of Property

Parcel #: 0708-344-8502-0

Tax Identification #

Randall A. Theis Trust dated May 16, 2016

By: Randall A Theis
Randall A. Theis, Trustee

and

Theis Trust dated March 15, 2011

By: LaVerne L. Theis
LaVerne L. Theis, Trustee

By: Jo Ann C. Theis
Joanne C. Theis, Trustee

10/29/2019
Date

SPRINGS apartments

Final UDC Approval Request – *Springs at Pleasant View*

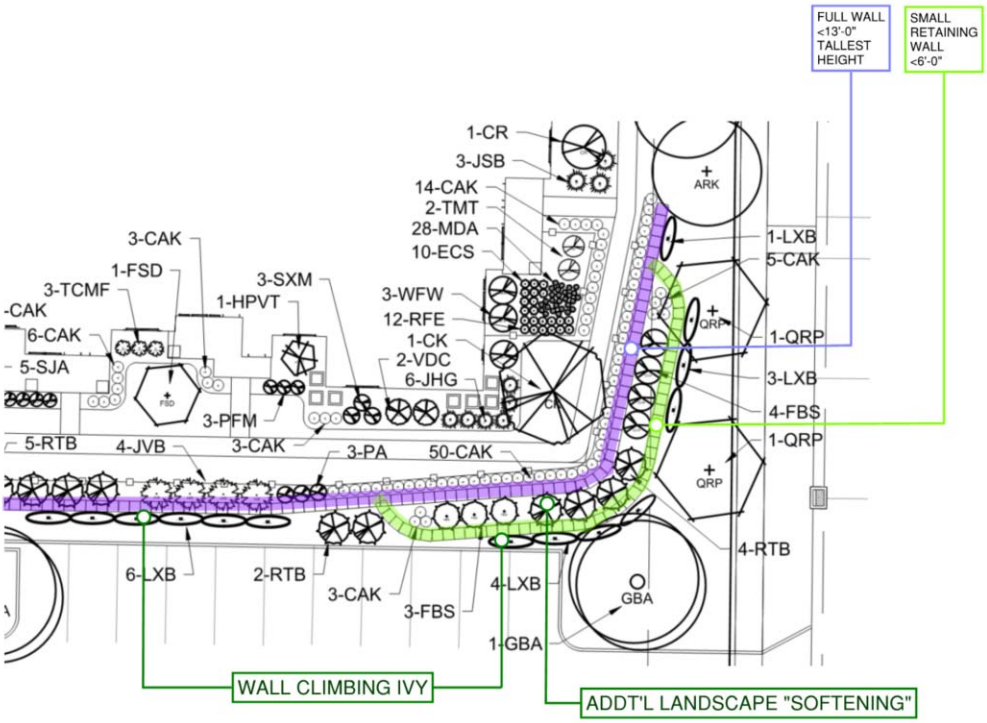
Continental 479 Fund LLC ("Continental") received initial approval from UDC on 7/1/2020. For final approval the commissioners requested detailed information regarding the landscaping selections and the retaining wall conditions. The information resubmitted in this package is the same information that was submitted for consideration at the 7/1/2020, however, it is specifically focused on the landscaping design and the retaining wall condition as directed by the commissioners. The only new information is the added "retaining wall makeup" information and additional renderings showing specific landscape and retaining wall condition at select locations. It is understood that the site plan and architectural design was approved, and the commissioners had no further comment on those items.

SITE & RETAINING WALL & LANDSCAPE CONDITIONS

As discussed, the overall site proposes significant grading challenges to any development that would occur. The northern property line of the subject site is approximately 90 feet higher than the southern property line. The northern propery line's existing elevation is 1120' while the southern corner is approximately 1030. In addition the neighbordhood plan's contemplated roadway layout plans for Mica Road to run due north creating a challenging grading conflict for any access off of Mica which is critical for any development due to life safety as well as convenience of use.

Continental's proposed plan was derived through multiple discussions with Staff, neighbors, UDC, and other stakeholders. It was determed that the proposed layout best allows resident views and experience, access and life safety to be considered, and all applicable engineering and development standards be satisfied.

In order to ensure a quality sense of place and site experience, it was determined that several site tiers of 6'-0"+ tall retaining walls needed to be broken down in both scale and hardness. It was determined through discussions with Staff and UDC that smaller tiers across the site would lessen the walls to a more human scale. Further, the walls were to be softened with curated landscape design. That is accomplished through wall climbing ivy and an assortment of plant selections to vary the heights and condition at the top, middle, and base of the tiered walls. Below is an example of that plan condition showing the tiered walls and subsequent landscape design.



W134 N8675 Executive Parkway • Menomonee Falls, WI 53051-3310 • Telephone: 262.502.5500 • Facsimile: 262.502.5522

SPRINGS
apartments

Some additional information for consideration:

- Of the 630 linear feet of the (2) highest "tiers" only 40% of the full 13'-0" heigh is ever experienced. Of that 257 linear feet (40%) all areas are softenened by wall climbing ivy and plant selections to ensure a full 13'-0" "hard" wall experience does not occur. These areas of full height walls also strategically only occur adjacent to parking and not directly adjacent to resident units. See Rendering below at additionally accompanying this submittal.
- The discussion of retaining wall specification is very much cost driven. The current retaining wall design allows for project feasibility. The integrity or "small block" design results in a cost savings of over $1MM as compared to the "Redi-Rock" that has been discussed previously.
    - Further, the flexibility of the modular unit of the Integrity block allows for tighter turns and soft curves that would otherwise be acute angles and a "harder" design.

W134 N8675 Executive Parkway • Menomonee Falls, WI 53051-3310 • Telephone: 262.502.5500 • Facsimile: 262.502.5522

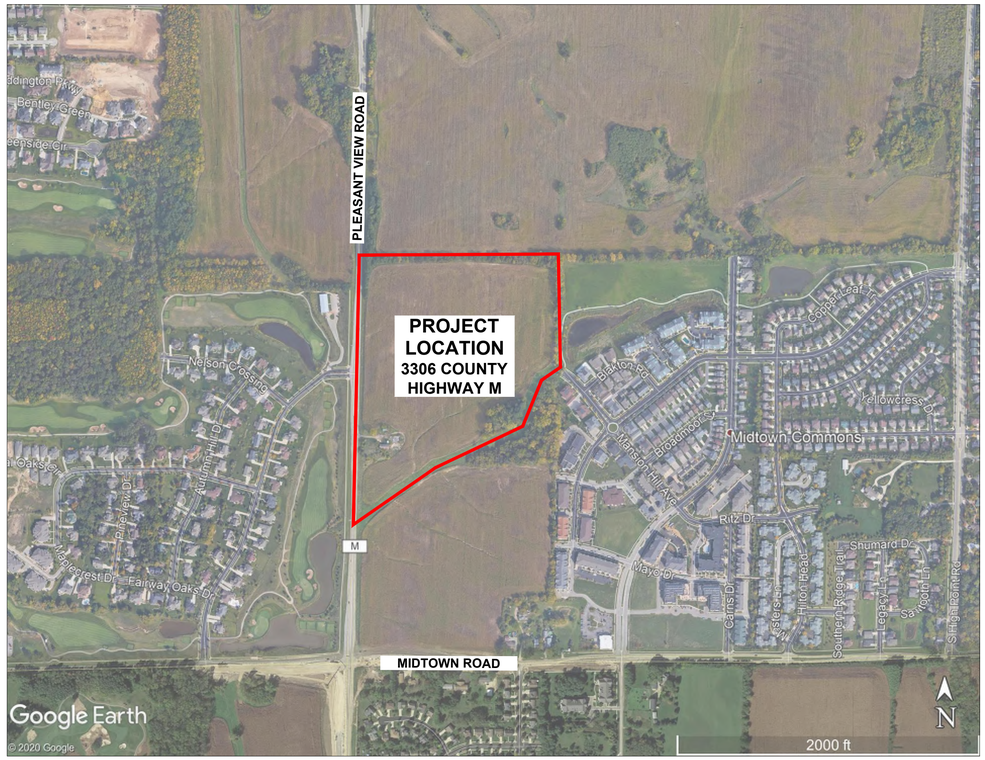
Continental Properties

Springs at Pleasant View

Pleasant View Road - 3306 County Highway M

CITY OF MADISON, DANE COUNTY, WI

LANDSCAPE PLAN SET



SHEET INDEX

L001	COVER SHEET
L100	LANDSCAPE PLAN OVERVIEW
L101-L104	LANDSCAPE PLANS
L105	LANDSCAPE SPECIFICATIONS

N

PROJECT LOCATION
(NOT TO SCALE)

WISCONSIN
MATTHEW T. SALTZBERRY
LA-666
WAUNAKEE, WIS.
LANDSCAPE ARCHITECT
05-20-2020

THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS

TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
DIGGERS HOTLINE
Dial 811 or (800) 242-8511
DiggersHotline.com

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

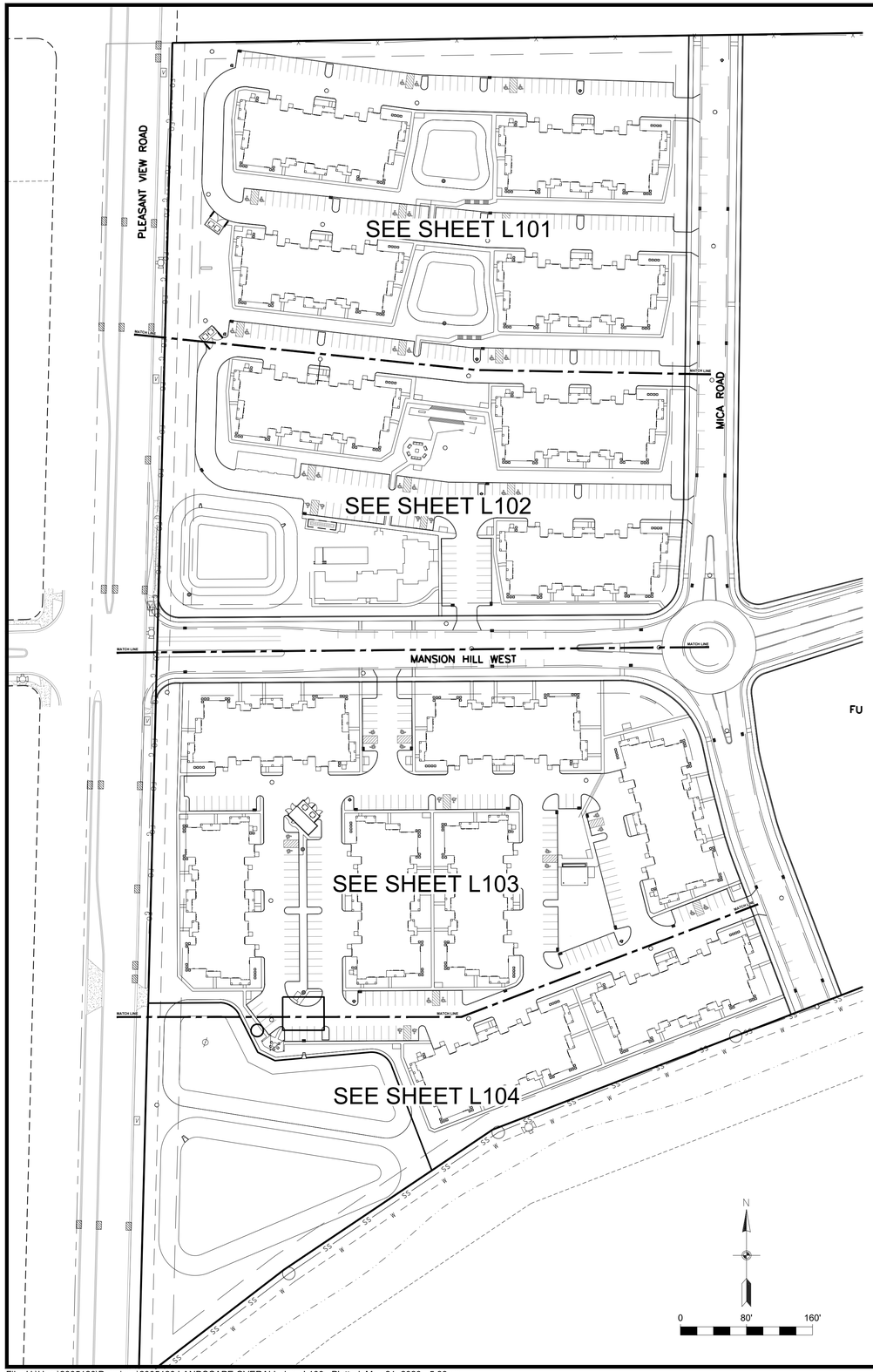
COVER SHEET
SPRINGS AT PLEASANT VIEW
CONTINENTAL PROPERTIES
PLEASANT VIEW ROAD - 3306 COUNTY HIGHWAY M
MADISON, WISCONSIN

