

6003, 6019, 6035, 6015 GEMINI DRIVE GRAND VIEW COMMONS BLOCK B

MADISON, WI 53718



UDC FINAL SUBMITTAL

AUGUST 12, 2020



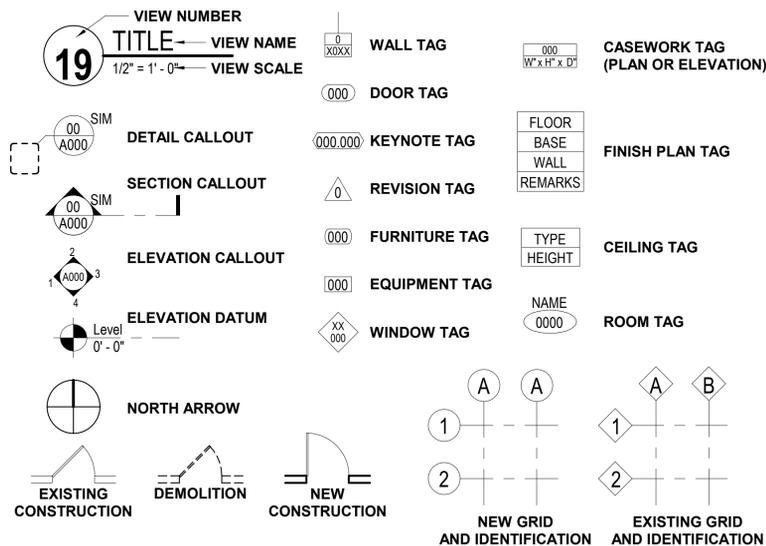
JLA
ARCHITECTS

JLA PROJECT NUMBER: 20-0302

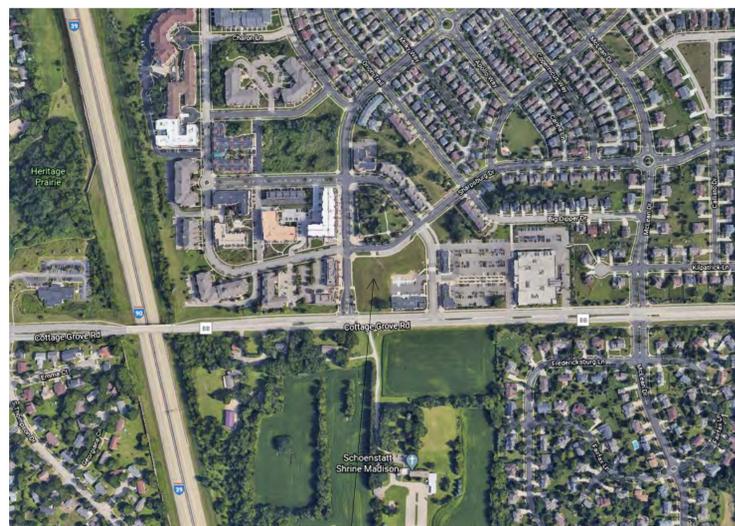
ABBREVIATIONS

A air condition	D demolition	G gage	N north	T time & materials
AE Architect/Engineer	DEPT department	GALV galvanized	NA not applicable	TEMP temperature
ACT acoustical ceiling tile	DF drinking fountain	GB grab bar	NIC not in contract	TER terrazzo
ADOL additional	DPS Door and Frame Schedule	GC general contractor	NO number	TERB terrazzo base
ADDM addendum	DH double hung	GL glass	NCM nominal	TF top of finish floor
AFC above finished counter	DIA diameter	GLT glass tile	NS no scale	TK BD tackboard
AFF above finished floor	DR door	GLU LAM glued laminated wood	NTS not to scale	TO top of
AFS above finished grade	DR FR door frame	GR granite		TOB top of beam
ALT alternate	DTL detail	GRN granite		TOC top of concrete
ALUM aluminum	DW dishwasher	GT grout		TOI top of joint
APFD approved	DWG drawing	GYP BD gypsum board		TOPO topography
APT apartment				TOS top of slab
ASC above suspended ceiling				TSS top of steel
				TV television
				TY typical
B baseboard	E east	H hose bibb	O on center	U unless noted otherwise
BB bulletin board	EFS exterior insulation & finish system	HC hollow core	OD outside diameter	UON unless otherwise note
BLDG building	EL elevation	HCP handicapped	OF/CI owner furnished, contractor installed	
BL blinds (window)	ELEC electric, electrical	HM hollow metal	OF/CI owner furnished, contractor installed	
BLT borrowed light	ELEV elevator	HORIZ horizontal	OH DR overhead (ceiling) door	
BLW below	EP epoxy	HORZ horizontal	OPH opposite hand	
BPL base plate	EPB epoxy base	HSKRG housekeeping	OPNG opening	
BO bottom of	EPS expanded polystyrene board	HT heating, ventilating & air conditioning		
BOS bottom of steel	EQ equal	HVAC heating, ventilating & air conditioning		
	EXIST existing	HW hot water		
	EXP expand, expansion	HWF hardwood floor		
	EXT exterior	HWY highway		
C catch basin	F female	I inside diameter	Q quarry tile	
CB construction bulletin	F filler	INSUL insulation	QTB quarry tile base	
CF/CI contractor furnished, contractor installed	FA fire alarm	INT interior	R resilient base	
CF/CI contractor furnished, owner installed	FAB fabric	R interior	RCP resilient ceiling plan	
CF/CI contractor furnished, vendor installed	FAX facsimile	R interior	RD roof drain	
CG corner guard	FC fire cabinet	REBAR reinforcing steel bars	RFS room finish schedule	
CH BD chalkboard	FD floor drain	R interior	RO rough opening	
CIP cast-in-place	FHC fire hose cabinet	R interior		
CJ control joint	FG foot grille	LAM laminate		
CJ construction joint	FLR floor mat	LAV lavatory		
CL centerline	FM fire protection	LL live load		
CLG ceiling	FP fireproof			
CONC concrete	FR fire retardant			
CORR corrosion	FRP fiber reinforced panel			
CONT control	FT floor tile			
CPT carpet	FTG foaming			
CSWK casework	FWP fabric wrapped panel			
CT ceramic tile				
CTB ceramic tile base				

SYMBOL LEGEND



VICINITY MAP



PROJECT LOCATION

PROJECT ADDRESS

6003, 6019, 6035, 6015 GEMINI DRIVE GRAND VIEW COMMONS BLOCK B
MADISON, WI 53718

OWNER INFORMATION

RICHARD HANZEL REAL-ESTATE SERVICES

730 AZTALAN DRIVE
MADISON, WISCONSIN 53718
CONTACT: MR. DICK HANZEL
EMAIL
P 000.000.0000 M 000.000.0000

PROJECT TEAM

GENERAL CONTRACTOR

TO BE DETERMINED
XXX STREET NAME
CITY, STATE, ZIP CODE
CONTACT: MR. XX XX
EMAIL ADDRESS
PHONE AND FAX

ARCHITECTURAL

JLA ARCHITECTS & PLANNERS
800 WEST BROADWAY - SUITE 200
MONONA, WISCONSIN 53713
CONTACT: MR. MARC OTT
MOTT@JLA-AP.COM
OFFICE: 608.241.9500 DIRECT: 608.442.3867

CIVIL ENGINEERING

D'ONOFRIO KOTTKE AND ASSOCIATES
7530 WESTWARD WAY
MADISON, WISCONSIN 53717
CONTACT: MR. DAN DAY
DDAY@DONOFRIO.CC
OFFICE: 608.833.7530

STRUCTURAL ENGINEERING

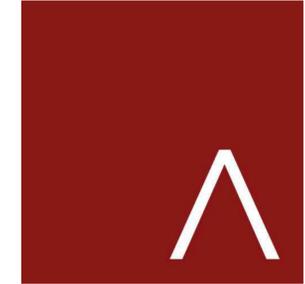
TO BE DETERMINED
XXX STREET NAME
CITY, STATE, ZIP CODE
CONTACT: MR. XX XX
EMAIL ADDRESS
PHONE AND FAX

SET ISSUE

UDC FINAL SUBMITTAL
AUGUST 12, 2020

SHEET INDEX

SHEET DISCIPLINE AND NUMBER	
GENERAL	
G000	COVER
G001	INDEX SHEET
ARCHITECTURAL SITE	
AS100	ARCHITECTURAL SITE LAYOUT PLAN
CIVIL	
C100	EXISTING CONDITIONS MAP & DEMOLITION PLAN
C101	SITE PLAN
C102	GRADING & EROSION CONTROL PLAN
C103	UTILITY PLAN
C104	SITE DETAILS
C105	FIRE ACCESS PLAN
CIVIL - LANDSCAPE	
L100	LANDSCAPE PLAN
CIVIL - SITE LIGHTING	
ES	LIGHTING LAYOUT
ARCHITECTURAL	
A099	LOWER LEVEL 2 PLAN
A100	LOWER LEVEL 1 PLAN
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A104	FOURTH FLOOR PLAN
A105	FIFTH & SIXTH FLOOR PLAN
A106	SIXTH FLOOR PLAN
A110	ROOF PLAN
A200	EXTERIOR ELEVATIONS
A201	EXTERIOR ELEVATIONS
A210	EXTERIOR MATERIALS
A220	EXTERIOR IMAGES
A221	EXTERIOR IMAGES
A222	EXTERIOR IMAGES
A223	EXTERIOR IMAGES
A224	EXTERIOR IMAGES
A225	EXTERIOR IMAGES
A226	EXTERIOR IMAGES
A227	EXTERIOR IMAGES
Grand total: 30	



JLA ARCHITECTS
MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-0302

6003, 6019, 6035,
6015 GEMINI DRIVE
GRAND VIEW
COMMONS BLOCK B

UDC FINAL SUBMITTAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE AUGUST 12, 2020

