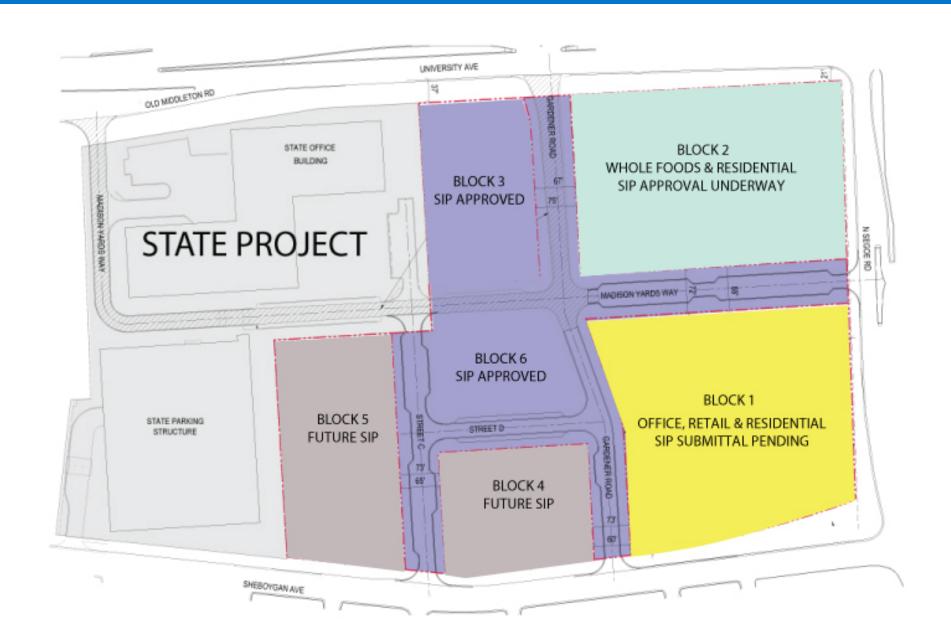




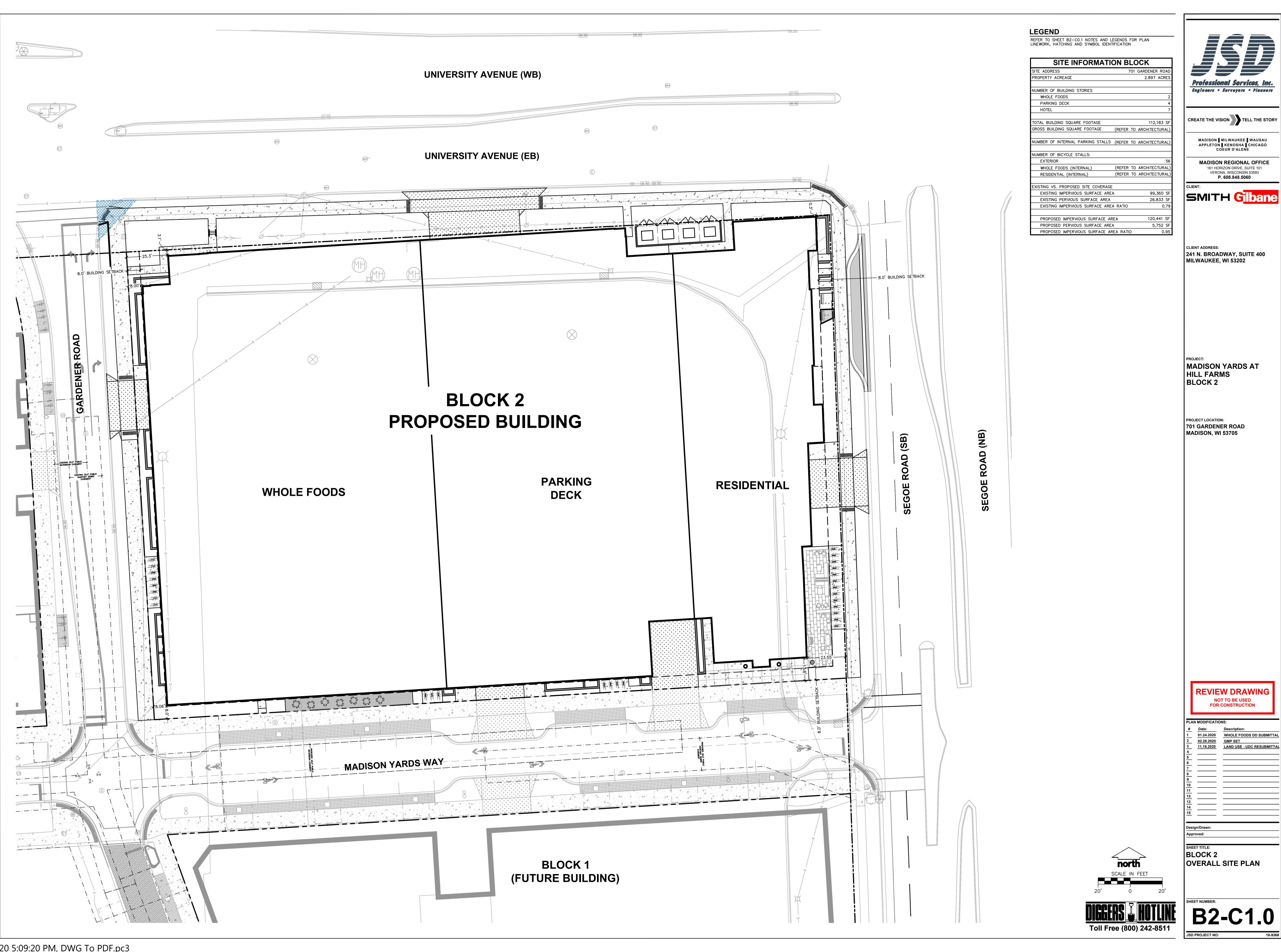


Madison Yards At Hill Farms
Block 2 UDC Presentation
January 13, 2021

### Block 2: Whole Foods & Residential







# View Southwest

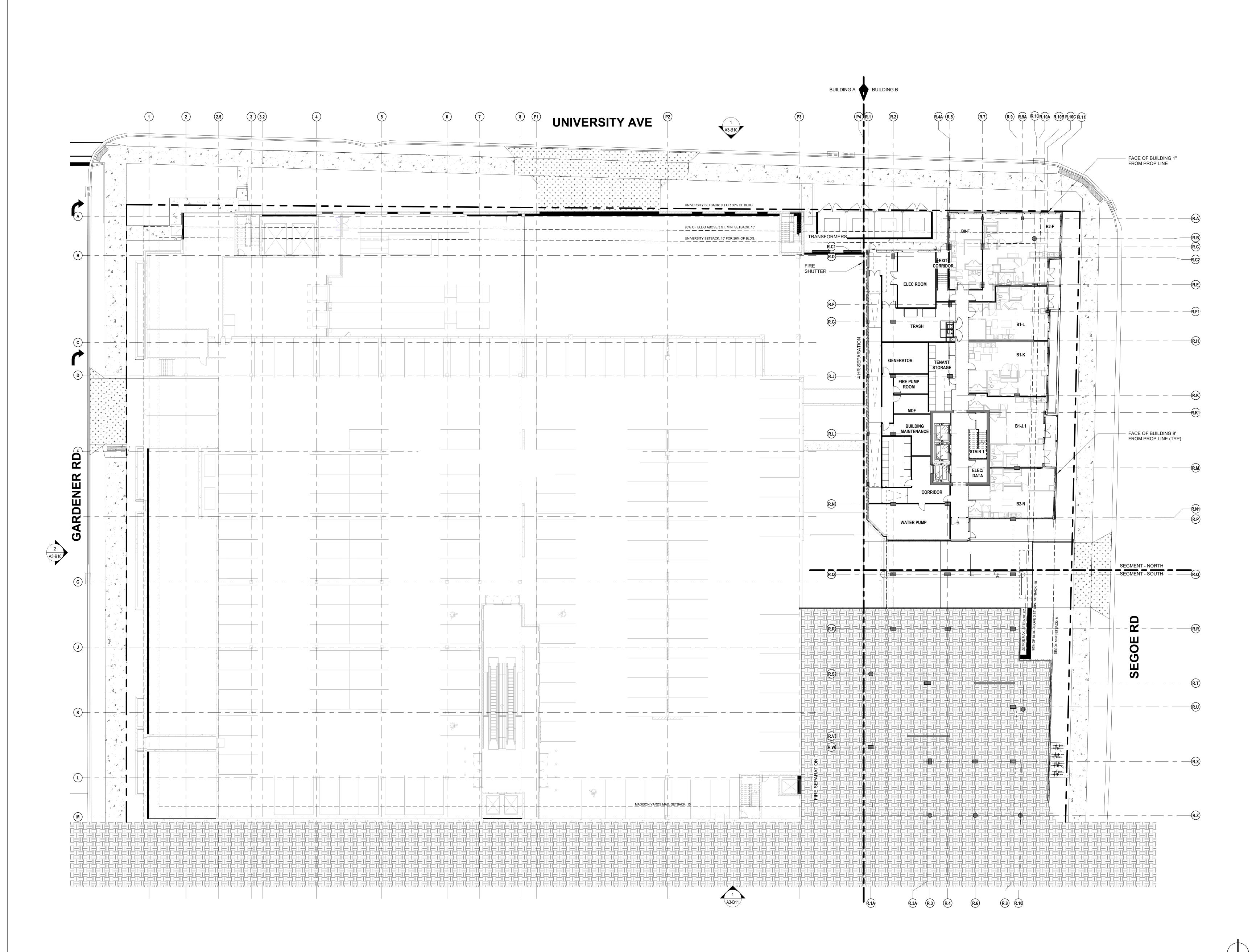
### View Northwest





### View at Madison Yards Way & Gardener Road









Project Contact: Eric Lukacsik
Email: elukacsik@ktgy.com
Principal: Craig Pryde
Project Designer: Demetrios

Stavrianos

Developer

SMITH Gilbane

PHONE NO.