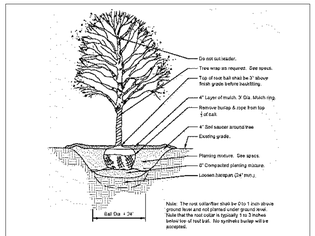
DATE: 05-20-2020
REVISED:

DRAWN BY: MTS

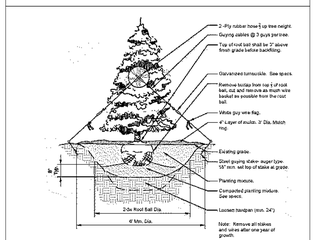
FN: 20-05-120

Sheet Number:
L001

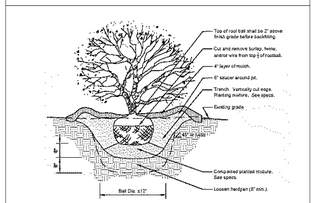




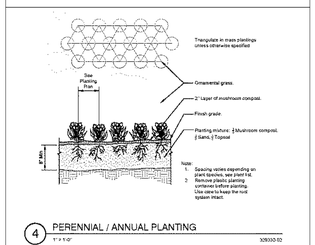
1 DECIDUOUS TREE PLANTING
1/4" = 1'-0" 320K43-30-20



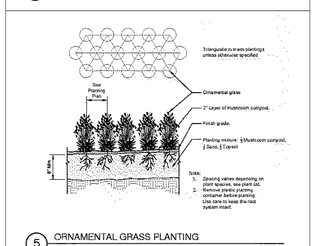
2 CONIFER TREE PLANTING
1/4" = 1'-0" 320K43-01



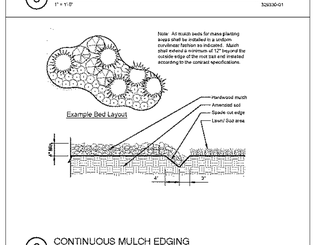
3 SHRUB PLANTING DETAIL
3/4" = 1'-0" 320K33-01



4 PERENNIAL / ANNUAL PLANTING
1" = 1'-0" 320K33-02



5 ORNAMENTAL GRASS PLANTING
1" = 1'-0" 320K33-01



6 CONTINUOUS MULCH EDGING
1" = 1'-0" 320K33-01

SITE LANDSCAPE PLAN - GENERAL NOTES

1. CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
3. ALL LANDSCAPE BEDS SHALL CONTAIN A 4" DEPTH OF SHREDDED HARDWOOD BARK MULCH CONTAINED BY 4" DEPTH V-CUT TRENCHED EDGE EDGING.
4. ALL DECIDUOUS TREES OUTSIDE PLANTING BEDS SHALL HAVE A 4' DIAMETER CIRCLE OF 4" DEPTH SHREDDED HARDWOOD BARK MULCH CONTAINED BY A 4" DEEP TRENCH CUT EDGE.
5. ALL EVERGREEN TREES OUTSIDE PLANTING BEDS SHALL HAVE A 8' DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH CONTAINED BY A 4" DEEP TRENCH CUT EDGE.
6. ALL LANDSCAPE AREAS NOT INCLUDED IN PLANTING BEDS, INFILTRATION BASINS, OR STORMWATER MANAGEMENT PONDS SHALL BE RESTORED WITH TURF GRASS.
7. INFILTRATION BASINS PLANT MIX SHALL CONFORM TO THE SPECIFICATIONS OF THE ***RAINWATER RENEWAL GARDEN FOR SUNNY SITES*** AS MANUFACTURED BY ***AGRECOL NATIVE NURSERY (www.agrecol.com)*** OR APPROVED EQUAL.
8. ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON ZONING ORDINANCE.

PLANTING SCHEDULE

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	PTS PER PLANT	SUB-TOTAL	SIZE	ROOT COND	NOTES
OVERSTORY DECIDUOUS TREES								
AFS	Acer x freemanii 'Sienna Glen'	Sienna Glen Maple	20	35	700	2.5"	B&B	
ARK	Acer rubrum 'Karpick'	Karpick Maple	27	35	945	2.5"	B&B	
ARG	Acer rubrum 'Armstrong Gold'	Armstrong Gold Maple	14	35	490	2.5"	B&B	
ARR	Acer rubrum 'Redpointe'	Redpointe Maple	8	35	280	2.5"	B&B	
BN	Betula nigra 'Fox Valley'	Fox Valley River Birch	11	35	385	2.5"	B&B	
COP	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	6	35	210	2.5"	B&B	
CPS	Celtis 'Prairie Sentinel'	Prairie Sentinal Hackberry	9	35	315	2.5"	B&B	
FSD	Fagus sylvatica 'Dawyck Purple'	Dawyck Purple Beech	9	35	315	2.5"	B&B	
GBA	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo	7	35	245	2.5"	B&B	
GDE	Gymnocladus dioica 'Espresso'	Espresso Kentucky Coffeetree	9	35	315	2.5"	B&B	
GTY	Gleditsia triacanthos 'Skycole'	Skyline Honeylocust	8	35	280	2.5"	B&B	
LT	Liriodendron tulipifera	Tulip Poplar	13	35	455	2.5"	B&B	
PCC	Pyrus calleryana 'Cleveland Select'	Cleveland Select Pear	12	35	420	2.5"	B&B	
QB	Quercus bicolor	Swamp White Oak	12	35	420	2.5"	B&B	
QCS	Quercus 'Crimschmidt'	Crimson Spire Oak	3	35	105	2.5"	B&B	
QM	Quercus macrocarpa	Bur Oak	16	35	560	2.5"	B&B	
QRP	Quercus 'Regal Prince'	Regal Prince Oak	8	35	280	2.5"	B&B	
TAR	Tilia americana 'Redmond'	Redmond Linden	6	35	210	2.5"	B&B	
UAHI	Ulmus american 'New Harmony'	New Harmony Elm	10	35	350	2.5"	B&B	
TALL EVERGREEN TREES								
PS	Pinus strobus	Eastern White Pine	33	35	1155	6' TALL	B&B	
ORNAMENTAL TREE								
AG	Acer griseum	Paperbark Maple	5	15	75	1.5"	B&B	
CC	Carpinus Caroliniana	Musclewood	9	15	135	1.5"	B&B	
CCN	Cercis Canadensis 'Northern Strain'	Northern Strain Redbud	2	15	30	1.5"	B&B	
CJ	Cercidiphyllum Japonicum	Katsura Tree	11	15	165	1.5"	B&B	
CK	Cladrastis Kentuckea	Yellowwood	6	15	90	1.5"	B&B	
HPVT	Hydrangea Paniculata 'Vanilla Strawberry Tree'		30	15	450	1.5"	B&B	
MSR	Magnolia stellata 'Royal Star'	Royal Star Magnolia	10	15	150	1.5"	B&B	
OV	Ostrya Virginiana	Hornbeam	4	15	60	1.5"	B&B	
VPF	Viburnum prunifolium 'Forest Rouge'	Forest Rouge Blackhaw Viburnum	4	15	60	1.5"	B&B	
SRI	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	4	15	60	1.5"	B&B	
DECIDUOUS SHRUB								
CAR	Clethra ainafolia 'Ruby Spice'	Ruby Spice Clethra	12	3	36	24" TALL	POT	
CCW	Cotinus coggygria 'Winecraft Black'	Winecraft Black Smoke Bush	30	3	90	24" TALL	POT	
CR	Cornus racemosa	Grey Dogwood	4	3	12	24" TALL	POT	
CSB	Cornus sericea 'Bailhalo'	Ivory Halo Dogwood	2	3	6	24" TALL	POT	
DXB	Daphne x burkwoodii 'Carlol Mackie'	Carol Mackie Daphne	77	3	231	24" TALL	POT	
FBS	Fothergilla 'Blue Shadow'	Blue Shadow Fothergilla	40	3	120	24" TALL	POT	
FG	Fothergilla gardenii 'Beaver Creek'	Beaver Creek Fothergilla	28	3	84	24" TALL	POT	
HAIB	Hydrangea arborescens 'Incrediball Blush'	Incrediball Blush Hydrangea	4	3	12	24" TALL	POT	
HK	Hypericum 'Ames'	St. John's Wort	68	3	204	24" TALL	POT	
HMB	Hydrangea 'Bailmer'	Endless Summer Hydrangea	37	3	111	24" TALL	POT	
HVE	Hammamelis vernalis	Spring Flowering Witchhazel	20	3	60	24" TALL	POT	
IVL	Ilex virginica 'Little Henry'	Little Henry Sweetspire	155	3	465	24" TALL	POT	
PA	Perovskia atriplicifolia	Russian Sage	39	3	117	24" TALL	POT	
PFM	Potentilla fruticosa 'Mango Tango'	Mango Tango Potentilla	26	3	78	24" TALL	POT	
POD	Physocarpus opulifolius 'Diablo'	Diablo Ninebark	34	3	102	24" TALL	POT	
POG	Physocarpus 'Dart's Gold'	Dart's Gold Ninebark	5	3	15	24" TALL	POT	
RTB	Rhus typhina 'Bailtiger'	Tiger Eyes Sumac	218	3	654	24" TALL	POT	
SBP	Syringa 'Bloomerang Purple'	Bloomerang Purple Lilac	67	3	201	24" TALL	POT	
SJA	Spiraea japonica 'Anthony Waterer'	Anthony Waterer Spirea	77	3	231	24" TALL	POT	
SP	Salix 'Penda'	Penda Lilac	2	3	6	24" TALL	POT	
SXM	Spiraea 'Magic Carpet'	Magic Carpet Spirea	64	3	192	24" TALL	POT	
VCC	Viburnum carlesii 'Compactum'	Compact Koreanspice Viburnum	23	3	69	24" TALL	POT	
VDC	Viburnum dentatum 'Christom'	Blue Muffin Viburnum	10	3	30	24" TALL	POT	
VLM	Viburnum lentago 'Mohican'	Mohican Nannyberry Viburnum	4	3	12	24" TALL	POT	
WCK	Weigela 'Cocco Krunch'	Cocco Krunch Weigela	24	3	72	24" TALL	POT	
WFW	Weigela 'Wine and Roses'	Wine and Roses Weigela	32	3	96	24" TALL	POT	
WXD	Weigela 'Dark Horse'	Dark Horse Weigela	58	3	174	24" TALL	POT	
EVERGREEN SHRUB								
CPG	Chamaecyparis pisifera 'Golden Mop'	Golden Mop False Cypress	37	4	148	24" TALL	POT	
JHG	Juniperus horizontalis 'Gold Strike	Gold Strike Juniper	51	4	204	24" TALL	POT	
JHM	Juniperus horizontalis 'Motherlode'	Motherlode Juniper	6	4	24	24" TALL	POT	
JSB	Juniperus squamata 'Blue Star'	Blue Star Juniper	12	4	48	24" TALL	POT	
JVB	Juniperus virginiana 'Blue Mountain'	Blue Mountain Juniper	65	4	260	24" TALL	POT	
MD	Microbiota dicussata	Russian Arborvitae	56	4	224	24" TALL	POT	
PSB	Pinus strobus 'Blue Shag'	Blue Shag Eastern White Pine	81	4	324	24" TALL	POT	
RP	Rhododendron 'PJM'	PJM Rhododendron	17	4	68	24" TALL	POT	
TCB	Tsuga canadensis 'Bennett'	Bennett Hemlock	60	4	240	24" TALL	POT	
TCJ	Tsuga canadensis 'Jeddeloh'	Jeddeloh Hemlock	14	4	56	24" TALL	POT	
TCMF	Tsuga canadensis 'Moonfrost'	Moon Frost Hemlock	90	4	360	24" TALL	POT	
TMT	Taxus x media 'Tauntonii'	Taunton Yew	173	4	692	24" TALL	POT	
HERBACEOUS PERENNIALS								
AF	Astilbe 'Fanal'	Fanal Red Astilbe	178	2	356	1 GAL	POT	
ECS	Echinacea 'Cheyenne Spirit'	Cheyenne Sprit Coneflower	34	2	68	1 GAL	POT	
HBB	Heuchera 'Black Beauty'	Black Beauty Coral Bells	8	2	16	1 GAL	POT	
HGS	Hosta 'Gold Standard'	Gold Standard Hosta	143	2	286	1 GAL	POT	
MDA	Monarda 'Adam'	Adam Beebalm	58	2	116	1 GAL	POT	
RFE	Rudbeckia fulgida 'Early Bird Gold'	Early Bird Gold Black Eyed Susan	33	2	66	1 GAL	POT	
ORNAMENTAL GRASSES								
CAK	SEE BELOW	SEE BELOW	1136	2	2272	1 GAL	POT	
WALL CLIMBING VINES								
LXB	SEE BELOW	SEE BELOW	228	2	456	1 GAL	POT	
				TOTAL:	**19474**	**POINTS**		