REVISION SCHEDULE		
MARK	DESCRIPTION	DATE

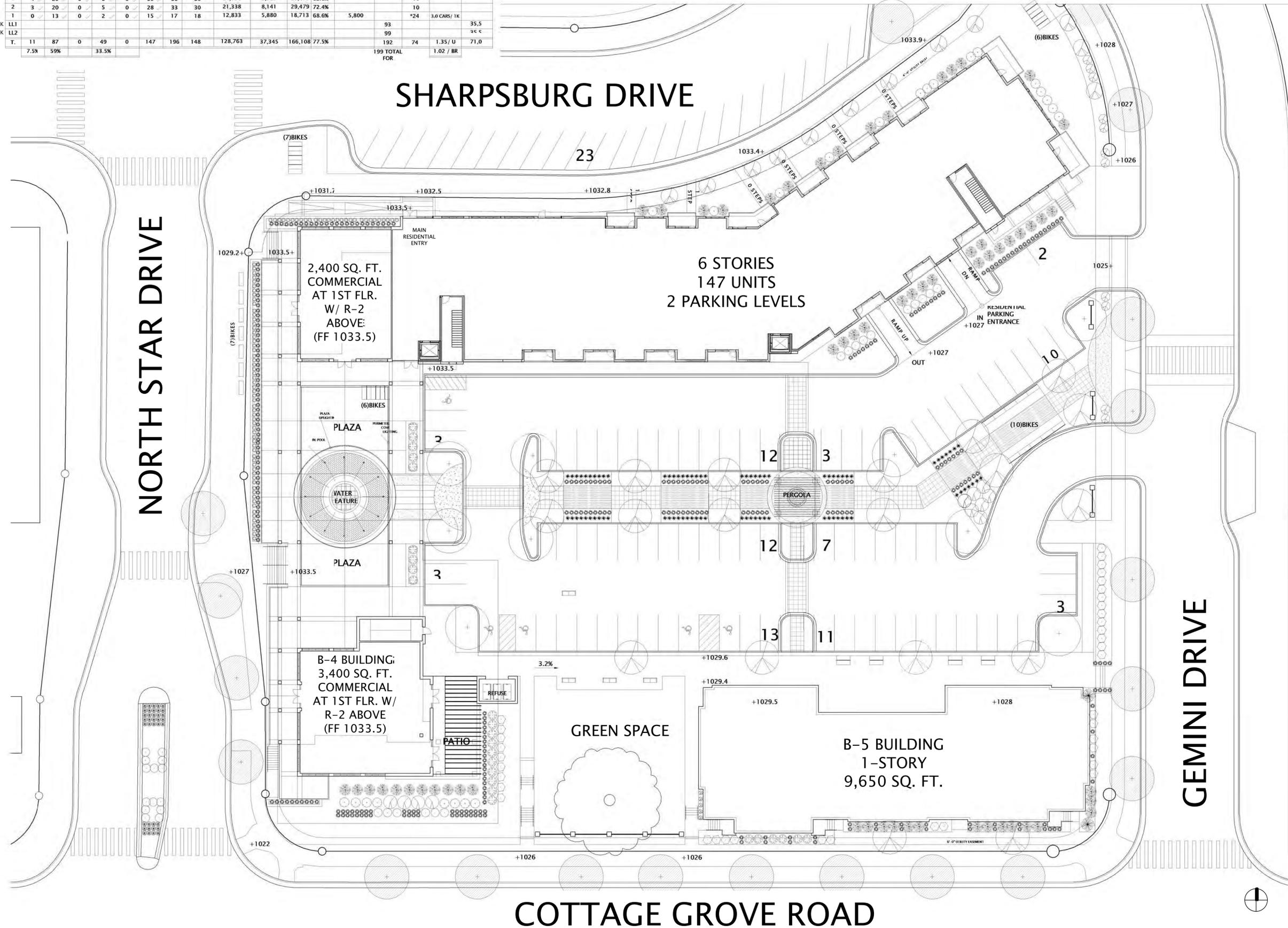
SHEET TITLE

INDEX SHEET

SHEET NUMBER

G001

FLOOR	BUILDING DATA										PARKING PROVIDED						
	STUDI	1BR	1BR+	2BR	3BR	TOTAL	BR'S	STORAGE	LEASABLE SF	COMMON SF	GSF	EFF	COMMERCIAL	COVERED	SURFACE	RATIOS	AREA
6	0	7	0	15	0	22	37	20	22,630	6,849	29,479	76.7%			10		
5	0	7	0	15	0	22	37	20	23,650	5,829	29,479	80.2%			10		
4	4	20	0	6	0	30	36	30	24,156	5,323	29,479	82.0%			10		
3	4	20	0	6	0	30	36	30	24,156	5,323	29,479	82.0%			10		
2	3	20	0	5	0	28	33	30	21,338	8,141	29,479	72.4%			10		
1	0	13	0	2	0	15	17	18	12,833	5,880	18,713	68.6%	5,800	*24	3.0 CARS/1K		
LL1													93				35.5
LL2													99				acc
T.	11	87	0	49	0	147	196	148	128,763	37,345	166,108	77.5%		192	74	1.35/ U	71.0
	7.5%	59%		33.5%									199 TOTAL FOR				



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-0302

6003, 6019, 6035,
6015 GEMINI DRIVE
GRAND VIEW
COMMONS BLOCK B

UDC FINAL SUBMITTAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE AUGUST 12, 2020