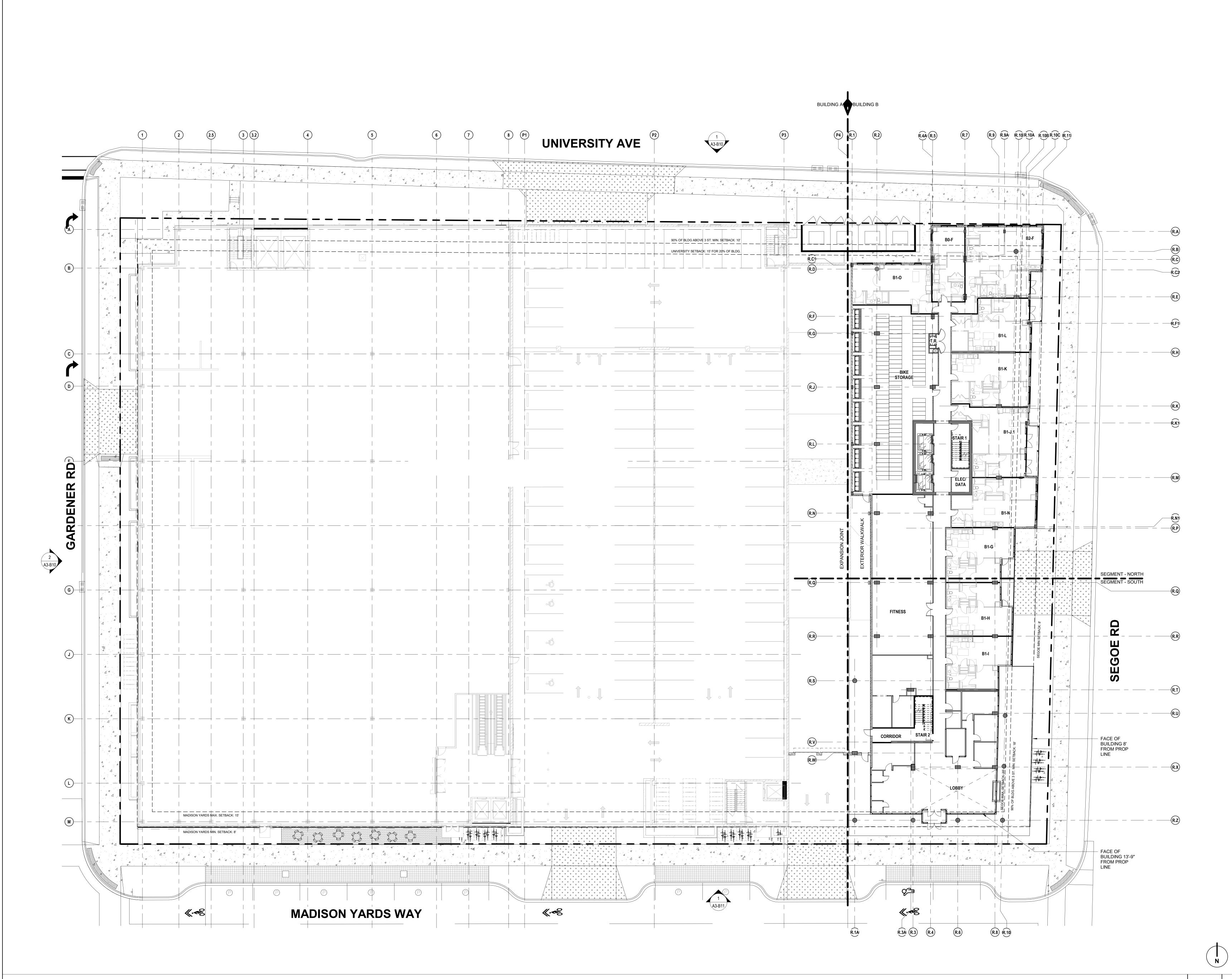
BLOCK 2
BB B

BUILDING B

No.	Date	Description
	11/17/20	ISSUE FOR SIP REVIEW
ting of any perontractor thorough	ceived errors or omissio ghly knowledgeable with	uring construction to notify the architect in ns in the plans and specifications of which the building codes and methods of Written instructions addressing such

BUILDING B

OVERALL LOWER LEVEL PLAN (REFERENCE)







Project Contact: Eric Lukacsik
Email: elukacsik@ktgy.com
Principal: Craig Pryde
Project Designer: Demetrios

Stavrianos

Developer

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PHONE NO.

ADISON YARDS BLOCK 2
BUILDING B

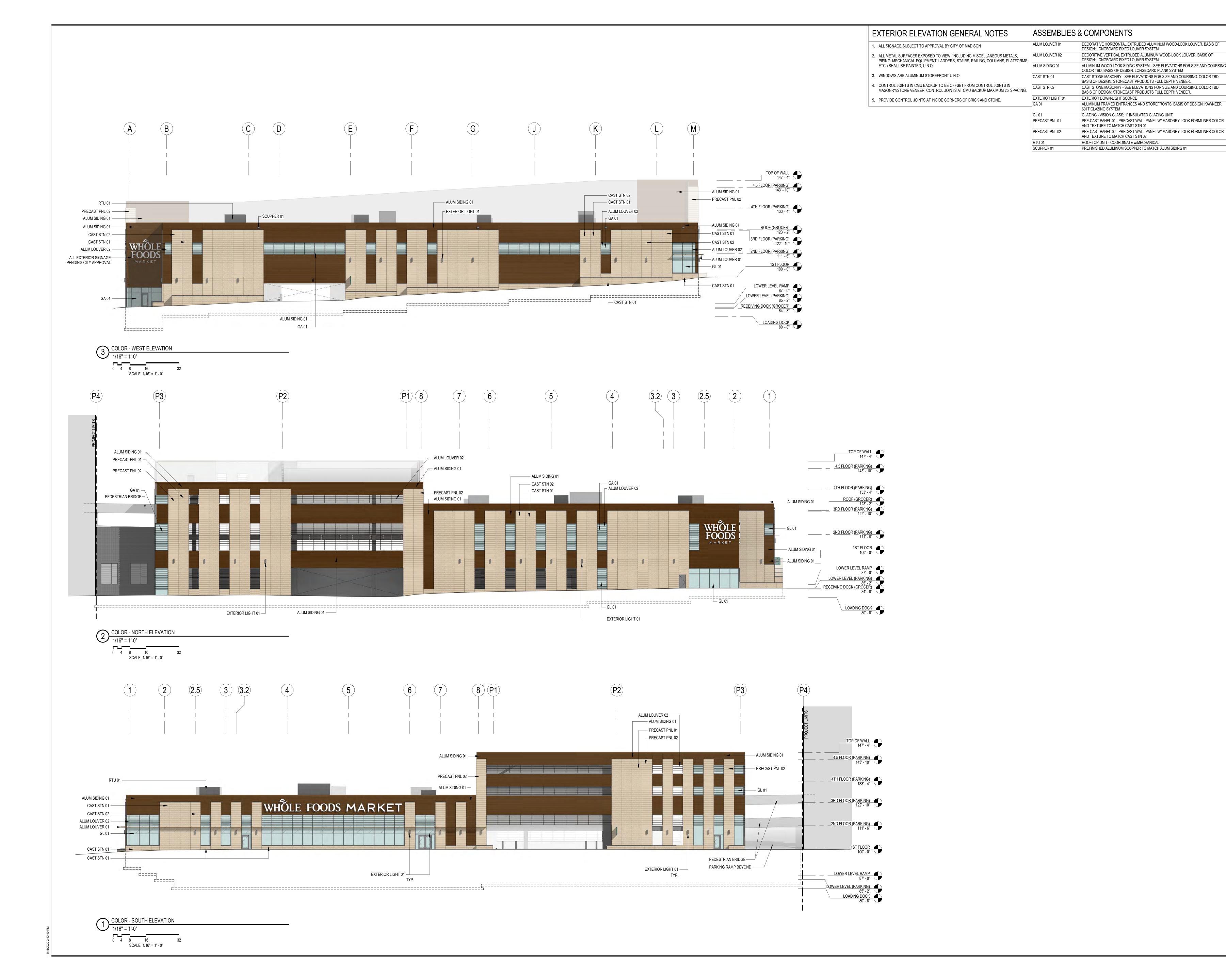
No. Date Description

2 11/17/20 ISSUE FOR SIP REVIEW

It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or client's subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