GRASSES & VINES PALETTE

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	ROOT COND	NOTES
ORNAMENTAL GRASSES						
CAK	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Reed Grass	-	1 GAL	POT	
DCN	Deschampsia 'Northern Lights'	Northern Lights Tufted Hair Grass	-	1 GAL	POT	
EH	Elymus hystrix	Bottlebrush Grass	-	1 GAL	POT	
MCV	Molinia caerulea 'Variegata'	Variegated Purple Moor Grass	-	1 GAL	POT	
PVN	Panicum virgatum 'Northwind'	Northwind Switch Grass	-	1 GAL	POT	
SN	Sorghastrum nutans	Indian Grass	-	1 GAL	POT	
SS	Schizachyrium scoparium	Little Bluestem	-	1 GAL	POT	
WALL CLIMBING VINES			-			
HAP	Hydrangea anomala subsp. petiolaris	Climbing Hydrangea	-	1 GAL	POT	
PQ	Parthenocissus quinquefolia	Virginia Creeper	-	1 GAL	POT	
PT	Parthenocissus tricuspidata	Boston Ivy	-	1 GAL	POT	
EFC	Euonymus fortunei 'Coloratus'	Purple Wintercreeper	-	1 GAL	POT	

WISCONSIN MATTHEW T. SALTZBERRY LA-666 WAUNAKEE WIS. LANDSCAPE ARCHITECT
05-20-2020

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

LANDSCAPE OVERVIEW PLAN

SPRINGS AT PLEASANT VIEW

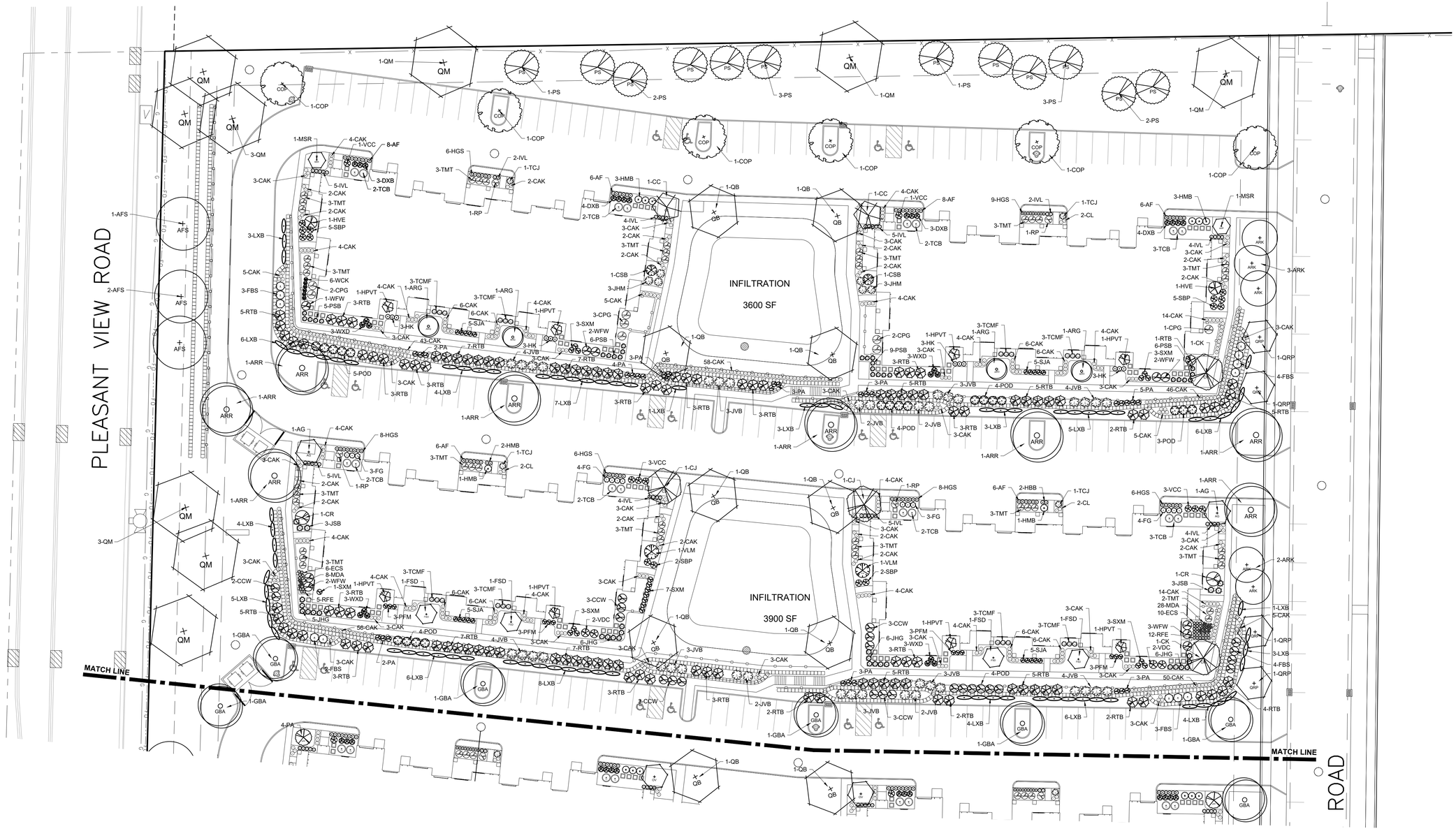
CONTINENTAL PROPERTIES
PLEASANT VIEW ROAD - 3306 COUNTY HIGHWAY M
MADISON, WISCONSIN

DATE: 05-20-2020
REVISED:

DRAWN BY: MTS

FN: 20-05-120

Sheet Number:
L100



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LANDSCAPE PLAN

SPRINGS AT PLEASANT VIEW

CONTINENTAL PROPERTIES

PLEASANT VIEW ROAD - 3306 COUNTY HIGHWAY M

MADISON, WISCONSIN

WISCONSIN
MATTHEW T. SALTZBERRY
LA-666
WAUNAKEE, WIS.
LANDSCAPE ARCHITECT
05-20-2020

N

0 30' 60'