Mark	Description	Date

SHEET TITLE

ARCHITECTURAL SITE
LAYOUT PLAN

SHEET NUMBER

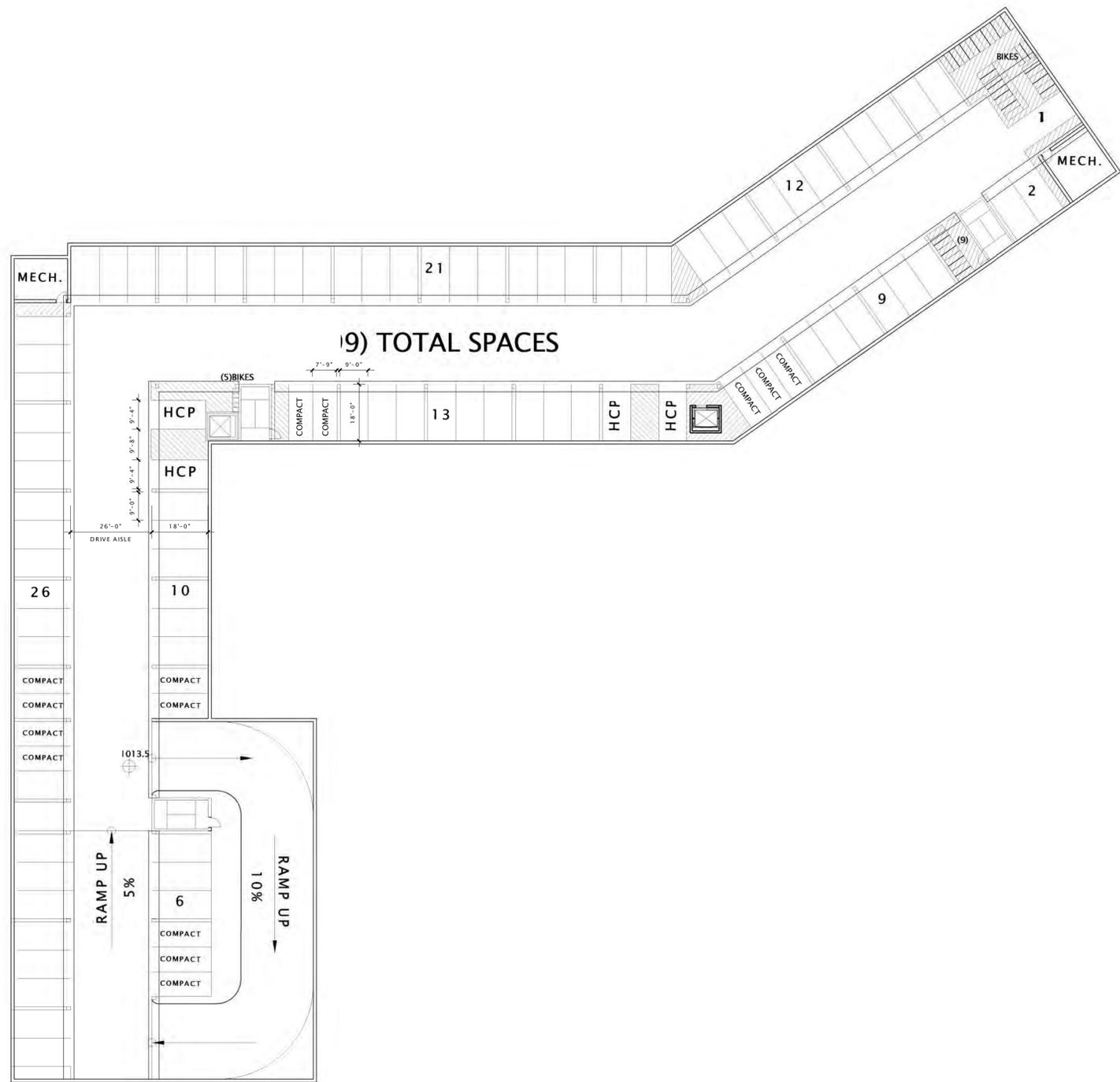
AS100



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-0302



6003, 6019, 6035,
6015 GEMINI DRIVE
GRAND VIEW
COMMONS BLOCK B

UDC FINAL SUBMITTAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

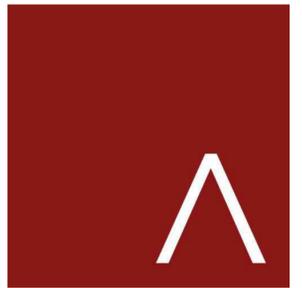
DATE OF ISSUANCE AUGUST 12, 2020

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
LOWER LEVEL 2 PLAN

SHEET NUMBER
A099

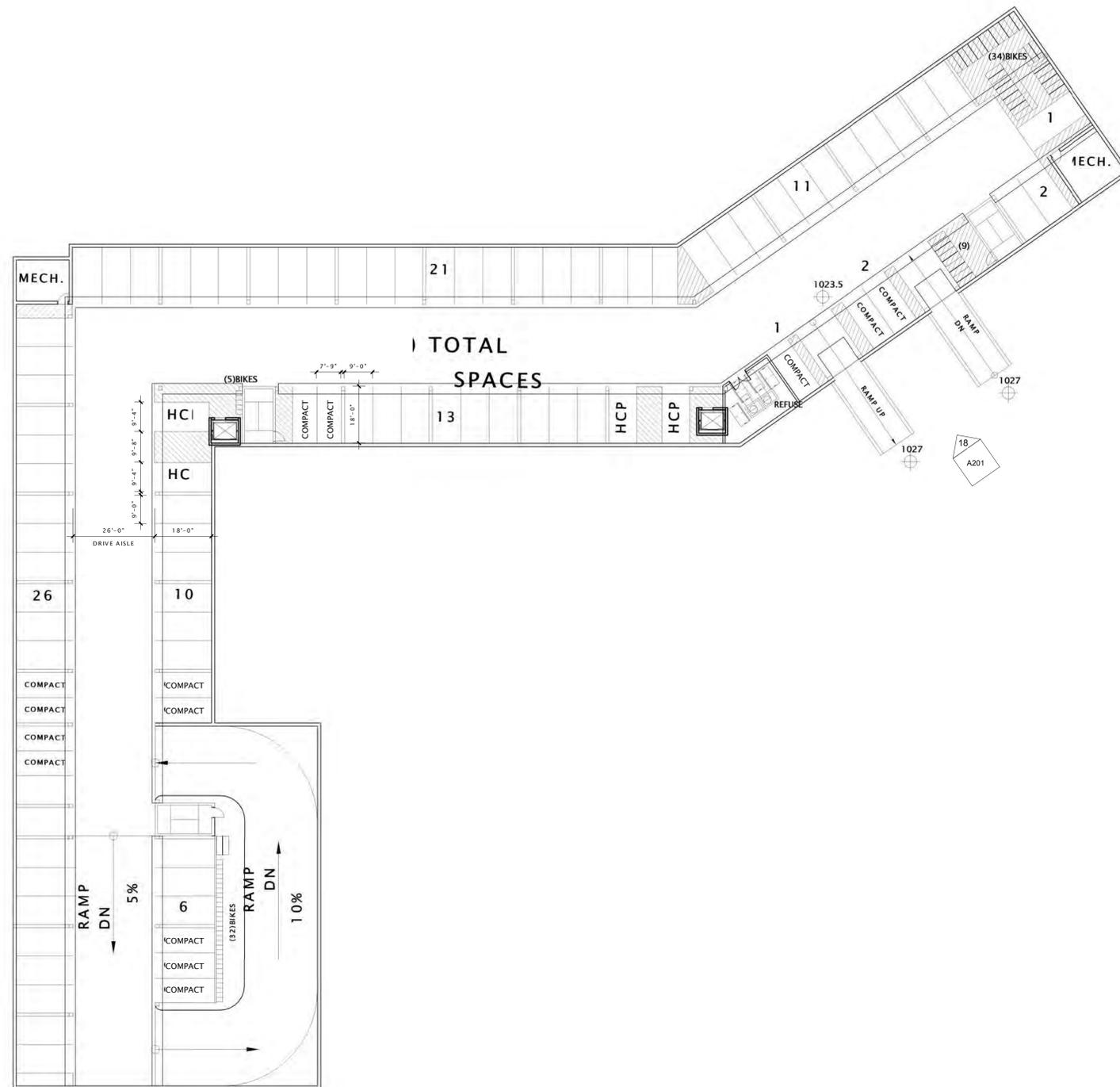




JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-0302



6003, 6019, 6035,
6015 GEMINI DRIVE
GRAND VIEW
COMMONS BLOCK B

UDC FINAL SUBMITTAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE AUGUST 12, 2020

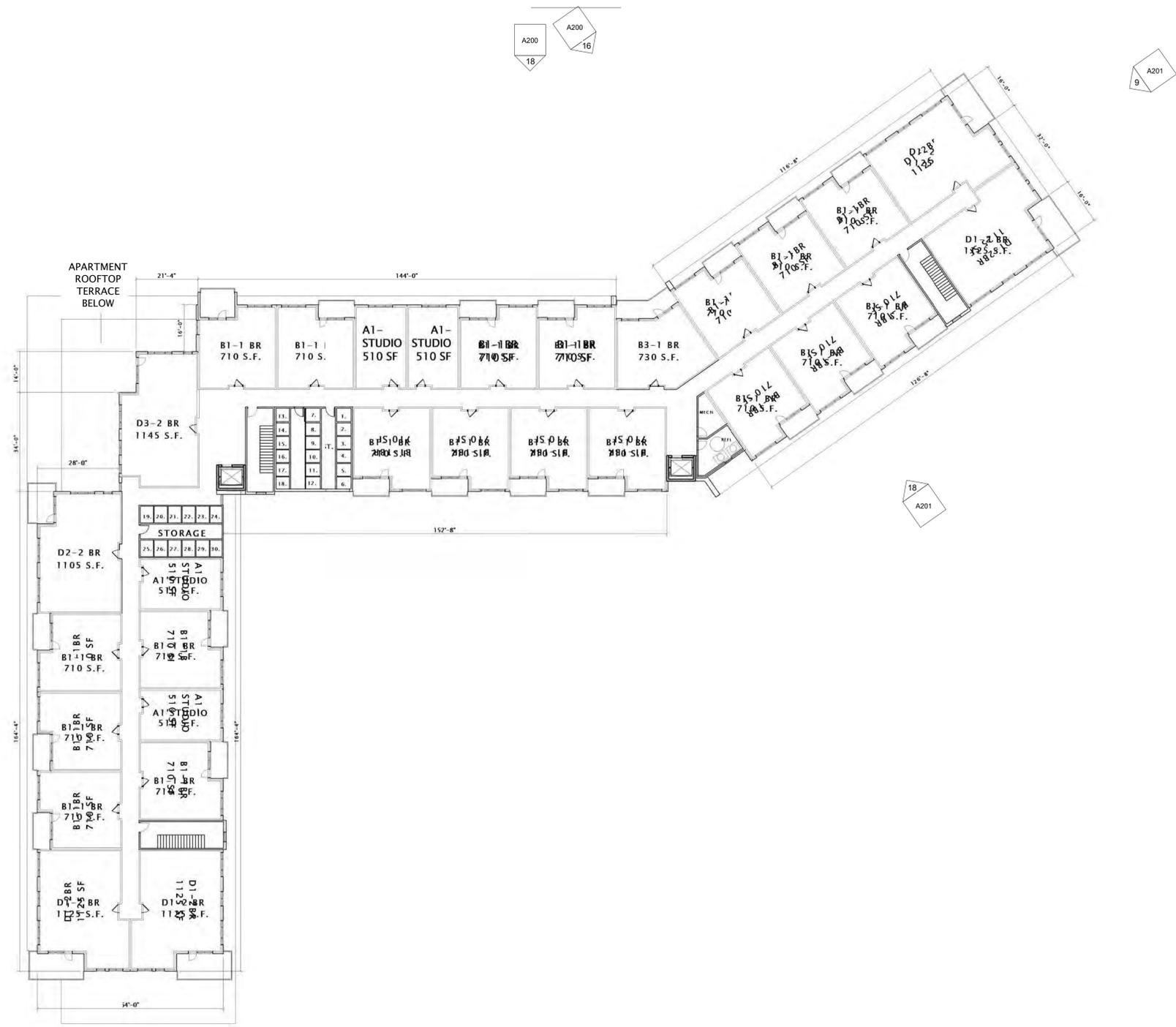
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
LOWER LEVEL 1 PLAN

SHEET NUMBER
A100

17 LOWER LEVEL 1 PLAN
3/84" = 1'-0"

8/11/2020 8:52:31 PM



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-0302

6003, 6019, 6035,
6015 GEMINI DRIVE
GRAND VIEW
COMMONS BLOCK B

UDC FINAL SUBMITTAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE AUGUST 12, 2020

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

THIRD & FOURTH
FLOOR PLAN

SHEET NUMBER

A103





JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-0302



7 WEST ELEVATION
1/16" = 1'-0"

08/12/2020 Material Selection

material	company	style / color	size
FIELDSTONE VENEER	United Brick	Fond Du Lac Field Stone - Harvest Blend	varies
MORTAR	Mortar Technologies	W-289	n/a
COMPOSITE LAP SIDING	Hardie Plank	Aged Pewter	7"x144" boards
COMPOSITE PANEL SIDING	Hardie Panel	Aged Pewter - Smooth	46"x144" boards
COMPOSITE PANEL - WOOD GRAIN	Nichiha	Vintage Wood - Cedar	18"x72" boards
COMPOSITE FASCIA - WOOD GRAIN	Nichiha	Vintage Wood - Cedar	varies
VINYL WINDOWS & PATIO DOORS	Pella Impervia	Casement - Black	varies
PREFINISHED METAL RAILING	Quigley	Metal/Wire Mesh Guardrails - Black	varies
STOREFRONT	Kawneer	Black	varies



16 NORTHWEST ELEVATION
1/16" = 1'-0"



18 NORTH ELEVATION
1/16" = 1'-0"

6003, 6019, 6035,
6015 GEMINI DRIVE
GRAND VIEW
COMMONS BLOCK B

UDC FINAL SUBMITTAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE AUGUST 12, 2020

REVISION SCHEDULE

Mark	Description	Date

PROPOSED

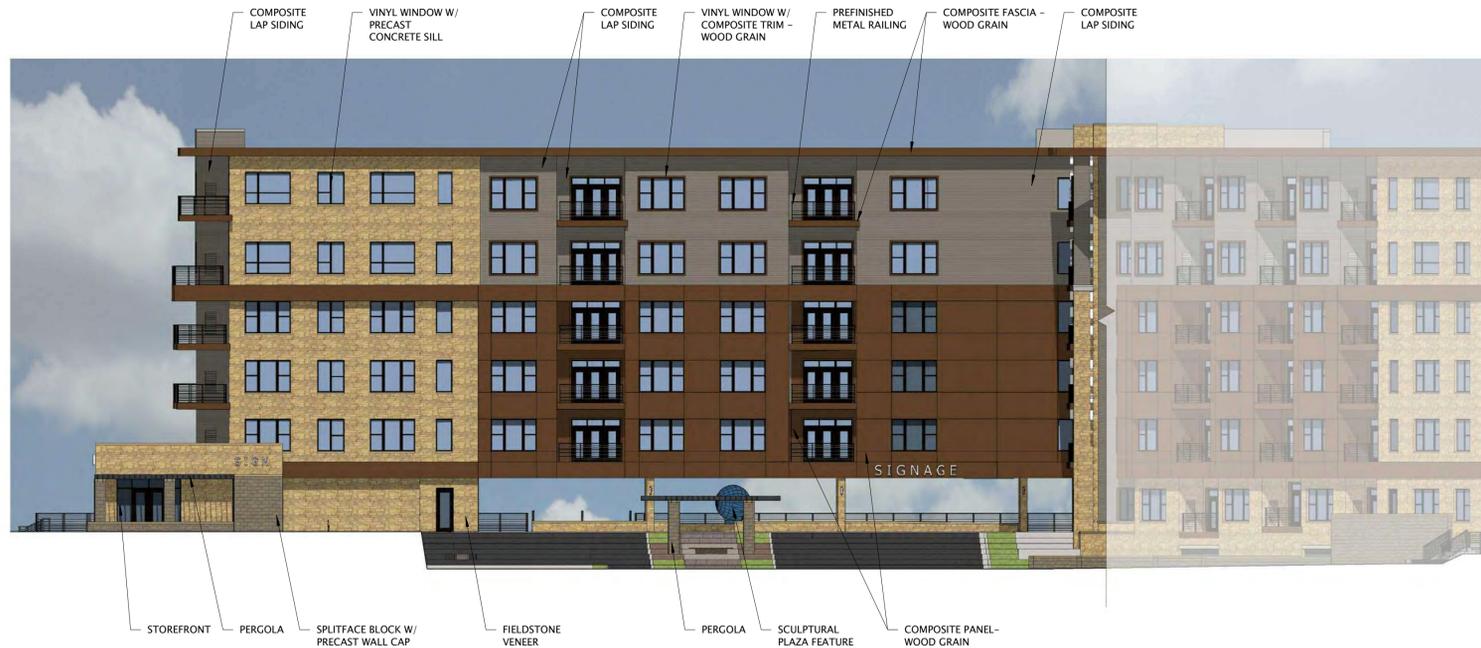
SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET NUMBER