BUILDING B

OVERALL FIRST FLOOR PLAN (REFERENCE)



### Kahler Slater

SMITH Gilbane



NOT FOR CONSTRUCTION

Revisions

GMP/SIP PACKAGE

Drawing Date
NOVEMBER 17, 2020

Sheet Title

MADISON YARDS: BLOCK 2 - GROCER BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

Project No. SUMMIT SMITH/GILBANE 219143.00

**EXTERIOR ELEVATIONS** 

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111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203
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125 South Clark Street, Suite 675-2, Chicago, Illinois 60603
Telephone 312.789.4516

Sheet No.
A2-A10C

EXTERIOR ELEVATION GENERAL NOTES	ASSEMBLIES &	& COMPONENTS
ALL SIGNAGE SUBJECT TO APPROVAL BY CITY OF MADISON	ALUM LOUVER 01	DECORATIVE HORIZONTAL EXTRUDED ALUMINUM WOOD-LOOK LOUVER. BASIS (DESIGN: LONGBOARD FIXED LOUVER SYSTEM
ALL METAL SURFACES EXPOSED TO VIEW (INCLUDING MISCELLANEOUS METALS, PIPING, MECHANICAL EQUIPMENT, LADDERS, STAIRS, RAILING, COLUMNS, PLATFORMS,	ALUM LOUVER 02	DECORITIVE VERTICAL EXTRUDED ALUMINUM WOOD-LOOK LOUVER. BASIS OF DESIGN: LONGBOARD FIXED LOUVER SYSTEM
ETC.) SHALL BE PAINTED, U.N.O.	ALUM SIDING 01	ALUMINUM WOOD-LOOK SIDING SYSTEM – SEE ELEVATIONS FOR SIZE AND COU COLOR TBD. BASIS OF DESIGN: LONGBOARD PLANK SYSTEM
WINDOWS ARE ALUMINUM STOREFRONT U.N.O.	CAST STN 01	CAST STONE MASONRY - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TE BASIS OF DESIGN: STONECAST PRODUCTS FULL DEPTH VENEER.
CONTROL JOINTS IN CMU BACKUP TO BE OFFSET FROM CONTROL JOINTS IN MASONRY/STONE VENEER. CONTROL JOINTS AT CMU BACKUP MAXIMUM 25' SPACING.	CAST STN 02	CAST STONE MASONRY - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TE BASIS OF DESIGN: STONECAST PRODUCTS FULL DEPTH VENEER.
PROVIDE CONTROL JOINTS AT INSIDE CORNERS OF BRICK AND STONE.	EXTERIOR LIGHT 01	EXTERIOR DOWN-LIGHT SCONCE
THE TOTAL SOUTH OF THE STATE OF BRUSHAMES OF THE STATE OF	GA 01	ALUMINUM FRAMED ENTRANCES AND STOREFRONTS. BASIS OF DESIGN: KAWNE 601T GLAZING SYSTEM
	ROOF EDGE 01	PREFINISHED METAL ROOF EDGE SYSTEM, COLOR TO MATCH MF-1

### Kahler Slater

SMITH Gilbane



ROOF EDGE 01 ————	
ALUM SIDING 01	
CAST STN 01 ————	
CAST STN 02 ———	WILD FOOD
ALUM LOUVER 02 ————	WINCLE FOODS MARKET
ALUM LOUVER 01	
EXTERIOR LIGHT 01	
GA 01 ————	
CAST STN 01	
	SOUTHWEST PERSPECTIVE

GMP/SIP PACKAGE

Drawing Date NOVEMBER 17, 2020

MADISON YARDS: BLOCK 2 - GROCER BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

Project No. SUMMIT SMITH/GILBANE 219143.00

Sheet Title

EXTERIOR

PERSPECTIVES

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Sheet No.
A2-A20



ALMA SIDINS of ALMA ICOVER 22

SOUTHEAST PERSPECTIVE 2

NOT TO SCALE

SOUTHEAST PERSPECTIVE

NOT TO SCALE

NO 2. 10. 20

EXTERIOR ELEVATION GENERAL NOTES	ASSEMBLIES	& COMPONENTS
ALL SIGNAGE SUBJECT TO APPROVAL BY CITY OF MADISON	ALUM LOUVER 01	DECORATIVE HORIZONTAL EXTRUDED ALUMINUM WOOD-LOOK LOUVER. BASIS DESIGN: LONGBOARD FIXED LOUVER SYSTEM
2. ALL METAL SURFACES EXPOSED TO VIEW (INCLUDING MISCELLANEOUS METALS, PIPING, MECHANICAL EQUIPMENT, LADDERS, STAIRS, RAILING, COLUMNS, PLATFORMS,	ALUM LOUVER 02	DECORITIVE VERTICAL EXTRUDED ALUMINUM WOOD-LOOK LOUVER. BASIS OF DESIGN: LONGBOARD FIXED LOUVER SYSTEM
ETC.) SHALL BE PAINTED, U.N.O.	ALUM SIDING 01	ALUMINUM WOOD-LOOK SIDING SYSTEM – SEE ELEVATIONS FOR SIZE AND COLOR TBD. BASIS OF DESIGN: LONGBOARD PLANK SYSTEM
3. WINDOWS ARE ALUMINUM STOREFRONT U.N.O.	CAST STN 01	CAST STONE MASONRY - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR T BASIS OF DESIGN: STONECAST PRODUCTS FULL DEPTH VENEER.
4. CONTROL JOINTS IN CMU BACKUP TO BE OFFSET FROM CONTROL JOINTS IN MASONRY/STONE VENEER. CONTROL JOINTS AT CMU BACKUP MAXIMUM 25' SPACING.	CAST STN 02	CAST STONE MASONRY - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR T BASIS OF DESIGN: STONECAST PRODUCTS FULL DEPTH VENEER.
5. PROVIDE CONTROL JOINTS AT INSIDE CORNERS OF BRICK AND STONE.	EXTERIOR LIGHT 01	EXTERIOR DOWN-LIGHT SCONCE
C. THE SELECTION HODE SOUNDED STATEMENT STORE.	GA 01	ALUMINUM FRAMED ENTRANCES AND STOREFRONTS. BASIS OF DESIGN: KAWN 601T GLAZING SYSTEM
	ROOF EDGE 01	PREFINISHED METAL ROOF EDGE SYSTEM, COLOR TO MATCH MF-1