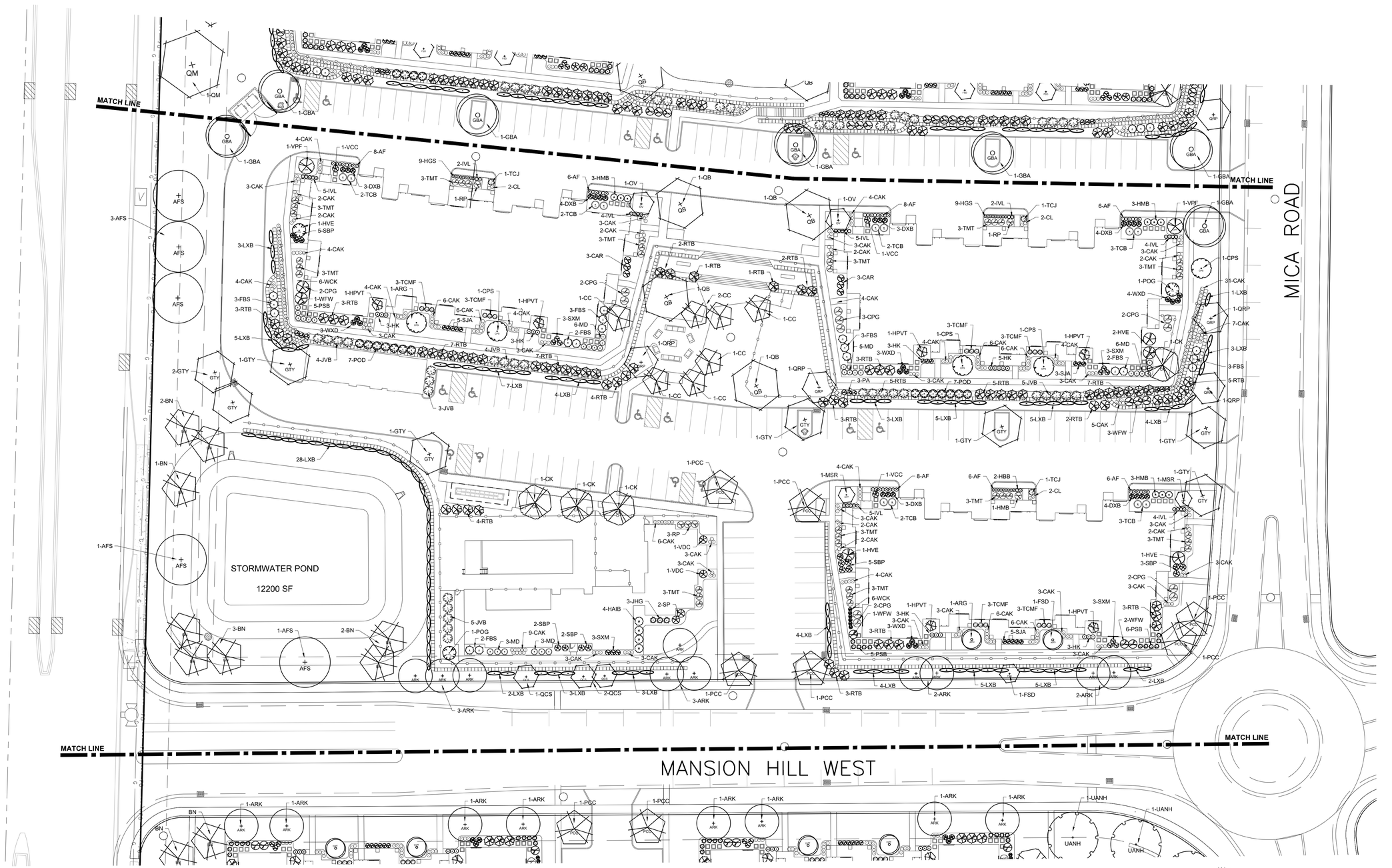
DATE: 05-20-2020
REVISED:

DRAWN BY: MTS

FN: 20-05-120

Sheet Number:
L101

File: U:\User\2005120\Drawings\2005120 LANDSCAPE.dwg L101 Plotted: May 21, 2020 - 8:15am



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LANDSCAPE PLAN

SPRINGS AT PLEASANT VIEW

CONTINENTAL PROPERTIES

PLEASANT VIEW ROAD - 3306 COUNTY HIGHWAY M

MADISON, WISCONSIN

DATE: 05-20-2020
REVISED:

DRAWN BY: MTS

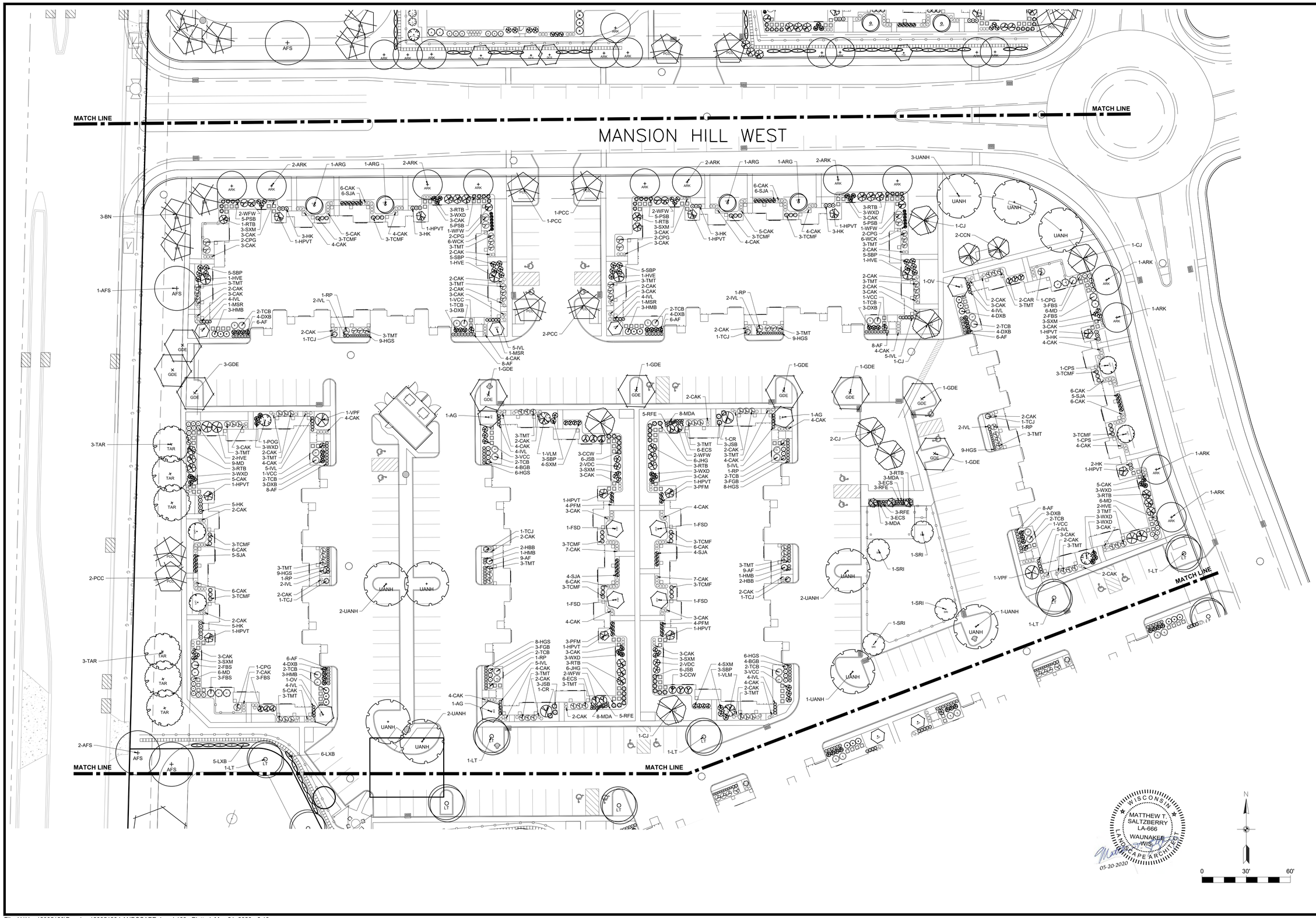
FN: 20-05-120

Sheet Number:
L102

WISCONSIN
MATTHEW T. SALTZBERRY
LA-666
WAUNAKEE, WIS.
LANDSCAPE ARCHITECT
05-20-2020

N

0 30' 60'



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CONTINENTAL PROPERTIES

PLEASANT VIEW ROAD - 3306 COUNTY HIGHWAY M

MADISON, WISCONSIN

WISCONSIN
MATTHEW T. SALTZBERRY
LA-666
WAUNAKEE, WIS.
LANDSCAPE ARCHITECT
05-20-2020

DATE: 05-20-2020
REVISED:

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FN: 20-05-120

Sheet Number:
L103

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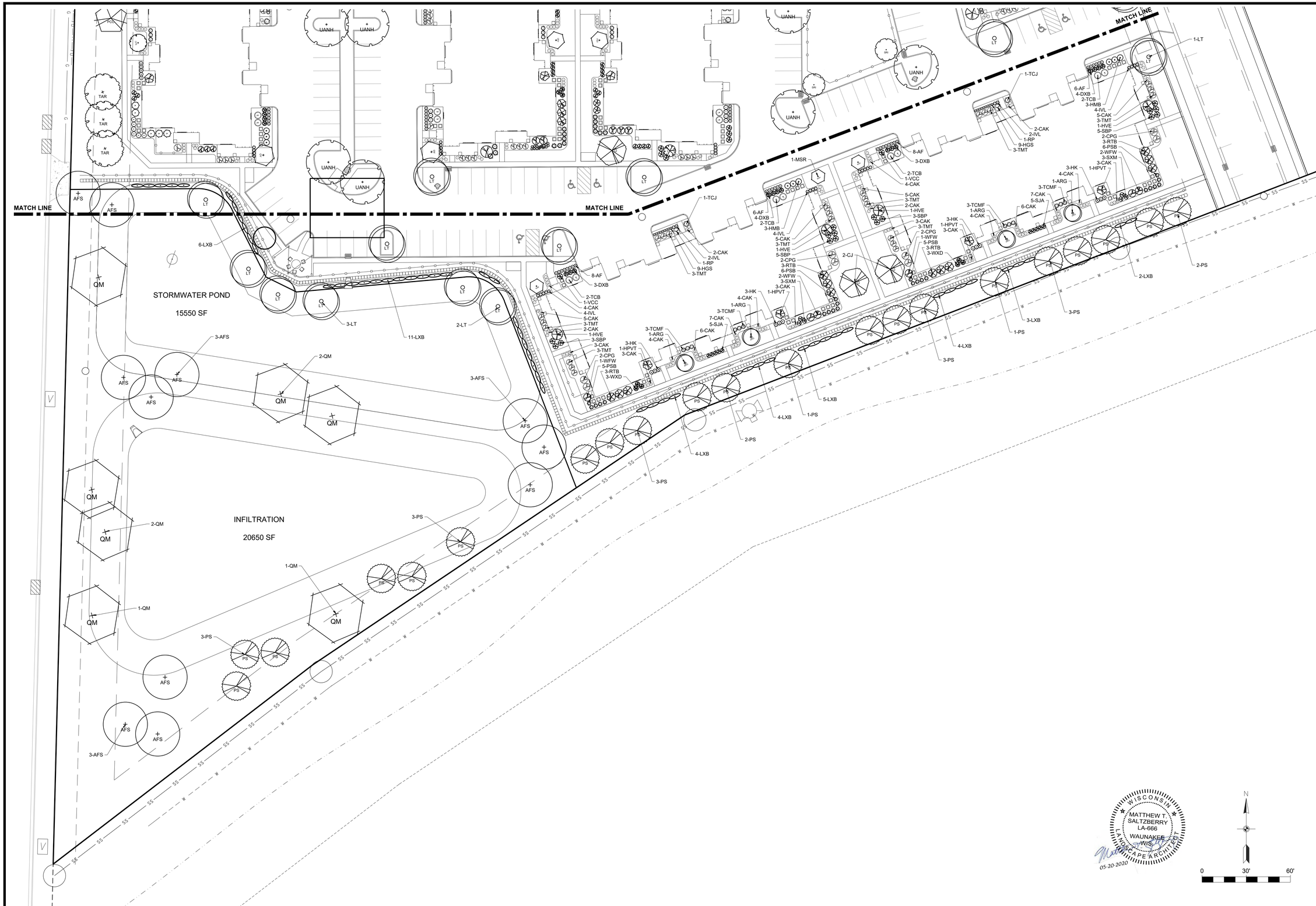