A200

PROPOSED



ROOF TRUSS BRG
167'-10 1/2"

SIXTH FLOOR PLAN
157'-9 3/8"

FIFTH FLOOR
146'-7 1/2"

FOURTH FLOOR
135'-5 5/8"

THIRD FLOOR
124'-3 3/4"

SECOND FLOOR
113'-1 7/8"

FIRST FLOOR
100'-0"

LOWER LEVEL 1
90'-0"

6 EAST ELEVATION
1/16" = 1'-0"



ROOF TRUSS BRG
167'-10 1/2"

SIXTH FLOOR PLAN
157'-9 3/8"

FIFTH FLOOR
146'-7 1/2"

FOURTH FLOOR
135'-5 5/8"

THIRD FLOOR
124'-3 3/4"

SECOND FLOOR
113'-1 7/8"

FIRST FLOOR
100'-0"

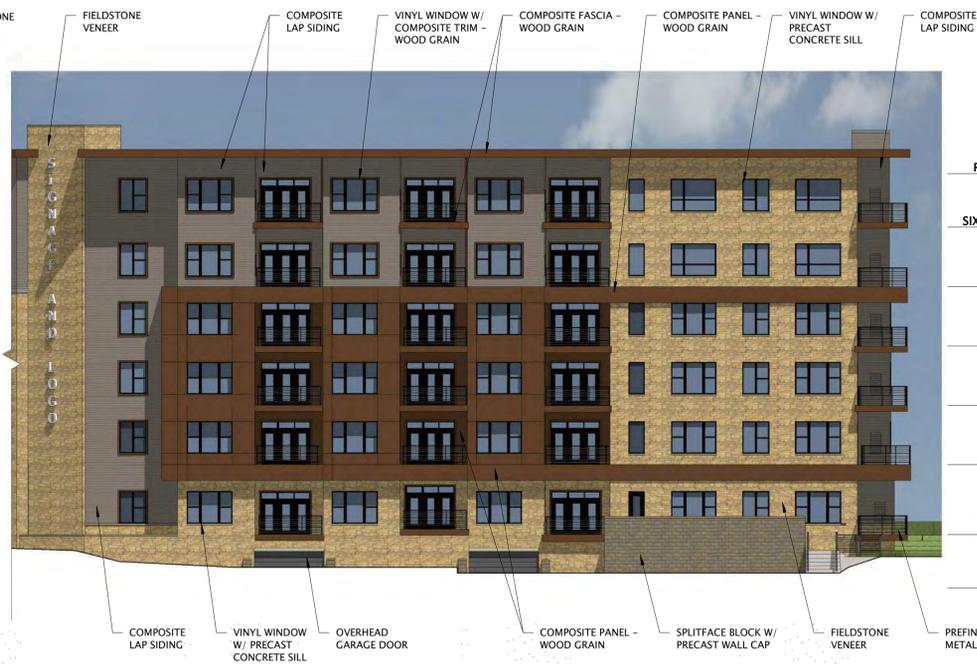
9 NORTHEAST ELEVATION
1/16" = 1'-0"

08/12/2020 Material Selection

material	company	style / color	size
FIELDSTONE VENEER	United Brick	Fond Du Lac Field Stone - Harvest Blend	varies
MORTAR	Mortar Technologies	W-289	n/a
COMPOSITE LAP SIDING	Hardie Plank	Aged Pewter	7"x144" boards
COMPOSITE PANEL SIDING	Hardie Panel	Aged Pewter - Smooth	46"x144" boards
COMPOSITE PANEL - WOOD GRAIN	Nichiha	Vintage Wood - Cedar	18"x72" boards
COMPOSITE FASCIA - WOOD GRAIN	Nichiha	Vintage Wood - Cedar	varies
VINYL WINDOWS & PATIO DOORS	Pella Impervia	Casement - Black	varies
PREFINISHED METAL RAILING	Quigley	Metal/Wire Mesh Guardrails - Black	varies
STOREFRONT	Kawneer	Black	varies

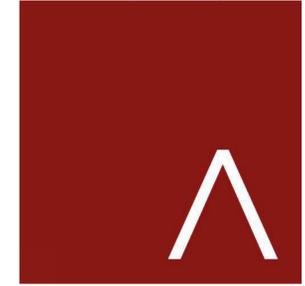


16 SOUTH ELEVATION
1/16" = 1'-0"



18 SOUTHEAST ELEVATION
1/16" = 1'-0"

PROPOSED



JLA
ARCHITECTS
MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-0302

6003, 6019, 6035,
6015 GEMINI DRIVE
GRAND VIEW
COMMONS BLOCK B

UDC FINAL SUBMITTAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE AUGUST 12, 2020

Mark	Description	Date

PROPOSED

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A201

8/12/2020 10:27:18 AM



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

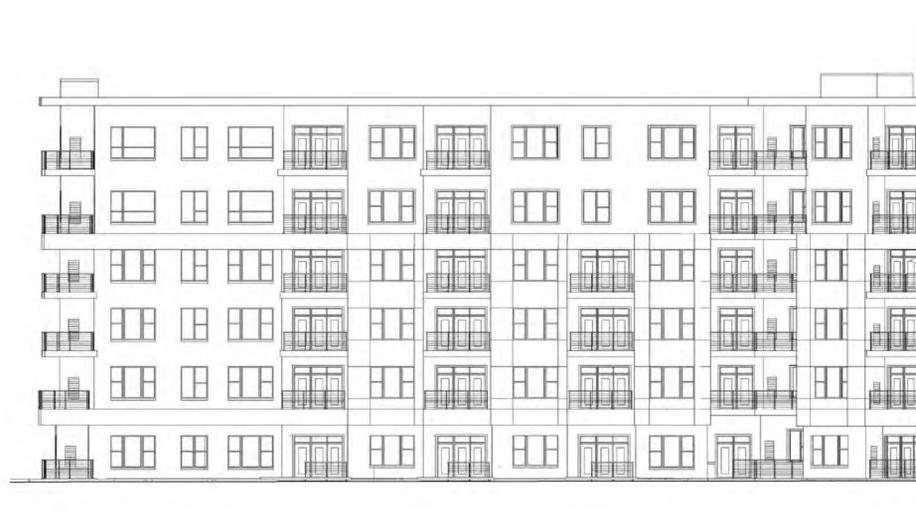
JLA PROJECT NUMBER: 20-0302



7 WEST ELEVATION
1/16" = 1'-0"

08/12/2020 Material Selection

material	company	style / color	size
FIELDSTONE VENEER	United Brick	Fond Du Lac Field Stone - Harvest Blend	varies
MORTAR	Mortar Technologies	W-289	n/a
COMPOSITE LAP SIDING	Hardie Plank	Aged Pewter	7"x144" boards
COMPOSITE PANEL SIDING	Hardie Panel	Aged Pewter - Smooth	46"x144" boards
COMPOSITE PANEL - WOOD GRAIN	Nichiha	Vintage Wood - Cedar	18"x72" boards
COMPOSITE FASCIA - WOOD GRAIN	Nichiha	Vintage Wood - Cedar	varies
VINYL WINDOWS & PATIO DOORS	Pella Impervia	Casement - Black	varies
PREFINISHED METAL RAILING	Quigley	Metal/Wire Mesh Guardrails - Black	varies
STOREFRONT	Kawneer	Black	varies



16 NORTHWEST ELEVATION
1/16" = 1'-0"



18 NORTH ELEVATION
1/16" = 1'-0"

6003, 6019, 6035,
6015 GEMINI DRIVE
GRAND VIEW
COMMONS BLOCK B

UDC FINAL SUBMITTAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE AUGUST 12, 2020

REVISION SCHEDULE

Mark	Description	Date

PROPOSED

SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET NUMBER

A200

PROPOSED



6 EAST ELEVATION
1/16" = 1'-0"



9 NORTHEAST ELEVATION
1/16" = 1'-0"

08/12/2020 Material Selection

material	company	style / color	size
FIELDSTONE VENEER	United Brick	Fond Du Lac Field Stone - Harvest Blend	varies
MORTAR	Mortar Technologies	W-289	n/a
COMPOSITE LAP SIDING	Hardie Plank	Aged Pewter	7"x144" boards
COMPOSITE PANEL SIDING	Hardie Panel	Aged Pewter - Smooth	46"x144" boards
COMPOSITE PANEL - WOOD GRAIN	Nichiha	Vintage Wood - Cedar	18"x72" boards
COMPOSITE FASCIA - WOOD GRAIN	Nichiha	Vintage Wood - Cedar	varies
VINYL WINDOWS & PATIO DOORS	Pella Impervia	Casement - Black	varies
PREFINISHED METAL RAILING	Quigley	Metal/Wire Mesh Guardrails - Black	varies
STOREFRONT	Kawneer	Black	varies



16 SOUTH ELEVATION
1/16" = 1'-0"

PROPOSED



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-0302

6003, 6019, 6035,
6015 GEMINI DRIVE
GRAND VIEW
COMMONS BLOCK B

UDC FINAL SUBMITTAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE AUGUST 12, 2020

REVISION SCHEDULE		
Mark	Description	Date

PROPOSED

SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET NUMBER

A201

8/11/2020 9:18:16 AM



VIEW FROM NORTH STAR DRIVE & SHARPSBURG DRIVE

PROPOSED



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-0302

6003, 6019, 6035,
6015 GEMINI DRIVE
GRAND VIEW
COMMONS BLOCK B

UDC FINAL SUBMITTAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE AUGUST 12, 2020

REVISION SCHEDULE		
Mark	Description	Date

PROPOSED

SHEET TITLE
EXTERIOR IMAGES

SHEET NUMBER
A220



VIEW FROM NORTH STAR DRIVE & COTTAGE GROVE ROAD

PROPOSED



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-0302

6003, 6019, 6035,
6015 GEMINI DRIVE
GRAND VIEW
COMMONS BLOCK B

UDC FINAL SUBMITTAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE AUGUST 12, 2020