### **Kahler Slater**

SMITH Gilbane



GMP/SIP PACKAGE

Drawing Date NOVEMBER 17, 2020

**MADISON YARDS:** BLOCK 2 - GROCER **BASE CORE & SHELL** 

UNIVERSITY AVENUE AT GARDNER ROAD

Project No. SUMMIT SMITH/GILBANE 219143.00

Sheet Title **EXTERIOR** 

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Sheet No. A2-A21



NORTHWEST PERSPECTIVE
NOT TO SCALE



CAST STN 02 ALUM LOUVER 02 EXTERIOR LIGHT 01

SOUTHWEST PERSPECTIVE NOT TO SCALE





KTGY Project No: 20200326

MADISON YARDS HILL FARMS

ect: Eric Lukacsik elukacsik@ktgy.com Craig Pryde nner: Demetrios Stavrianos Project Contact: Email: eluk Principal: Project Designer:

Developer



PHONE NO.

### 2 MADIS

No.	Date	Description
	11/17/20	ISSUE FOR SIP REVIEW

3D PERSPECTIVES

perceived errors or omissions shall be received from the architect prior to the client or client's subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed. BUILDING B 3D PERSPECTIVE - SOUTHEAST CORNER 12" = 1'-0" 1



MADISON YARDS
HILL FARMS

KTGY Project No: 20200326

Project Contact: Eric Lukacsik
Email: elukacsik@ktgy.com
Principal: Craig Pryde
Project Designer: Demetrios
Stavrianos

Developer



PHONE NO.

## MADISON YARDS BLOCK 2 BUILDING B

No. Date Description

2 11/17/20 ISSUE FOR SIP REVIEW

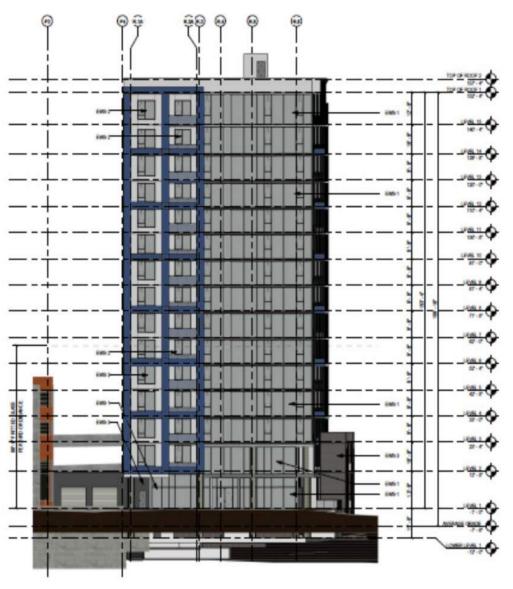
Issue For SIP REVIEW

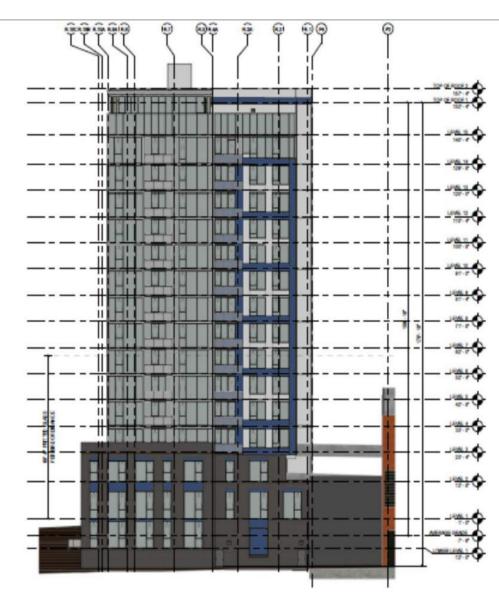
It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or client's subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