WISCONSIN
MATTHEW T. SALTZBERRY
LA-666
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LANDSCAPE ARCHITECT
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LANDSCAPE PLAN

SPRINGS AT PLEASANT VIEW

CONTINENTAL PROPERTIES

PLEASANT VIEW ROAD - 3306 COUNTY HIGHWAY M

MADISON, WISCONSIN

DATE: 05-20-2020

REVISED:

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FN: 20-05-120

Sheet Number:

L104

File: U:\User\2005120\Drawings\2005120 LANDSCAPE.dwg L104 Plotted: May 21, 2020 - 8:12am

GENERAL PLANTING SPECIFICATIONS:

PART 1 - GENERAL

1-01 DESCRIPTION:

A. Provide trees, shrubs, perennials and groundcovers as shown and specified. This work includes:

1. Spreading of topsoil or soil preparation
2. Trees, shrubs, perennials and groundcovers
3. Planting mixes
4. Mulch and planting accessories
5. Fertilizer and herbicide
6. Maintenance
7. Warranty of plant material

B. The Contractor shall verify all existing conditions and dimensions in the field prior to bidding and report any discrepancies to the Owner or his/her representative.

1-02 QUALITY ASSURANCE:

A. Comply with site work requirements

B. Plant names indicated must comply with 'Standardized Plant Names' as adopted by the latest edition of the American Joint Committee of Horticultural Nomenclature. Names of varieties which are not listed should conform with those generally accepted by the nursery trade. Stock should be legibly tagged.

C. All plant materials shall conform to the 'American Standards for Nursery Stock' (ASNS), latest edition, published by the American Association of Nurserymen, Washington, D.C.

D. All plant material shall be grown and supplied within a 50 mile radius of the project for a minimum of two full growing seasons.

E. Adhere to sizing requirements as listed in the plant list and/or bid form for the project. A plant shall be measured in its natural standing position.

F. Stock that is furnished shall be at least the minimum size shown. With permission of the landscape architect, substitution from the specified plant list will be accepted only when satisfactory evidence in writing is submitted to the landscape architect, showing that the plant specified is not available. Requests for approval of substitute plant material shall include common and botanical names and size of substitute material. Only those substitutions of at least equivalent size and character to that of the specified material will be approved. Stock which is larger than that which is specified is acceptable with permission of the landscape architect, providing there is no additional cost and that the larger plant material will not be cut down in order to conform to the size indicated.

G. All shrubs shall be dense in form. Shrub liners do not meet these specifications. Shrubs specified by height shall have a spread that is equal to the height measurement. Shrubs which are specified by spread shall exhibit the natural growth habit of the plant by having a greater spread than height.

H. All plant materials are subject to inspection and approval. The landscape architect and Owner reserve the right to select and tag all plant material at the nursery prior to planting. The landscape architect and Owner reserve the right to inspect plant material for size and condition of root systems, the presence of insects and diseases, injuries and latent defects (due to Contractor negligence or otherwise), and to reject unacceptable plant material at any time during progress of the project.

I. Container grown deciduous and/or evergreen shrubs will be acceptable in lieu of balled and burlapped shrubs subject to specified limitations for container grown stock. Size of container grown material must conform to size/height requirements of plant list.

1-03 DELIVERY, STORAGE & HANDLING:

A. Fertilizer shall be delivered in original, unopened and undamaged packaging. Containers shall display weight, analysis and manufacturer's name. Store fertilizer in a manner that will prevent wetting and deterioration.

B. Take all precautions customary concerning proper trade practice in preparing plants for transport. Plants shall be dug, packed and transported with care to ensure protection against injury. Inspection certificates required by law shall accompany each shipment invoice or order to stock and on arrival, the certificate shall be filed with the landscape architect . All plants must be protected from drying out. If plant material cannot be planted immediately upon delivery, said material should be properly protected in a manner that is acceptable to the landscape architect. Heeled-in plants must be watered daily. No plant shall be bound with rope or wire in a manner that could strip bark or break or shear branches.

C. Plant material transported on open vehicles should be covered with a protective covering to prevent wind burn.

D. Dry, loose topsoil shall be provided for planting bed mixes. Muddy or frozen topsoil is unacceptable as working with medium in this condition will destroy its structure, making root development more difficult.

1-04 PROJECT CONDITIONS:

A. Notify landscape architect at least seven (7) working days prior to installation of plant material.

B. It shall be the Contractor's responsibility to locate and protect all existing above and below ground utilities. Utilities can be located and marked (in Illinois) by calling J.U.L.I.E. at (800)892-0123.

C. The Contractor shall provide, at his/her own expense, protection against trespassing and damage to seeded areas, planted areas, and other construction areas until the preliminary acceptance. The Contractor shall provide barricades, temporary fencing, signs, and written warning or policing as may be required to protect such areas. The Contractor shall not be responsible for any damage caused by the Owner after such warning has been issued.

D. The Contractor shall be responsible for the protection of crowns, trunks and roots of existing trees, plus shrubs, lawns, paved areas and other landscaped areas that are to remain intact. Existing trees, which may be subject to construction damage, shall be boxed, fenced or otherwise protected before any work is started. The Owner desires to preserve those trees within and adjacent to the limits of construction except those specifically indicated to be removed on the Drawings. The contractor shall erect protective tree fencing and tree armor at locations indicated on the drawings and around all trees on site which are to be preserved. Protective fencing shall be erected between the limits of construction and any tree preservation areas shown on the Drawings.

E. A complete list of plants including a schedule of sizes, quantities and other requirements is shown on the Drawings and on the bid form. In the event that quantity discrepancies or material omissions occur in the plant materials list, the planting plans shall govern.

1-05 PRELIMINARY ACCEPTANCE:

A. All plantings shall be maintained by the Contractor for a period of 90 days after preliminary acceptance by the Owner or his/her representative. Maintenance shall include, but is not limited to: mowing and edging turf, pulling weeds, watering turf and plant material and annual flower maintenance.

1-05 WARRANTY:

A. All plant material (excluding annual color), shall be warranteed for one (1) year after the end of the 90 day maintenance period. The end of the maintenance period is marked by the final acceptance of the Contractor's work by the Owner or his/her representative. Plant materials will be warranteed against defects including death and unsatisfactory growth, except for defects resulting from abuse or damage by others, or unusual phenomena or incidents which are beyond the control of the Contractor. The warranty covers a maximum of one replacement per item.

PART 2 - PRODUCTS

2-01 PLANT MATERIALS:

A. Plants: Provide typical of their species or variety, with normal, densely developed branches and vigorous, fibrous root systems. Only sound, healthy, vigorous plants which are free from sunscald injuries, disfiguring knots, frost cracks, abrasions of the bark, plant diseases, insect eggs, borers, and all forms of infestation shall be provided. All plants shall have a fully developed form without voids and open patches.

1. Balled and burlapped plants shall have a firm natural ball of earth of sufficient diameter and depth to encompass a root system necessary for a full recovery of the plant. Root ball sizes shall comply with the latest edition of the 'American Standards for Nursery Stock' (ASNS). Root balls that are cracked or mushroomed are unacceptable.

2. Container grown stock should be grown for an amount of time that is of sufficient length for the root system to have developed enough to hold its soil together, firm and whole. Plants will not be loose in their containers, nor shall they be pot-bound and all container grown stock will comply with the sizes stated on the plant list.

3. No evidence of wounds or pruning cuts shall be allowed unless approved by the Landscape Architect.

4. Evergreen trees shall be branched to the ground. The height of evergreen trees are determined by measuring from the ground to the first lateral branch closest to the top. Height and/or width of other trees are measured by the mass of the plant not the very tip of the branches.

5. Shrubs and small plants shall meet the requirements for spread and/or height indicated in the plant list. The height measurement shall be taken from ground level to the average height of the top of the plant, not the longest branch. Single stem or thin plants will not be accepted. Side branches shall be flushed with growth and have good form to the ground. Plants shall be in a moist, vigorous condition, free from dead wood, bruises or other root or branch injuries.

2-02 ACCESSORIES:

A. Topsoil:
Topsoil shall be fertile, natural topsoil of a loamy character, without admixture of subsoil material. Topsoil shall be reasonably free from clay, lumps, coarse sand, stones, plants, roots, sticks and other foreign materials with a pH between 6.5 to 7.0.

B. Topsoil for seed areas shall be a minimum of 6".

C. Soil amendments shall be as follows:

1. For trees and shrubs the plant pit will be backfilled with pulverized black dirt.

2. For perennials and ornamental grasses the soil mixture will be as follows: CM-63 General Purpose Peat Based Mix as supplied by Midwest Trading, Top beds with 8" of CM-63 and till into existing beds to a depth of 6". Soil mixtures are available from Midwest Trading.

Midwest Trading, St. Charles, IL 60174 (630) 365-1990

D. Fertilizer:

1. For trees and shrubs use: 14-4-6 briquettes 17 g or equivalent available from Arthur Clesen, Inc. Follow manufacturer's recommendation for application.

Arthur Clesen, Inc. 543 Diens Drive, Wheeling, IL 60090 (847)537-2177

2. For turf areas use 6-24-16 Clesen Fairway with micronutrients with minor elements 3.0 % S, .02% B, .05% Cu, 1.0% Fe, .0006% Mo, .10% Mn available from Arthur Clesen or approved equal.

E. Herbicide:

Round-Up or approved equal

F. Mulch:

1. Bark mulch shall be finely shredded hardwood bark which has been screened and is free of any green foliage, twigs, rocks, sawdust, wood shavings, growth or germination inhibiting ingredients, or other foreign materials. Bark mulch is available from Midwest Trading.

2. Mushroom compost as available from Midwest Trading.

G. Water:
Water service will be available on the site, with the cost of water being paid by the Owner. Transporting of the water from the source to the work areas shall be the responsibility of the Landscape Contractor. All necessary hose, piping, tank truck, etc. shall be supplied by the Landscape Contractor.