REVISION SCHEDULE

Mark	Description	Date

PROPOSED

SHEET TITLE
EXTERIOR IMAGES

SHEET NUMBER
A221



VIEW FROM COTTAGE GROVE ROAD & GEMINI DRIVE

PROPOSED



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-0302

6003, 6019, 6035,
6015 GEMINI DRIVE
GRAND VIEW
COMMONS BLOCK B

UDC FINAL SUBMITTAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE AUGUST 12, 2020

REVISION SCHEDULE		
Mark	Description	Date

PROPOSED

SHEET TITLE
EXTERIOR IMAGES

SHEET NUMBER
A222

8/12/2020 7:39:41 AM



VIEW FROM GEMINI DRIVE

PROPOSED



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-0302

6003, 6019, 6035,
6015 GEMINI DRIVE
GRAND VIEW
COMMONS BLOCK B

UDC FINAL SUBMITTAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE AUGUST 12, 2020

REVISION SCHEDULE

Mark	Description	Date

PROPOSED

SHEET TITLE

EXTERIOR IMAGES

SHEET NUMBER

A223



VIEW FROM GEMINI DRIVE & SHARPSBURG DRIVE

PROPOSED



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-0302

6003, 6019, 6035,
6015 GEMINI DRIVE
GRAND VIEW
COMMONS BLOCK B

UDC FINAL SUBMITTAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE AUGUST 12, 2020

REVISION SCHEDULE		
Mark	Description	Date

PROPOSED

SHEET TITLE
EXTERIOR IMAGES

SHEET NUMBER
A224



VIEW FROM NORTH STAR DRIVE THROUGH COVERED PLAZA - DAY VIEW

PROPOSED



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-0302

6003, 6019, 6035,
6015 GEMINI DRIVE
GRAND VIEW
COMMONS BLOCK B

UDC FINAL SUBMITTAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE AUGUST 12, 2020

REVISION SCHEDULE		
Mark	Description	Date

PROPOSED

SHEET TITLE
EXTERIOR IMAGES

SHEET NUMBER
A225



VIEW OF ROOFTOP TERRACE AT CLUB ROOM

PROPOSED



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-0302

6003, 6019, 6035,
6015 GEMINI DRIVE
GRAND VIEW
COMMONS BLOCK B

UDC FINAL SUBMITTAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE AUGUST 12, 2020

REVISION SCHEDULE

Mark	Description	Date

PROPOSED

SHEET TITLE
EXTERIOR IMAGES

SHEET NUMBER
A227

08/12/2020 Material Selection

material	company	style / color	size
FIELDSTONE VENEER	United Brick	Fond Du Lac Field Stone - Harvest Blend	varies
MORTAR	Mortar Technologies	W-289	n/a
COMPOSITE LAP SIDING	Hardie Plank	Aged Pewter	7"x144" boards
COMPOSIT PANEL SIDING	Hardie Panel	Aged Pewter - Smooth	46"x144" boards
COMPOSITE PANEL - WOOD GRAIN	Nichiha	Vintage Wood - Cedar	18"x72" boards
COMPOSITE FASCIA - WOOD GRAIN	Nichiha	Vintage Wood - Cedar	varies
VINYL WINDOWS & PATIO DOORS	Pella Impervia	Casement - Black	varies
PREFINISHED METAL RAILING	Quigley	Metal/Wire Mesh Guardrails - Black	varies
STOREFRONT	Kawneer	Black	varies



PROPOSED



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-0302

6003, 6019, 6035,
6015 GEMINI DRIVE
GRAND VIEW
COMMONS BLOCK B

UDC FINAL SUBMITTAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE AUGUST 12, 2020

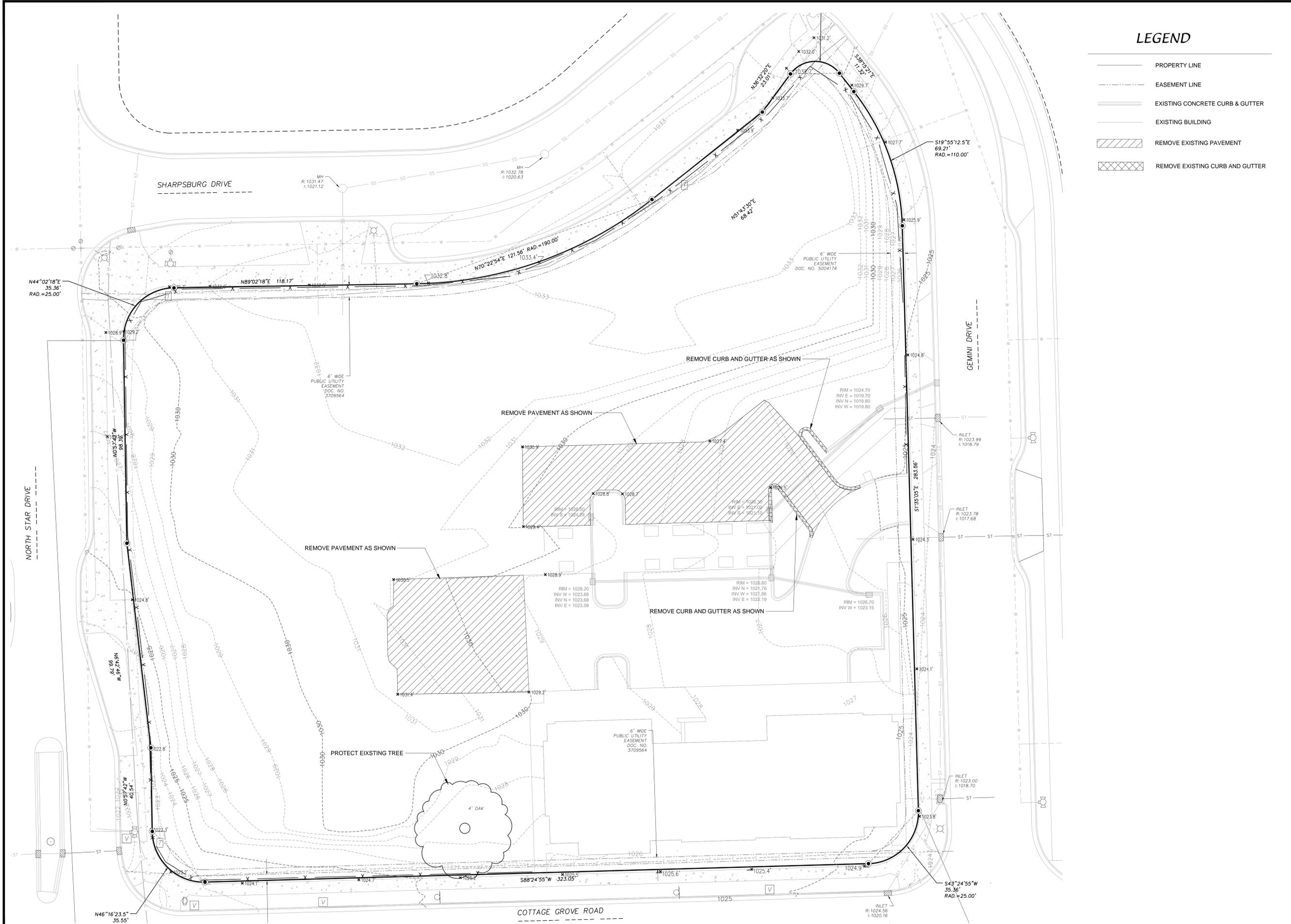
REVISION SCHEDULE

Mark	Description	Date

PROPOSED

SHEET TITLE
EXTERIOR MATERIALS

SHEET NUMBER
A210



LEGEND

- PROPERTY LINE
- - - EASEMENT LINE
- EXISTING CONCRETE CURB & GUTTER
- EXISTING BUILDING
- ▨ REMOVE EXISTING PAVEMENT
- ▩ REMOVE EXISTING CURB AND GUTTER

EXISTING CONDITIONS MAP & DEMOLITION PLAN

GRANDVIEW COMMONS B-BLOCK

CITY OF MADISON, WI

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT



SCALE: 1" = 20'
 (PAGE SIZE: 24x36)

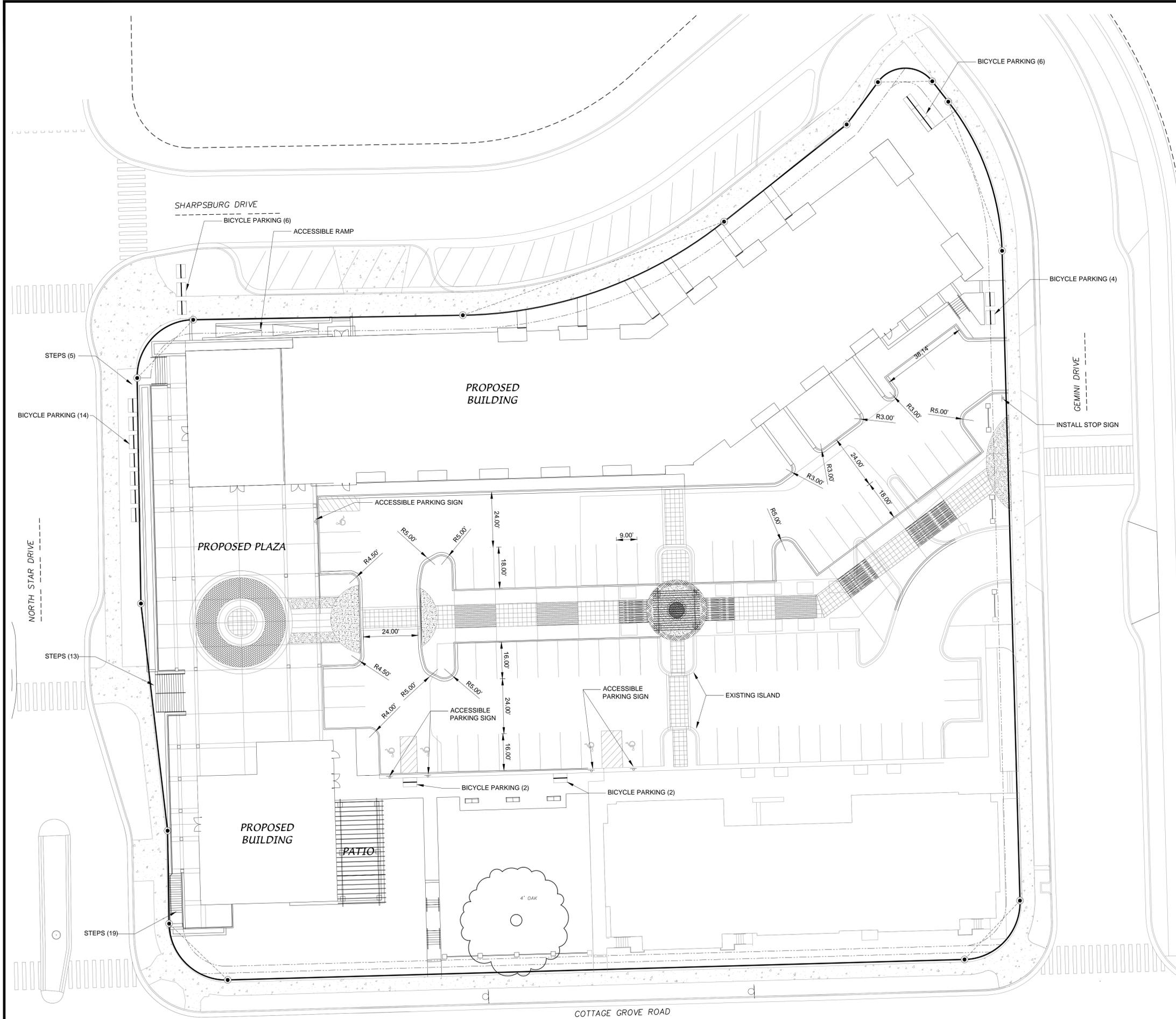
DATE: 06/03/20
 REVISED:

DRAWN BY: KWB

FN: 20-05-122

Sheet Number:

C100



LEGEND

- PROPERTY LINE
- - - EASEMENT LINE
- ==== 18" CONCRETE CURB & GUTTER
- PROPOSED BUILDING

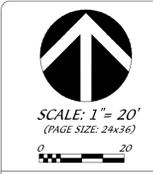
GENERAL NOTES

1. ALL SITE WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY
4. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION
6. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED
7. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION

SITE PLAN INFORMATION BLOCK	
PROJECT AREA	84,200 SF
PROPOSED BUILDING AREA	34,900 SF
PROPOSED TOTAL IMPERVIOUS	66,500 SF
NUMBER OF PROPOSED SURFACE PARKING STALLS	54
NUMBER OF ACCESSIBLE STALLS	5
TOTAL OF SURFACE BICYCLE STALLS	34

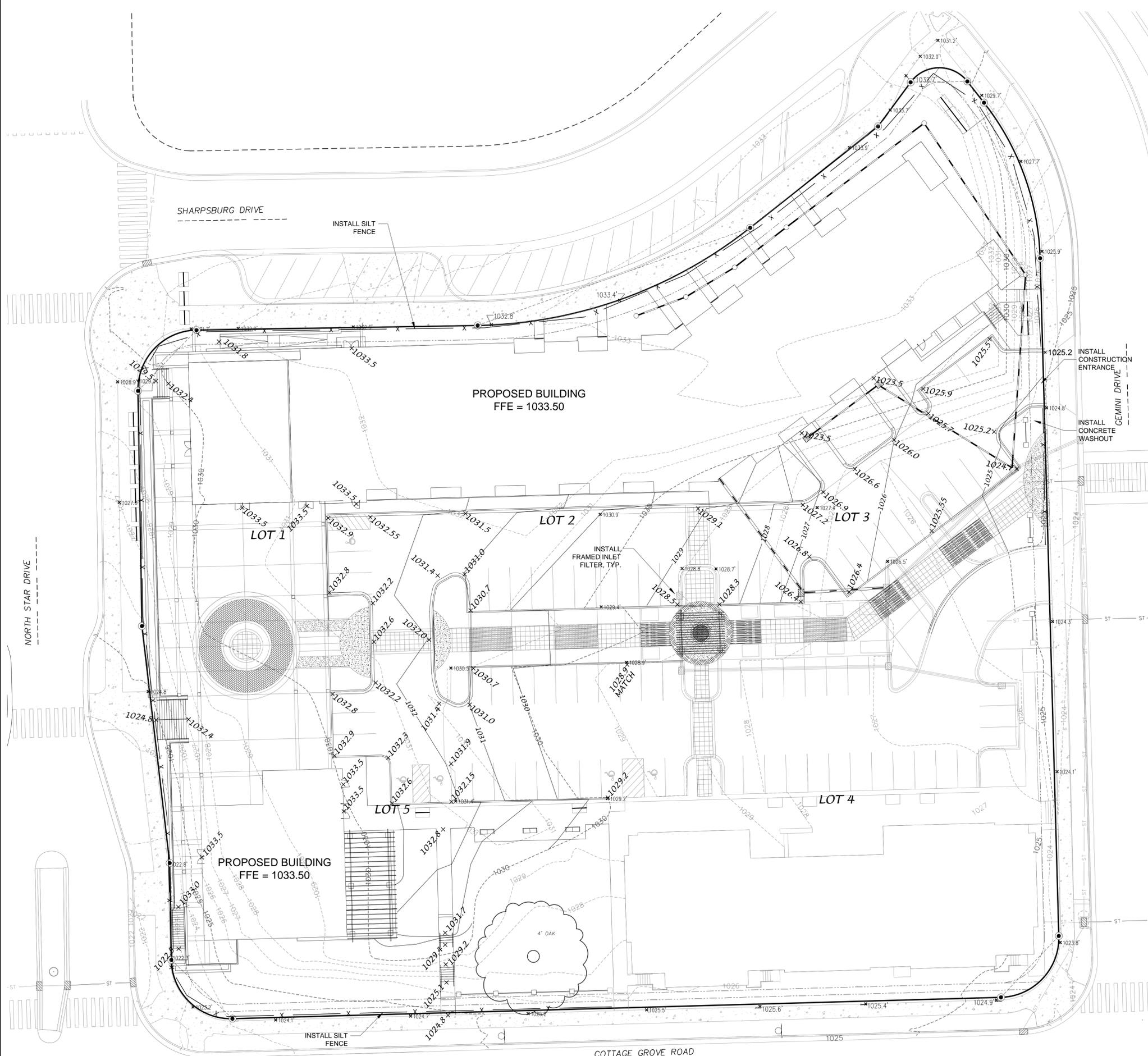
D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

GRANDVIEW COMMONS B-BLOCK
 SITE PLAN
 CITY OF MADISON, WI



DATE: 06/03/20
 REVISED:

DRAWN BY: KWB
 FN: 20-05-122
 Sheet Number:
C101



LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR
- SPOT ELEVATION
- SILT FENCE/SILT SOCK

GENERAL NOTES:

1. ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE CITY OF MADISON STANDARDS.
2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY.
4. IF ANY ERRORS, DISCREPANCIES OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATION AND OFFSITE DURING FINAL RESTORATION.

SITE GRADING AND EROSION CONTROL NOTES:

1. ALL SITE GRADING AND EROSION CONTROL SHALL CONFORM WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE, WISCONSIN DNR TECHNICAL STANDARDS AND ANY ADDENDUMS ISSUED PRIOR TO THE CONTRACT BID DATE.
2. STONE TRACKING PADS AND SILT FENCE SHALL BE INSTALLED AT THE START OF SITE GRADING AND MAINTAINED UNTIL THE SITE HAS BEEN STABILIZED.
3. DISTURBED AREAS WITHIN THE CITY ROW SHALL BE RESTORED WITH SEED, FERTILIZER AND MULCH IN ACCORDANCE WITH THE CITY SPECIFICATIONS. ALL DISTURBED AREAS ON SITE SHALL BE RESTORED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN. ANY DISTURBED SLOPES 4:1 OR STEEPER SHALL BE RESTORED WITH CLASS I URBAN, TYPE B EROSION MATTING WITHIN 48 HRS OF FINAL TOPSOIL PLACEMENT ON THE BANKS.
SEED: MADISON PARKS MIX APPLIED AT A RATE OF 6 POUNDS PER 1000 SF
FERTILIZER: FERTILIZER COMPOSITION SHALL BE DETERMINED BY A SOILS TEST AND APPLIED AT A RATE OF 0.5 NITROGEN POUNDS PER 1000 SF.
4. EROSION CONTROL SHALL BE THE RESPONSIBILITY OF THE EARTHWORK CONTRACTOR UNTIL THE SITE HAS BEEN STABILIZED. EROSION MEASURES AS LISTED SHALL BE THE MINIMUM MEASURES THAT WILL BE ACCEPTABLE.
5. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION MEASURES AS REQUESTED IN WRITING BY THE PROJECT INSPECTOR OR THE CITY OF MADISON WITHIN 24 HOURS OF NOTIFICATION.
6. ONCE THE SITE HAS UNDERGONE FINAL RESTORATION AND VEGETATION HAS ESTABLISHED, THE SILT FENCE SHALL BE REMOVED AND IF NECESSARY RESTORED WITH FERTILIZER, SEED AND MULCH. ALTERNATIVELY, IF VEGETATION HAS NOT ESTABLISHED, EROSION MATTING MUST BE PLACED ON ALL DISTURBED AREAS THAT MAY DRAIN TOWARD THE SILT FENCE.
7. SITE INSPECTIONS SHALL BE COMPLETED ON A WEEKLY BASIS OR AFTER EVERY RAINFALL OF AT LEAST 0.5 INCHES. ALL NECESSARY REPAIRS MUST BE COMPLETED WITHIN 24 HOURS OF NOTIFICATION.
8. ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
9. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
10. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES
11. DEWATERING, IF APPLICABLE SHALL BE CONDUCTED PER WDNR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.
12. DURING CONSTRUCTION ALL CURB INLETS SHALL RECEIVE FLEXSTORM CATCH IT OR EQUIVALENT AND INSTALLED IMMEDIATELY AFTER INSTALLATION OF THE STRUCTURE.
13. ALL CURB INLETS SHALL RECEIVE PERMANENT FLEXSTORM PURE OR EQUIVALENT INLET FILTER BAGS WITH HR PILLOWS FOR OIL AND GREASE PROTECTION. HR PILLOW SHALL BE INSTALLED AFTER THE PARKING LOT HAS BEEN PAVED AND THE SITE STABILIZED.
14. DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD DETAIL DRAWING FOR COMMERCIAL DRIVEWAYS.