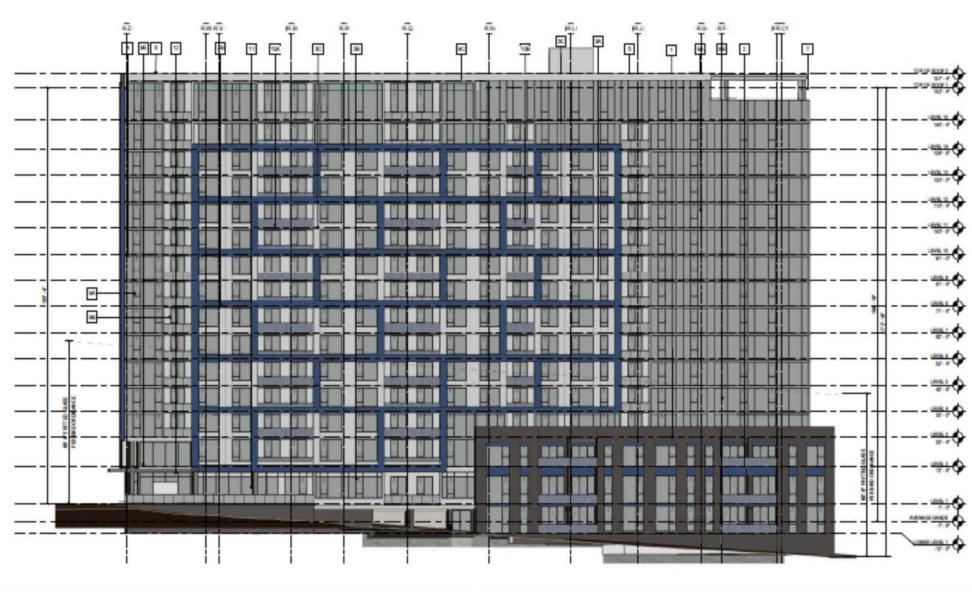
BUILDING B

3D PERSPECTIVES

MARKET





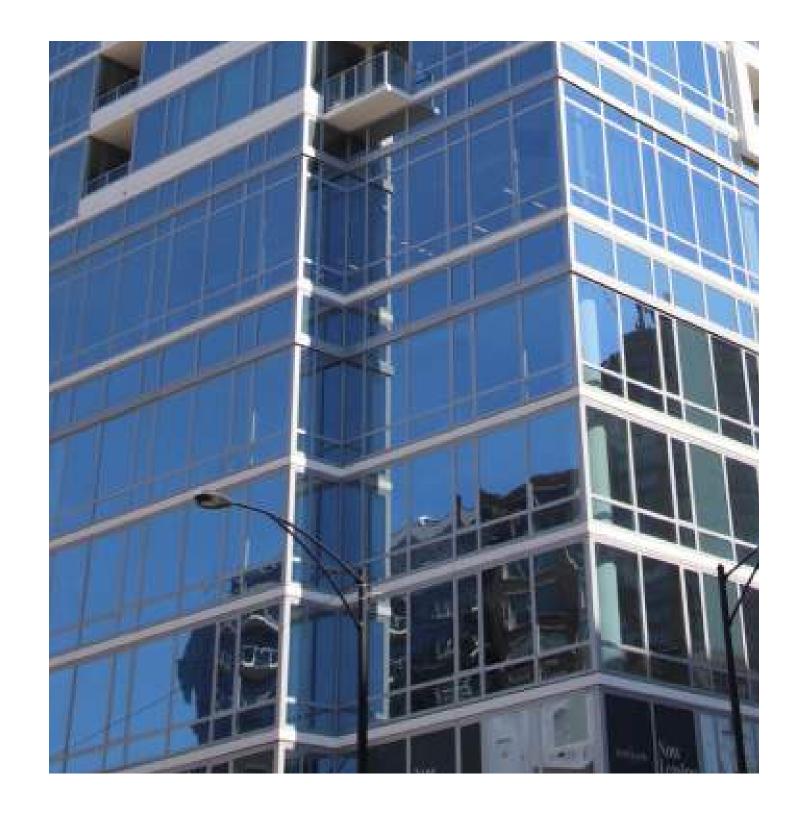


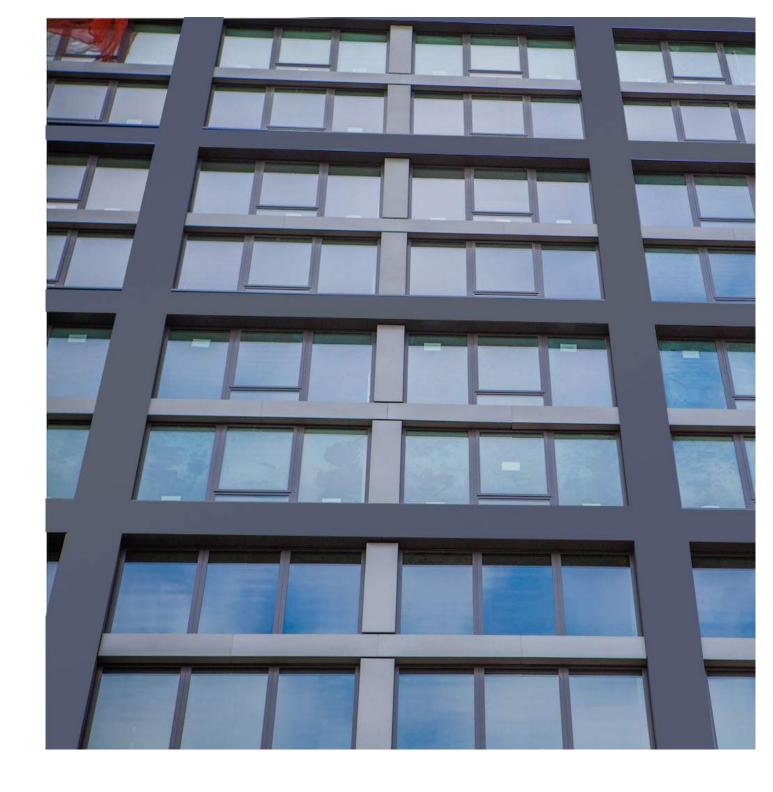
SOUTH ELEVATION

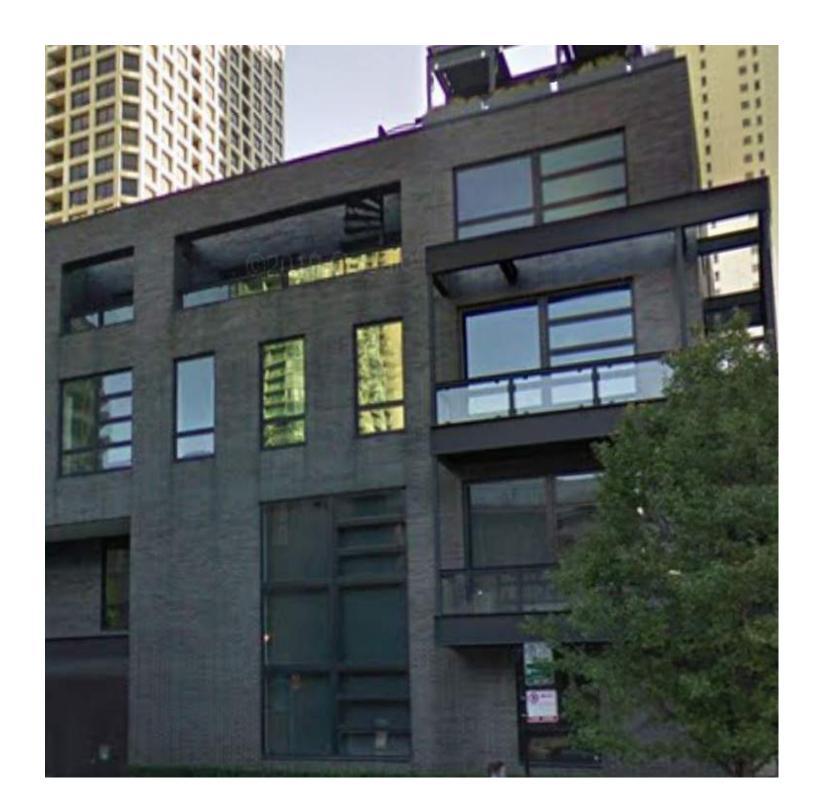
WEST ELEVATION

NORTH ELEVATION

EAST ELEVATION









EWS-1 ALUMINUM AND GLASS WINDOW WALL /SLAB EDGE COVER SYSTEM (SIM)

EWS-2 INSULATED METAL PANEL/ALUMINUM WINDOWS (SIM)

EWS-3 BRICK VENEER BASE DETAIL (SIM)

EWS-4 METAL WALL PANEL (SIM)