H. Guying:

1. Stakes: 5/8" x 40" steel eye anchor with 4" helix

2. Cable:
   A. Trees under 5": flexible 1/8" galvanized aircraft cable, 7x7 strand or approved equal.
   B. Trees 5" and over: flexible 3/16" galvanized aircraft cable, 7x7 strand or approved equal.

3. Turnbuckles: 5/16", eye and eye, with 4" takeup.

4. Hose: new two-ply reinforced rubber hose, minimum 1/2" I.D.

I. Tree wrap: Burlap tree wrap 4" wide.

J. Twine: Soft nursery jute.

PART 3 - INSTALLATION OF PLANT MATERIAL

3-01 FIELD VERIFICATION:

A. Examine proposed planting areas and conditions of installation. Do not start planting work until unsatisfactory conditions are corrected.

3-02 PREPARATION:

A. All planting techniques and methods shall be consistent with the latest edition of 'Horticulture Standards of Nurserymen, Inc.' and as detailed on these Drawings.

B. Planting shall be performed by experienced workmen familiar with planting procedures under the supervision of a qualified supervisor.

C. All underground utilities must be located and marked clearly.

D. Apply Round-Up or approved equivalent to kill any existing vegetation in all areas to be planted. Confirm length of waiting period between chemical application and plant installation with manufacturer. Do not begin planting operations until prescribed post-application waiting period has elapsed. Take extreme care to avoid chemical drift to adjoining properties of landscape plantings.

E. Prior to all planting, rototill all areas to be landscaped to prepare for plant installation to a minimum depth of 12". Eliminate uneven areas and low spots. Maintain lines, levels, profiles and contour. Changes in grade are to be gradual. Blend slopes into level areas. Remove all debris, weeds and undesirable plants and their roots from areas to be planted. Remove all concrete slag larger than 2" in diameter.

F. Topsoil shall be spread over the site at a minimum depth of 6". Those areas which are indicated as prairie or natural areas on the Drawings shall have a minimum topsoil depth of 18".

G. It shall be the responsibility of the landscape contractor to prepare all seeded areas by disking and raking prior to planting seed. Soil shall be loosened and scarified to a minimum depth of 6". Fine grading of all seeded areas is required. Maximum size of stone or topsoil lump is 1".

H. Locate all plant material as indicated or as approved in the field by the Landscape Architect. If obstructions are encountered which are not shown on the drawings, then do not proceed with planting operations until alternate plant locations have been selected.

I. Planting holes shall be constructed as shown on the planting details. Holes shall be hand dug or machine dug. Great care will be taken to not excavate the hole deeper than the root ball and the diameter shall be a minimum of two times the root ball width. Remove any materials encountered in excavation that may be injurious to plant growth, including stones larger than 2" in diameter or other debris. Soil to be used as backfill should be pulverized.

J. Provide pre-mixed planting mixture for use around root systems and root balls of the plants. The mixtures are outlined in section B of part 2-02.

K. Prior to planting, provide additional topsoil to all planting beds to bring the finish grade of the bed to 2" above lawn grade and to finish grade of adjacent hard surface grades.

L. Add 2" thickness of mushroom compost to all annual, perennial and groundcover beds. Finish grade bed and install plants.

3-03 PLANTING PROCEDURES:

A. Set plant material in the planting hole to proper grade and alignment. Set plants upright and plumb. Set plant material 2" above the adjacent finish grade. Remove burlap from top 1/3 of root ball. Remove treated burlap (green). Cut and remove or cut and fold down upper half of wire basket, dependent upon tree size. Backfill hole by firmly tamping soil to avoid any air pockets or voids.

B. Set balled and burlapped plants in the planting hole and compact 8" of soil around the base of the ball. Backfill remaining space with planting mixture. Water plants immediately after planting to eliminate all voids and thoroughly soak the plant root ball.

C. Space groundcover plants according to dimensions given on the plans. Adjust spacing as necessary to evenly fill planting bed with indicated number of plants. Plant to within 18" of the trunks of trees and shrubs or at the edge of the plant ball, whichever is closest. Plant to within 12" of edge of bed.

D. Mulching:

1. Install 4" depth of mulch around all tree and shrub beds as indicated on drawings or planting details. Mulch shrub planting areas as continuous beds. Do not place mulch directly against tree trunk; form mulch to create an inverted cone around trunk.

2. Mulch perennial, groundcover and annual planting beds with 2" mushroom compost. Water mulched areas thoroughly after placing mulch.

E. Tree wrapping is not required, unless the Contractor feels it is necessary due to characteristics of a particular species or past experience with the species. The landscape architect will be notified as to which trees are to be wrapped and shall inspect the trunk(s) before wrapping. Tree wrap will not be used to cover damage or defects. When wrapping is done, trunks will be wrapped spirally with approved tree wrapping tape that is not less than 4" wide, and securely tied with suitable cord at the top, bottom and 2" intervals along the trunk. Wrap from ground to the height of the first branch.

F. Staking and guying of trees is optional. If the Contractor chooses to stake all or part of the trees, he/she shall use the method specified in the planting details. One (1) stake is to be used on trees of 1" caliper and under, or 4' height and under. Two (2) stakes are to be used on trees of 1" to 2 3/4" caliper. Guy trees of 3" caliper or larger at three (3) per tree. The root ball will not be pierced with a stake. Stakes are to be driven at least eighteen (18) inches into subsoil below the planting hole. Stakes and wire attachments shall be removed after three months for spring planted material and by the following May for fall planted stock by the Contractor. Staking and guying should be done immediately after lawn seeding or sodding operations.

G. Seeding of specified lawn areas on plans will be treated as follows:

1. Topsoil shall be spread over all areas to be seeded to a minimum depth of 6" when compacted (to be performed by others).

2. Seed mixture and application rate - use Premium seed mix as supplied by Arthur Clesen, Inc. Apply at a rate of 5 lbs./1000 s.f.

3. Apply fertilizers and conditioners at the rate specified per soil test findings. In lieu of soil test results, apply two (2) tons of ground agricultural limestone and 1000 lbs. 10-10-10 or equivalent analysis fertilizer per acre. At least 40% of the fertilizer nitrogen shall be of an organic origin.

4. Soil preparation areas where vehicular traffic has compacted the soil shall be loosened/scarified to a minimum depth of 6" before fertilizing and seeding. Fine grading of all seeded areas is required. Maximum size of stone or topsoil lump is 1".

5. Watering seeded areas shall be done to ensure proper germination. Once seeds have germinated, watering may be decreased but the seedlings must never be allowed to dry out completely. Frequent watering should be continued approximately four (4) weeks after germination or until grass has become sufficiently established to warrant watering on an 'as needed' basis.

6. Turf is being established on a variety of slope conditions. It shall be the Contractor's responsibility to determine and implement whatever procedures he/she deems necessary to establish the turf as part of his/her work. Seeded areas will be accepted when all areas show a uniform stand of the specified grass in healthy condition and at least 90 days have elapsed since the completion of this work. The Contractor shall submit with his/her bid a description of the methods and procedures he/she intends to use.

H. Erosion Control Blanket

1. Erosion Control Blanket shall be installed per manufacturer's recommendation in all areas shown on the plan.

2. Install S-75 Erosion Control Blanket as manufactured by North American Green or approved equal.

3. Blanket should be premarked with staple pattern.

4. Staples should be 8" wire staples, applied at two (2) per square yard minimum.

5. Suitable erosion control practices shall be maintained by the CONTRACTOR in accordance with Illinois Urban Manual and all applicable Soil Erosion and Sedimentation Control ordinances and the PLANS.

I. Sodding of specified lawn areas on plans will be completed as follows:

1. Rake soil surface to receive sod to completely remove any soil crust no more than one day prior to laying sod.

2. Moisten prepared surface immediately prior to laying sod. Water thoroughly and allow surface moisture to dry before planting lawns. Do not create a muddy soil condition.

3. Sod shall be laid within 24 hours from the time of stripping. Do not plant dormant sod or if the ground is frozen.

4. Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod strips; do not overlap. Stagger strips to offset joints in adjacent courses. Work from boards to avoid damage to subgrade or sod. Work sifted soil into minor cracks between pieces of sod; remove excess to avoid smothering of adjacent sod.

5. Place top elevation of sod 1/2 inch below adjoining edging or paving.

6. Water sod thoroughly with a fine spray immediately after planting.

7. After sod and soil have dried, roll seeded areas to ensure a good bond between the sod and soil, and to remove minor depressions and irregularities.

8. Sodded slopes 3:1 or greater shall be staked to prevent erosion and washout.

9. Warranty sodding for a period of one (1) year from the end of the 90 day maintenance period. If sod fails or lacks vigor and full growth as determined by the Landscape Architect, the Contractor will repeat site preparation operations and re-sod affected areas at the Contractor's expense.

Note: Sod shall be a premium Kentucky Bluegrass blend, and is required in all areas indicated on the plans as well as areas which have been affected by construction. Sod can be placed as long as water is available and the ground surface can be properly prepared. Sod shall not be laid on frozen or snow-covered ground. Sod shall be strongly rooted, not less than two (2) years old and free of weeds and undesirable native grasses. Sod should be machine cut to pad thickness of 3/4" (plus or minus 1/4"), excluding top growth and thatch. Provide only sod capable of vigorous growth and development when planted (viable, not dormant). Provide sod of uniform pad sizes with maximum 5% deviation in either length or width. Broken pads or pads with uneven ends will not be acceptable. Sod pads incapable of supporting their own weight when suspended vertically with a firm grasp on the upper 10% of pad will not be accepted.

J. Timing of plant material and seeding operations:

1. Seeding of specified areas shall occur when the soil temperature is above 55° F. No seed shall be sown during periods of high winds, or when the ground is not in proper condition for seeding (see section 3-02 (G)). Seeding operations for the specified mixes shall occur in the spring time frame of April 15 through June 30 and in the summer time frame of August 15 through December 1. The mixes containing bluegrass and fescue seed must have six weeks to harden off for winter survival.

2. Sod shall be installed when the ground is not frozen or snow covered and temperatures are less than 80° F. It shall not be placed during a period of extended drought.

3. Herbaceous ornamental plants shall be planted between May 1 and June 15 or between August 15 and December 1.

4. Spring planting of woody ornamental plants shall be performed from the time the soil can be easily worked until June 1, except that evergreen planting shall end on May 15. Oak, hawthorn and red maple species will only be planted during this spring planting period. Fall planting will begin August 15 and will continue until the ground cannot be worked satisfactorily, except that evergreen planting shall be performed between August 15 and December 1.

3-04 MAINTENANCE:

A. All plantings shall be maintained by the Contractor for a period of 90 days after preliminary acceptance by the Owner or his/her representative. Maintenance shall include but is not limited to: mowing and edging turf, pulling weeds, watering turf areas and plant material plus annual flower maintenance. The Contractor will reset settled plants to proper grade and position. Dead material will be removed. Stakes and guy wires will be tightened and repaired as required.