CONSTRUCTION SCHEDULE

- 10-1-18 INSTALL EROSION CONTROL & BEGIN GRADING ACTIVITIES
- 10-15-18 BEGIN UTILITY INSTALLATION
- 10-1-18 - 6-1-19 BUILDING FOUNDATION CONSTRUCTION
- 7-1-19 PLACE STONE ON PARKING LOT AREAS, SEED/MULCH GRASS AREAS
- 8-1-19 PAVE PARKING LOTS
- 10-1-19 FINAL SITE RESTORATION

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7590 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

GRANDVIEW COMMONS B-BLOCK

GRADING & EROSION CONTROL PLAN



SCALE: 1" = 20'
 (PAGE SIZE: 24x36)

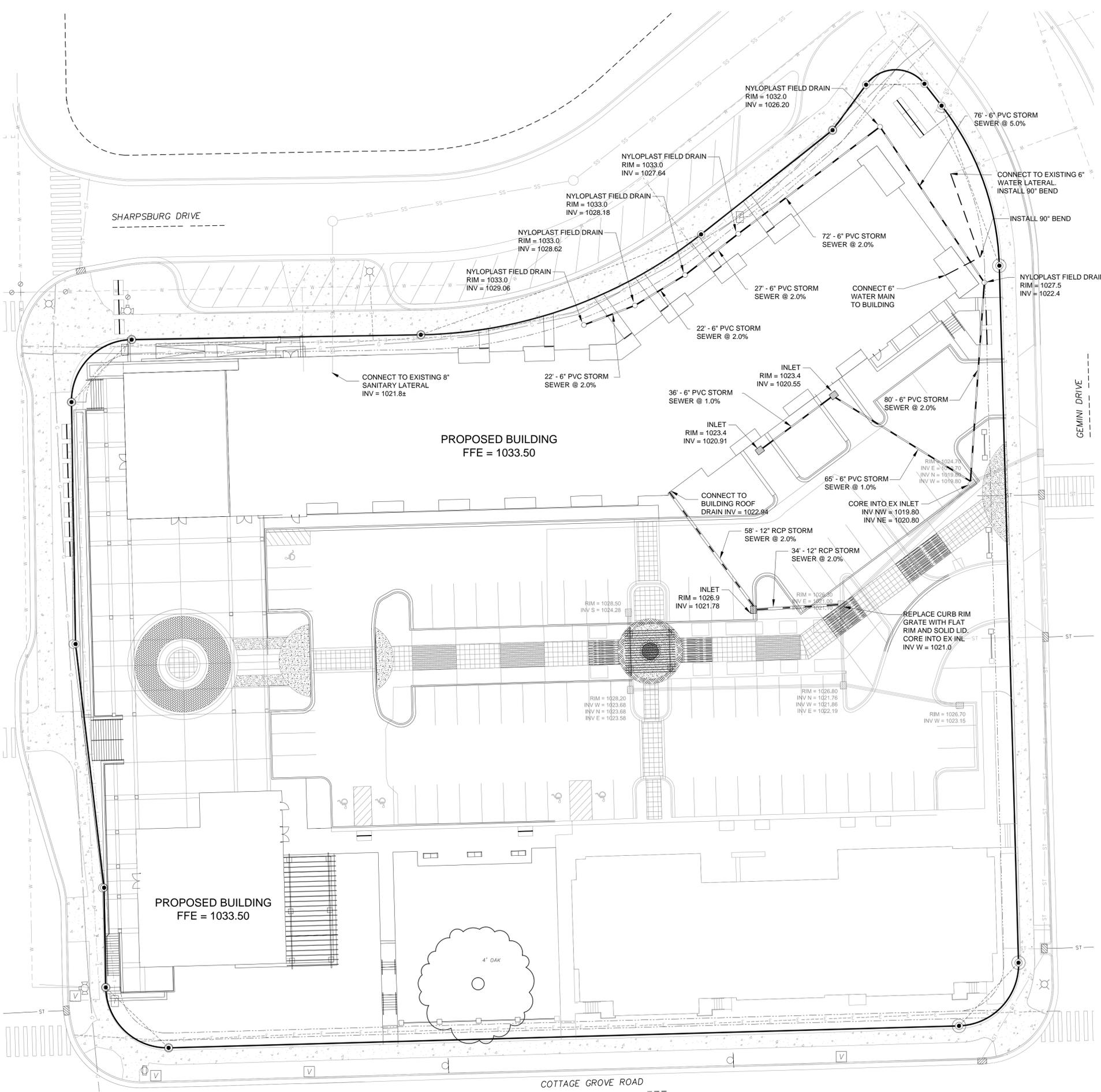
DATE: 06/03/20
 REVISED:

DRAWN BY: KWB

FN: 20-05-122

Sheet Number:

C102



LEGEND

- 18" CONCRETE CURB & GUTTER
- PROPOSED BUILDING
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATER MAIN

SITE UTILITY NOTES

1. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. PROTECTION OF EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY.
2. ALL SITE UTILITY WORK SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
3. CONTRACTOR TO COORDINATE ELECTRIC, GAS, PHONE & CABLE INSTALLATION WITH THE RESPECTIVE UTILITY COMPANIES.
4. UTILITY CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITY GRADES AND NOTIFY THE PROJECT SUPERINTENDENT IF A CONFLICT ARISES WITH THE INSTALLATION OF NEW UTILITIES.
5. ALL 2X3 INLETS TO BE 2' X 3' INLET BOXES WITH NEENAH R-3067 COMBINATION INLET FRAME, GRATE, CURB BOX WITH TYPE C LID, UNLESS NOTED OTHERWISE ON PLAN
6. ALL STORM MANHOLES TO BE 48" DIAMETER MANHOLE WITH NEENAH R-2501 INLET FRAME, GRATE WITH SOLID LID, UNLESS NOTED OTHERWISE ON PLAN
7. CONTRACTOR TO COORDINATE SANITARY LATERAL AND WATER SERVICE ROUTING AND BUILDING CONNECTION WITH PLUMBING PLAN PRIOR TO CONSTRUCTION.

UTILITY PLAN

GRANDVIEW COMMONS B-BLOCK

CITY OF MADISON, WI

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT



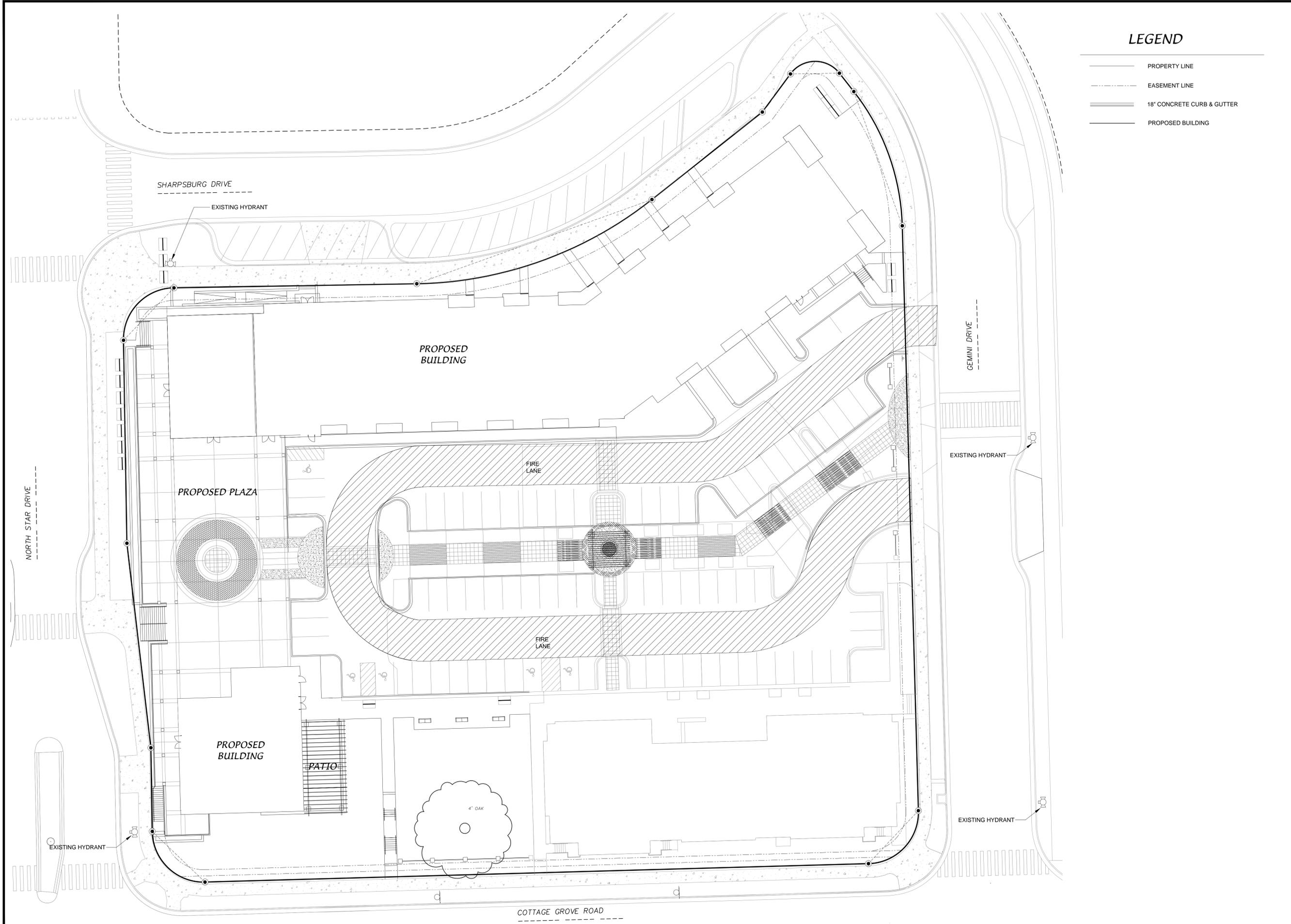
SCALE: 1" = 20'
 (PAGE SIZE: 24x36)

DATE: 06/03/20
 REVISED:

DRAWN BY: KWB

FN: 20-05-122

Sheet Number:
C103



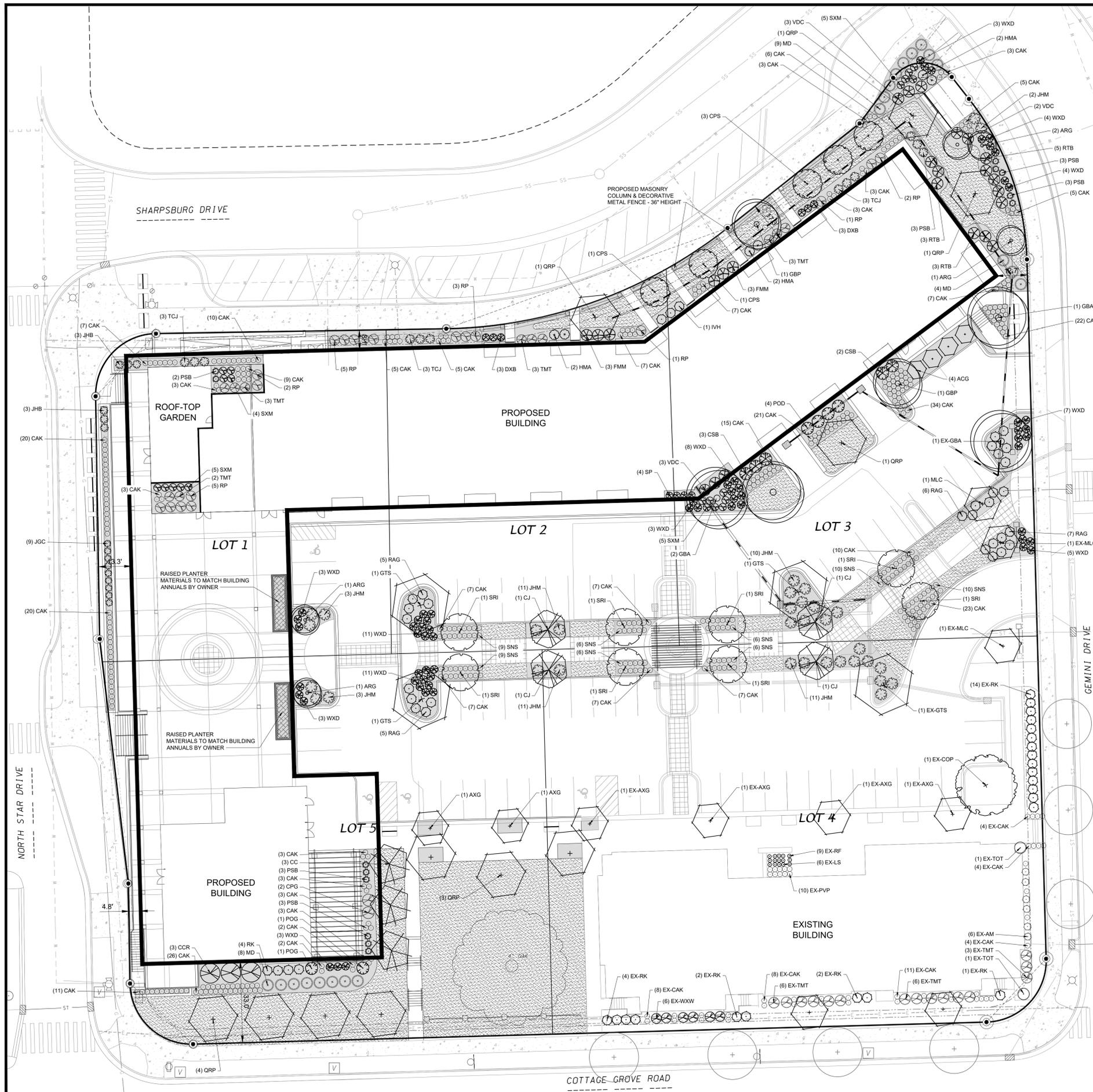
D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

FIRE ACCESS PLAN
GRANDVIEW COMMONS B-BLOCK
 CITY OF MADISON, WI



DATE: 06/03/20
 REVISED:

DRAWN BY: KWB
 FN: 20-05-122
 Sheet Number:
C105



LANDSCAPE REQUIREMENTS SUMMARY

5 POINTS PER 300 SF OF DEVELOPED AREA
 GROSS DEVELOPED AREA = 100,805 SQ FT
 BUILDING FOOTPRINTS = 38,110 SQ FT
 NET DEVELOPED AREA = 64,695 SQ FT (1.05 ACRE)
 TOTAL POINTS REQUIRED = 1080 POINTS
 POINTS PROVIDED = 3,680 POINTS

PLANT SCHEDULE

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	PTS PER PLANT	SUB-TOTAL	SIZE	ROOT COND	NOTES
OVERSTORY DECIDUOUS TREES								
ARG	Acer rubrum 'Armstrong Gold'	Armstrong Gold Maple	5	35	175	2.5'	B&B	
EX-COP	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	1	35	35	2.5'		Existing
CPS	Celtis 'Prairie Sentinel'	Prairie Sentinel Hackberry	5	35	175	2.5'	B&B	
GSA	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo	3	35	105	2.5'	B&B	
EX-GSA	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo	1	35	35	2.5'		Existing
GBP	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2	35	70	2.5'	B&B	
GTS	Gleditsia tricanthos 'Skycoke'	Skyline Honeylocust	4	35	140	2.5'	B&B	
QRP	Quercus 'Regal Prince'	Regal Prince Oak	11	35	385	2.5'	B&B	
ORNAMENTAL TREE								
AXG	Amelanchier 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2	15	30	1.5'	B&B	
EX-AXG	Amelanchier 'Autumn Brilliance'	Autumn Brilliance Serviceberry	4	15	60	1.5'		Existing
CC	Carpinus Caroliniana	Musculewood	3	15	45	1.5'	B&B	
CJ	Cercidiphyllum japonica	Katsura Tree	4	15	60	1.5'	B&B	
MLC	Malus 'Cardinal'	Cardinal Crabapple	1	15	15	1.5'	B&B	
EX-MLC	Malus 'Cardinal'	Cardinal Crabapple	2	15	30	1.5'		Existing
EX-MRJ	Malus 'Red Jewel'	Red Jewel Crabapple	2	15	30	1.5'		Existing
SRI	Syringa reticulata 'Ivory Silk'	Ivory Silk Lilac	8	15	120	1.5'		Existing
DECIDUOUS SHRUB								
ACG	Amelanchier canadensis 'Glenform'	Rainbow Pillar Serviceberry	4	3	12	48"	B&B	
EX-AM	Aronia melanocarpa 'Elate'	Black Beauty Chokeberry	6	3	18			Existing
CCR	Cotinus coggygria 'Royal Purple'	Royal Purple Smoke Bush	3	3	9	24" TALL	POT	
CSB	Cornus sericea 'Bainhalo'	Ivory Halo Dogwood	5	3	15	24" TALL	POT	
DXB	Daphne x burkwoodii 'Carol Mackie'	Carol Mackie Daphne	6	3	18	24" TALL	POT	
FMM	Fothergilla 'Mount Airy'	Mount Airy Fothergilla	6	3	18	24" TALL	POT	
HMA	Hydrangea '24 Summer Beauty'	All Summer Beauty Hydrangea	9	3	27	24" TALL	POT	
IVH	Ilex virginica 'Henry's Garnet'	Henry's Garnet Sweetspire	3	3	9	24" TALL	POT	
POD	Physocarpus opulifolius 'Diablo'	Diablo Ninebark	4	3	12	24" TALL	POT	
POG	Physocarpus 'Dart's Gold'	Dart's Gold Ninebark	2	3	6	24" TALL	POT	
RAG	Rhus aromatica 'Grow-Low'	Grow Low Sumac	29	3	87	24" TALL	POT	
RK	Rosa 'Knockout'	Knockout Rose	4	3	12	24" TALL	POT	
EX-RK	Rosa 'Knockout'	Knockout Rose	23	3	69			Existing
RTB	Rhus typhina 'Bailiger'	Tiger Eyes Sumac	11	3	33	24" TALL	POT	
SP	Syringa 'Penda'	Penda Lilac	4	3	12	24" TALL	POT	
SXM	Spiraea 'Magic Carpet'	Magic Carpet Spirea	21	3	63	24" TALL	POT	
VDC	Viburnum dentatum 'Christom'	Blue Muffin Viburnum	8	3	24	24" TALL	POT	
WDO	Weigela 'Dark Horse'	Dark Horse Weigela	61	3	183	24" TALL	POT	
EX-WXW	Weigela 'Wine and Roses'	Wine and Roses Weigela	6	3	18			Existing
EVERGREEN SHRUB								
CPG	Chamaecyparis pisifera 'Golden Mop'	Golden Mop False Cypress	2	4	8	24" TALL	POT	
JOC	Juniperus 'Gold Cone'	Gold Cone Juniper	9	4	36	24" TALL	POT	
JHB	Juniperus horizontalis 'Blue Star'	Blue Star Juniper	9	4	36	24" TALL	POT	
RK	Juniperus horizontalis 'Motherlode'	Motherlode Juniper	33	4	132	24" TALL	POT	
MD	Microbiota decussata	Russian Arborvitae	20	4	80	24" TALL	POT	
PSB	Pinus strobus 'Blue Shag'	Blue Shag Eastern White Pine	13	4	52	24" TALL	POT	
RP	Rhododendron 'PJM'	PJM Rhododendron	19	4	76	24" TALL	POT	
TCJ	Tsuga canadensis 'Jeddleloh'	Jeddleloh Hemlock	12	4	48	24" TALL	POT	
TMT	Taxus x media 'Tauntoni'	Tauntion Yew	11	4	44	24" TALL	POT	
EX-TMT	Taxus x media 'Tauntoni'	Tauntion Yew	15	4	60			Existing
EX-TOT	Thuja occidentalis 'Techny'	Techny Arborvitae	2	4	8			Existing
HERBACEOUS PERENNIALS								
EX-LS	Liatris spicata	Blazing Star	6	2	12			Existing
EX-RF	Rudbeckia lugida	Early Bird Gold Black Eyed Susan	9	2	18			Existing
ORNAMENTAL GRASSES								
CAK	Calamagrostis 'Karl Foerster'	Karl Foerster Feather Reed Grass	357	2	714	1 GAL	POT	
EX-CAK	Calamagrostis 'Karl Foerster'	Karl Foerster Feather Reed Grass	39	2	78	1 GAL	POT	
EX-FVP	Panicum virgatum 'Prairie Fire'	Prairie Fire Switch Grass	10	2	20	1 GAL	POT	
SNS	Sorghastrum nutans 'Soux Blue'	Soux Blue Indian Grass	62	2	124	1 GAL	POT	
			TOTAL: 3680 POINTS					

GROUND COVER LEGEND



SITE LANDSCAPE PLAN - GENERAL NOTES

- CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK
- LANDSCAPE EDGING SHALL BE BLACK DIAMOND VINYL EDGING AS MANUFACTURED BY VALLEY VIEW INDUSTRIES (www.valleyviewind.com)
- ALL LANDSCAPE BEDS SHALL CONTAIN A 4" DEPTH OF SHREDDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING.
- ALL DECIDUOUS TREES OUTSIDE PLANTING BEDS SHALL HAVE A 4" DIAMETER CIRCLE OF 4" DEPTH SHREDDED HARDWOOD BARK MULCH CONTAINED BY A 4" DEEP TRENCH CUT EDGE.
- ALL EVERGREEN TREES OUTSIDE PLANTING BEDS SHALL HAVE A 8" DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH CONTAINED BY A 4" DEEP TRENCH CUT EDGE.
- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON ZONING ORDINANCE.



D'ONOFRO KOTTKE AND ASSOCIATES, INC.
 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

LANDSCAPE PLAN
GRANDVIEW COMMONS B-BLOCK
 CITY OF MADISON, WI



DATE: 08/12/20
 REVISED:

DRAWN BY: MS
 FN: 20-05-122
 Sheet Number: L100