DECORATIVE LIGHT FIXTURE

AT RESIDENTIAL BALCONY













GUARDIAN SunGuard - AG 43 GUARDIAN SunGuard - AG 50

ALUMINUM STOREFRONT AT **RETAIL BASE** 

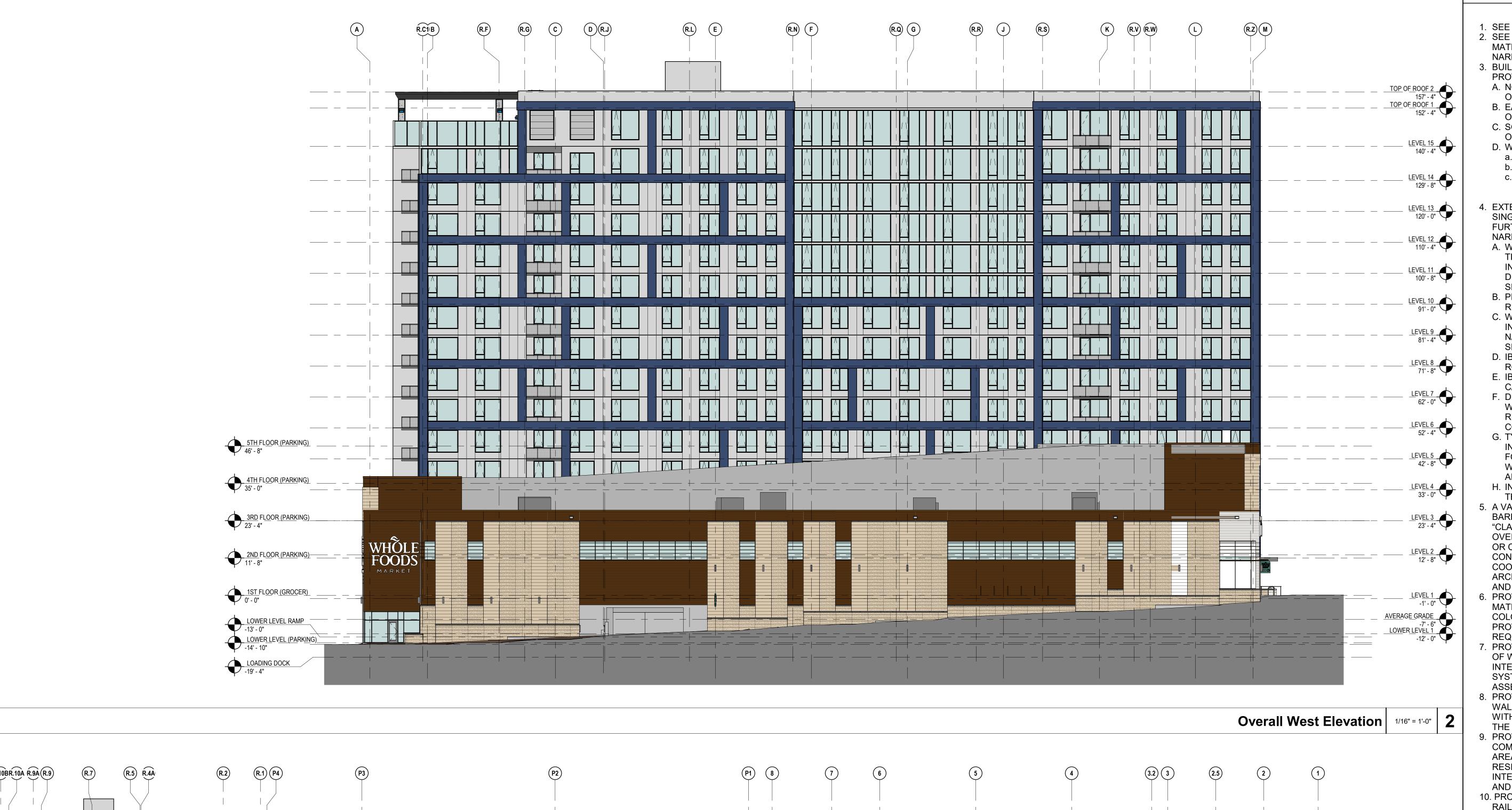
PREFINISHED PERFORATED METAL PANEL RAILING SYSTEM - DARK GRAY

CORRUGATED ARCHITECTURAL METAL PANEL - MEDIUM GRAY

MODULAR BRICK - GRAY BLEND







### R11 R.10C R.10BR.10A R.9A(R.9) TOP OF ROOF 2 TOP OF ROOF 1 152' - 4" <u>LEVEL 15</u> 140' - 4" <u>LEVEL</u> 14 129' - 8" LEVEL 13 120' - 0" LEVEL 12 \_\_\_\_\_\_ LEVEL 10 \_ 91' - 0" LEVEL 9 -LEVEL 8 71' - 8" 5TH FLOOR (PARKING) <u>LEVEL 5</u> 42' - 8" LEVEL 3 23' - 4" 3RD FLOOR (PARKING) 23' - 4" WHÔLE FOODS LEVEL 2 12' - 8" 2<u>ND FLOOR (PARKING)</u> 11' - 8" 1ST FLOOR (GROCER) 0' - 0" LOWER LEVEL RAMP -13' - 0" LOWER LEVEL 1 -12' - 0" RECEIVING DOCK (GROCER) -15' - 4" LOADING DOCK -19' - 4"

### **ELEVATION NOTES**

- SEE CIVIL DRAWINGS FOR FINISH GRADES. 2. SEE MATERIAL NOTES FOR DESCRIPTION OF MATERIALS PROPOSED. SEE DESIGN NARRATIVE FOR ADDITIONAL INFORMATION.
- 3. BUILDING B: EXTERIOR WALL RATINGS/ PROTECTED OPENINGS: A. NORTH WALL = 0-HOUR/ UNLIMITED
- OPENINGS B. EAST WALL = 0-HOUR/ UNLIMITED **OPENINGS**
- C. SOUTH WALL = 0-HOUR/ UNLIMITED **OPENINGS**
- D. WEST WALL
- a. 1<sup>ST</sup> FLOOR SEE PLAN b. 2<sup>ND</sup> FLOOR – SEE PLAN c.  $3^{RD}$  FLR –  $15^{TH}$  FLR – 0-HOUR/ UNLIMITED OPENINGS (SECTION
- 705.8.6) 4. EXTERIOR WALL IS INTENDED TO BE A SINGLE SOURCE RESPONSIBILITY AND IS FURTHER DEFINED IN THE DESIGN NARRATIVE.
- A. WINDOW WALL SYSTEM GLAZED WITH TINTED INSULATED GLASS PANELS INCLUDING OPERABLE WINDOWS. SEE DESIGN NARRATIVE/ DRAWINGS FOR
- SPECIFICATION. B. PROVIDE TEMPERED GLAZING WHERE
- REQUIRED BY CODE. C. WINDOW WALL SYSTEM - GLAZED WITH INSULATED METAL PANEL. SEE DESIGN NARRATIVE/ DRAWINGS FOR COLOR AND SPECIFICATION.
- D. IBC SECTION 1609.4.2 SURFACE ROUGHNESS B