3-05 ACCEPTANCE:

A. All plant material (excluding annual color), shall be warranteed for one (1) year after the end of the 90 day maintenance period. The end of the maintenance period is marked by the final acceptance of the Contractor's work by the Owner or his/her representative.

3-06 SITE CLEAN-UP:

A. The Contractor shall protect the property of the Owner and the work of other contractors. The Contractor shall also be directly responsible for all damage caused by the activities and for the daily removal of all trash and debris from his/her work area to the satisfaction of the landscape architect .

WISCONSIN
MATTHEW T. SALTZBERRY
LA-666
WAUNAKEE, WIS.
LANDSCAPE ARCHITECT
05-20-2020

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

LANDSCAPE SPECIFICATIONS

SPRINGS AT PLEASANT VIEW

CONTINENTAL PROPERTIES

PLEASANT VIEW ROAD - 3306 COUNTY HIGHWAY M

MADISON, WISCONSIN

DATE: 05-20-2020
REVISED:

DRAWN BY: MTS

FN: 20-05-120

Sheet Number:
L105

CITY OF MADISON
LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address 3306 County Highway M

Name of Project Springs at Pleasant View

Owner / Contact Continental Properties (Developer) / Matt Saltzberry, PLA - D'Onofrio Kottke (Landscape Architect)

Contact Phone 608-833-7530 Contact Email msaltzberry@donofrio.cc

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. ****

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless **all** of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

(a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.

(b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.

(c) No demolition of a principal building is involved.

(d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

(a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area _____

Total landscape points required _____

(b) **For lots larger than five (5) acres**, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area 401,248 SF

Five (5) acres = 217,800 square feet

First five (5) developed acres = 3,630 points

Remainder of developed area 183,448 SF - 1,835 Points

Total landscape points required 5,465 Points

(c) **For the Industrial – Limited (IL) and Industrial – General (IG) districts**, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area _____

Total landscape points required _____

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35			208	7,280
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35			33	1,155
Ornamental tree	1 1/2 inch caliper	15			85	1,275
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10				
Shrub, deciduous	#3 gallon container size, Min. 12”-24”	3			1,160	3,480
Shrub, evergreen	#3 gallon container size, Min. 12”-24”	4			662	2,648
Ornamental grasses/ perennials	#1 gallon container size, Min. 8”-18”	2			1,818	3,636
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per “seat”				
Sub Totals						19,474

Total Number of Points Provided 19,474

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

SITE PLAN INFORMATION BLOCK
LOT 2

AREAS

TOTAL AREA	439,276 sf

IMPERVIOUS AREAS

Roof Area	115,600 sf
Pavement	119,400 sf
Sidewalks and Trails	51,800 sf
Water Surface Area	12,000 sf
TOTAL IMPERVIOUS (68%)	298,800 sf

PERVIOUS AREAS

Lawn and Landscaped	140,476 sf
TOTAL PERVIOUS (33%)	140,476 sf

PARKING

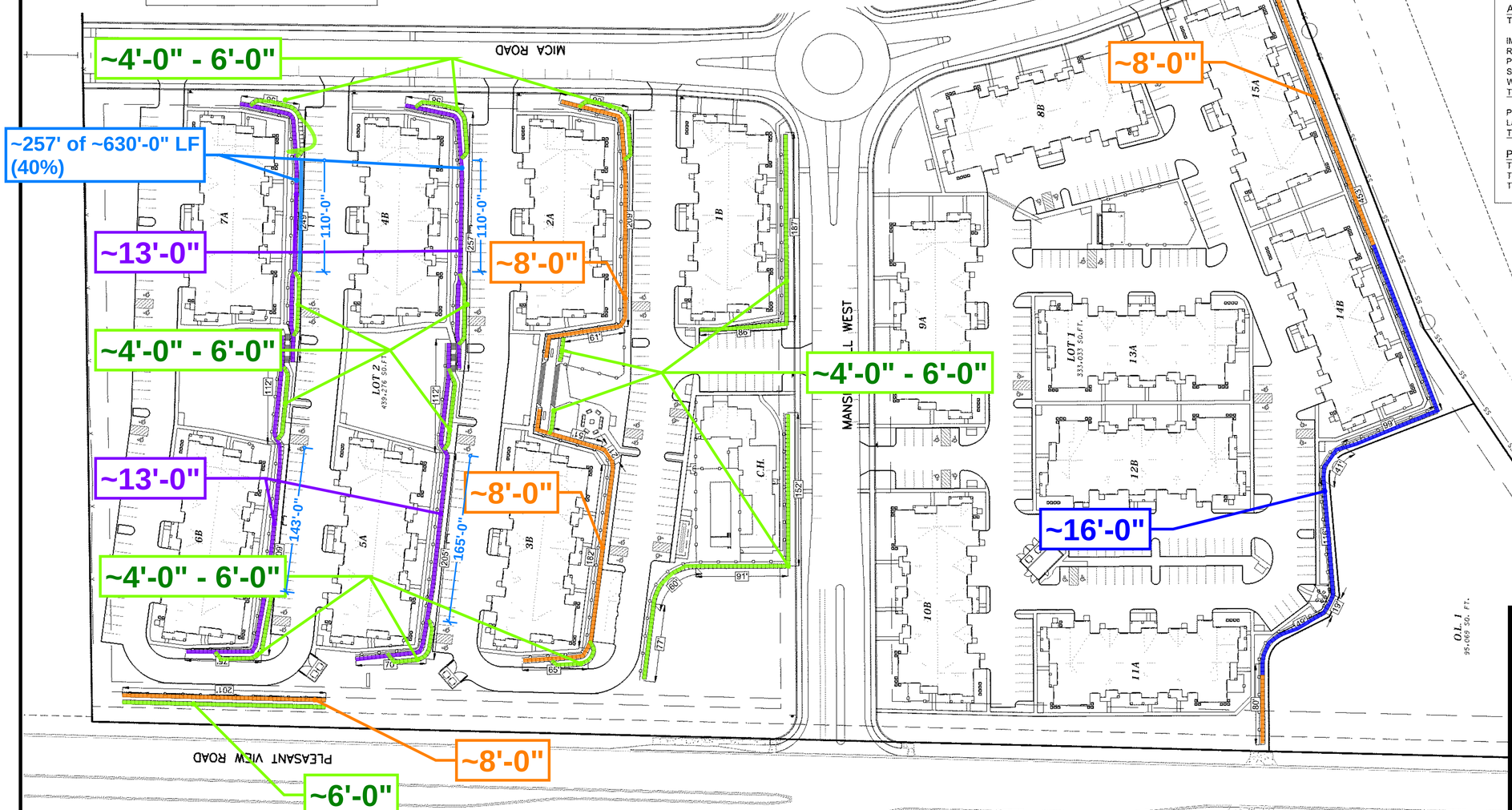
Total Covered Parking Stalls	56
Total Surface Parking Stalls	232
Total Parking Stalls	288

LEGEND

- FOUND 3/4" REBAR
- FOUND 1-1/4" REBAR
- SET 3/4"x18" REBAR (1.5 LBS/FT)
- SAN — SANITARY SEWER
- W — WATER MAIN
- STM — STORM SEWER
- TV — TELECOMMUNICATION
- FENCE
- CONCRETE CURB AND GUTTER
- MANHOLE
- DECIDUOUS TREE
- CONIFEROUS TREE
- CATCH BASIN/INLET
- LIGHT POLE
- VALVE
- HYDRANT
- SIGN
- ACCESSIBLE PARKING SPACE
- NO. PARKING SPACES

N

0 60' 120'



SITE PLAN INFORMATION BLOCK
LOT 1

AREAS

TOTAL AREA	333,033 sf

IMPERVIOUS AREAS

Roof Area	126,900 sf
Pavement	96,140 sf
Sidewalks and Trails	40,500 sf
Water Surface Area	0 sf
TOTAL IMPERVIOUS (79%)	263,540 sf

PERVIOUS AREAS

Lawn and Landscaped	69,493 sf
TOTAL PERVIOUS (21%)	69,493 sf

PARKING

Total Covered Parking Stalls	64
Total Surface Parking Stalls	160
Total Parking Stalls	224

RETAINING WALL HEIGHT DIAGRAM

- ~16'-0"
- ~13'-0"
- ~8'-0"
- ~4'-0 - 6'-0"
- "FULL HEIGHT" WALLS

*APPROX. HEIGHTS - GRADING TAPER WILL CREATE SHORTER END WALLS

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SITE PLAN OVERVIEW

SPRINGS AT PLEASANT VIEW

CONTINENTAL PROPERTIES

PLEASANT VIEW ROAD - 3306 COUNTY HIGHWAY M

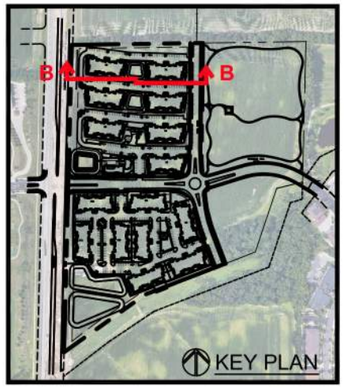
MADISON, WISCONSIN

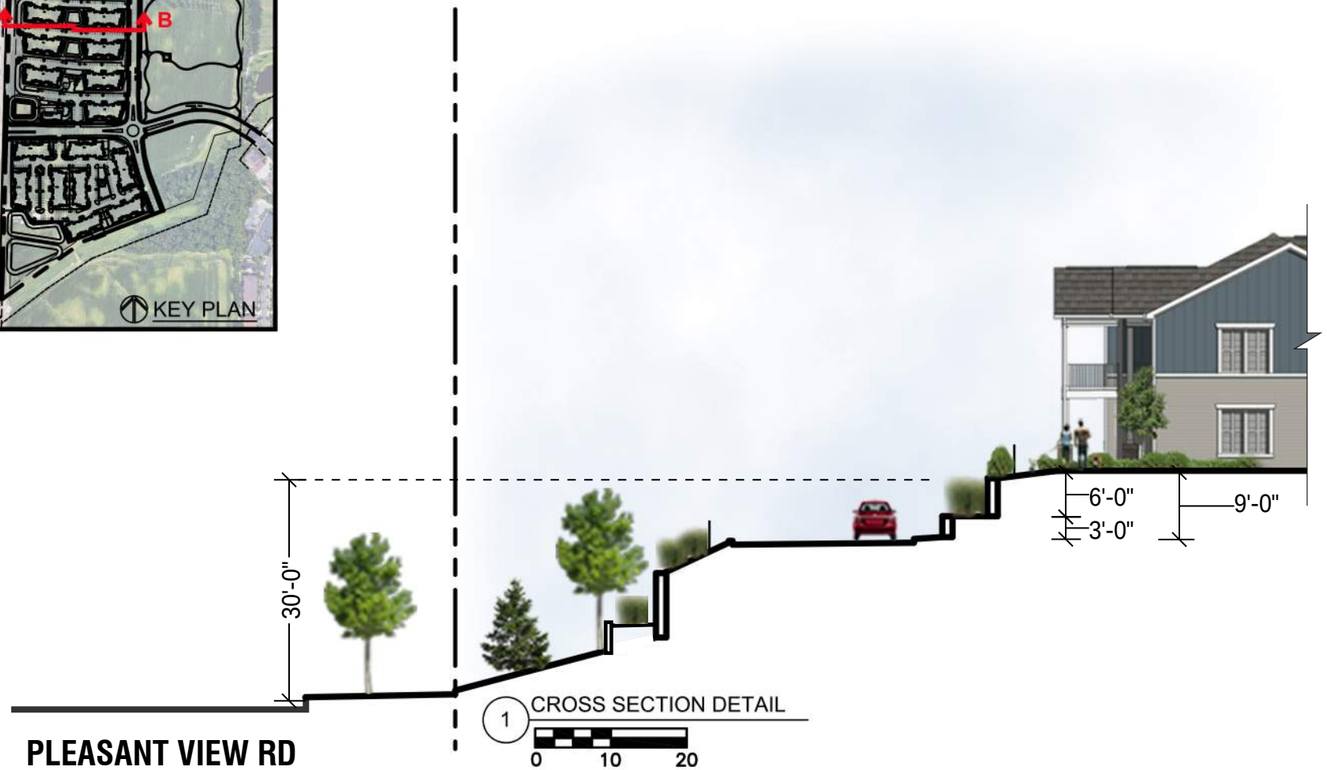
DATE: 05-20-2020
REVISED:

DRAWN BY: WFK

FN: 20-05-120

Sheet Number:
C100





1 CROSS SECTION DETAIL

0 10 20

2 CROSS SECTION DETAIL

0 10 20

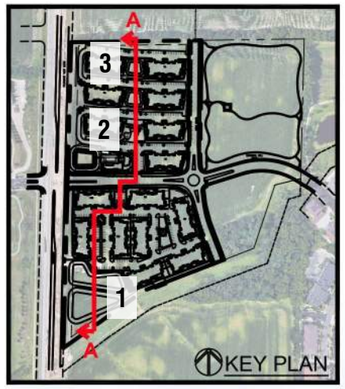
B-B OVERALL CROSS SECTION

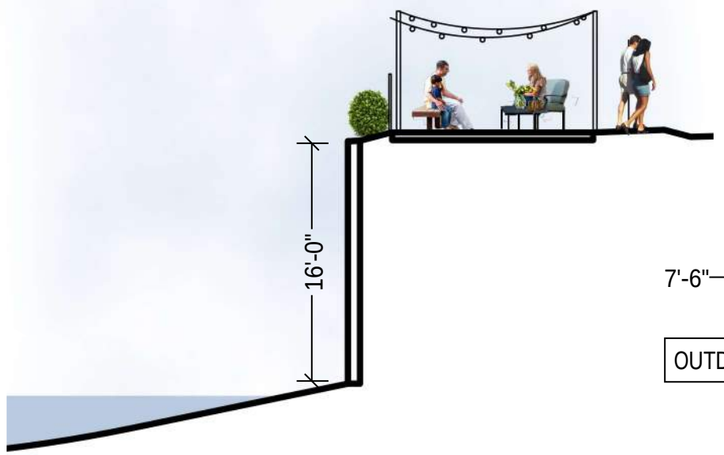
0 25 50

SPRINGS AT PLEASANT VIEW

MADISON, WI

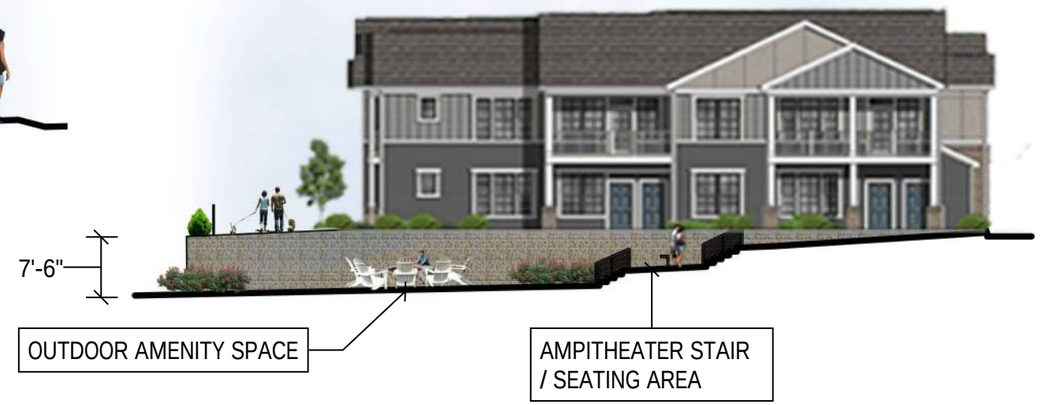
CONTINENTAL PROPERTIES





1 LONGITUDINAL SECTION DETAIL

0 5 10



2 LONGITUDINAL SECTION DETAIL

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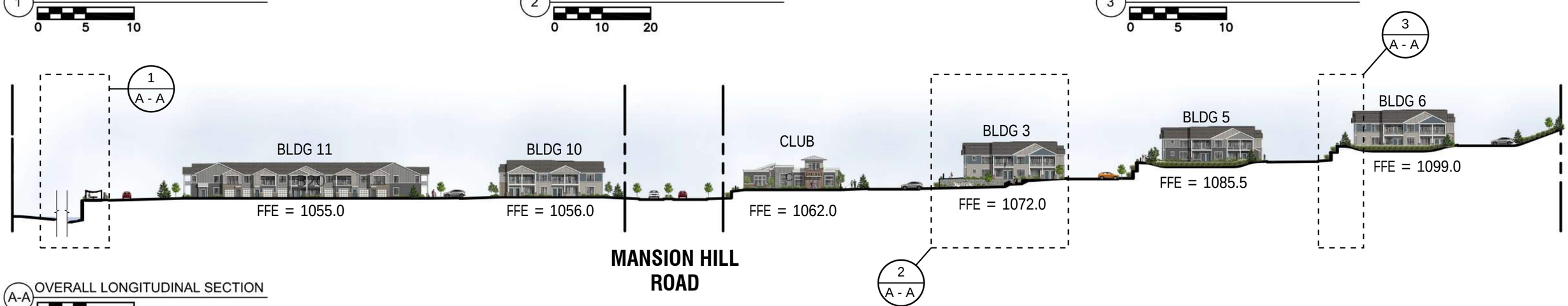
3 LONGITUDINAL SECTION DETAIL

0 5 10



A-A OVERALL LONGITUDINAL SECTION

0 40 80

SPRINGS AT PLEASANT VIEW

MADISON, WI

CONTINENTAL PROPERTIES

SPRINGS AT PLEASANTVIEW

MADISON, WI

CONTINENTAL PROPERTIES

SPRINGS

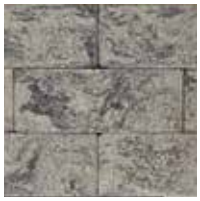
Integrity™ Retaining Wall System

Manufactured in the USA by
COUNTY MATERIALS CORPORATION

The Integrity™ **Retaining Wall System** is a practical solution for even challenging applications, including multi-level terraces and slope protection. Each system is manufactured to ensure efficient installation, increased stability and lasting durability.

Available in the following colors and textures:

Splitface



Graphite | Silvertone | October Oak

Rustic *(Made to Order)*

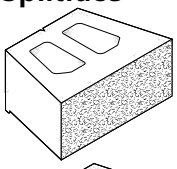
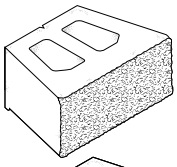
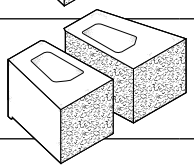
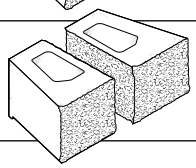
Hush | Timeless | Buff | Gray

The color photos shown were prepared with careful attention to accuracy. However, colors shown may vary from actual hues and should only be used as a guide. Refer to actual product samples for final color selection. Because concrete units are manufactured with high quality, naturally-mined aggregates and materials, variations in color or shading should be expected in products that are manufactured at different times and in units having different shapes. This color or shading variation is acceptable in the industry.

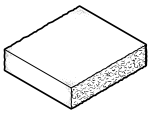
For product details, photos, and to find out where to buy – visit www.countymaterials.com

Integrity™ Retaining Wall System

Custom Color – Rustic

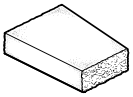
Splitface	Rustic	D x H x L (Nominal Size) Inches • Millimeters	SF/ Unit	Units/ Pallet	Lbs/ Unit	Lbs/ Pallet
		12 x 8 x 18 • 305 x 203 x 457 Standard	1	36	80	2925
		12 x 8 x 9 • 305 x 203 x 228 Standard Corner	Face - .5 Return - .66 Total Unit - 1.16	72	40	2925

Wall Caps – *Straight and Tapered Wall Caps are available in both Splitface and Rustic finish.*



(Split on 1 side)

Straight – 12 x 3⅝ x 15½
(305 x 92 x 394)



(Split on 2 sides)

Tapered – 12¾ x 3⅝ x 7⅞ - 9⅜
(324 x 92 x 200-238)

COUNTY MATERIALS CORPORATION

(800) 242-7733
countymaterials.com

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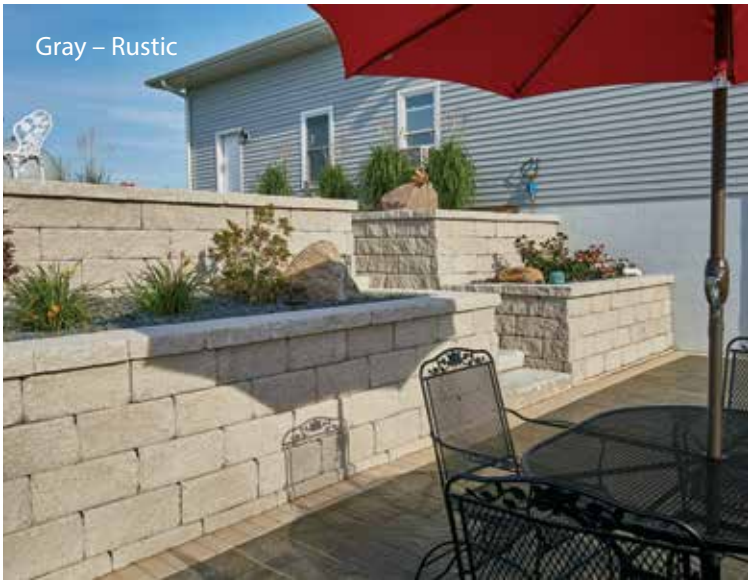
Gray – Rustic

EXAMPLE RETAINING WALL IMAGERY

SPRINGS AT THE RESERVE | WYOMING, MICHIGAN

CONTINENTAL PROPERTIES