- E. IBC SECTION 1609.4.3 EXPOSURE CATEGORY C
- F. DELEGATED DESIGN FOR EXTERIOR WALL ASSEMBLY FOR WIND LOAD REQUIREMENTS/ AIR AND WATER CONTINUITY DESIGN.
- G. TYPICAL EXTERIOR WALL TO BE INDEPENDENTLY LABARATORY TESTED FOR AIR INFILTRATION PER ASTM E283, WATER INFILTRATION PER ASTM E331
- AND AAMA 501.1 AT 12 LB/SF. H. INCLUDE THREE FIELD VERIFICATION TESTS PER AAMA 502.
- 5. A VAPOR RESISTANT AIR AND WATER BARRIER WILL BE REQUIRED BEHIND ALL "CLADDING" MATERIALS CONSTRUCTED OVER EXTERIOR SHEATHINGS, MASONRY OR CONCRETE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND SUBMITTING TO THE ARCHITECT, THE TRANSITIONS OF ALL AIR AND WATER BARRIER CONDITIONS.
- 6. PROVIDE SEALANTS AT ALL CHANGE OF MATERIALS ON THE EXTERIOR WALL IN COLOR AS SELECTED BY THE ARCHITECT. PROVIDE COMPATABILTY TESTING WHERE REQUIRED. PROVIDE COPING/ FLASHINGS AT ALL TOP
- OF WALL AREAS THAT ARE FULLY INTEGRATED WITH THE WALL MATERIAL/ SYSTEM TO PROVIDE A WATERTIGHT ASSEMBLY.
- 8. PROVIDE MATERIALS WITHIN THE EXTERIOR WALL ASSEMBLY THAT ARE COMPLIANT WITH NFPA 285 (MORE THAN 40 FT ABOVE THE GRADE PLANE). 9. PROVIDE FIRE RATED ASSEMBLIES THAT
- COMPLETE THE COMPARTMENTALIZED AREA FOR EACH FLOOR OF THE RESIDENTIAL BUILDING AT THE INTERSECTION OF THE FLOOR ASSEMBLY AND EXTERIOR WALL ASSEMBLY.
- 10. PROVIDE PRE-FINISH METAL BALCONY RAILINGS WITH PERFORATED METAL PANELS AND / OR GLASS AS INDICATED ON THE DRAWINGS. RAILINGS SHALL BE TOP MOUNTED TO THE BALCONY DECK AND SHALL BE DELEGATED DESIGN TO MEET
- CODE REQUIREMENTS. 11. ALL UNIT BALCONY DOORS SHALL HAVE ADA THRESHOLDS.
- 12. ALL SOFFITS SHALL BE PRE-FINISHED METAL PANEL SYSTEMS OVER SUPPLEMENTAL FRAMING AND INSULATION
- AS REQUIRED / NOTED. 13. PROVIDE SUPPLEMENTAL STEEL FRAMING SUPPORTS (PTD) AT WINDOW WALL WIND SCREEN ON 15<sup>TH</sup> FLOOR.
- 14. EXPOSED CONCRETE COLUMNS AT GROUND LEVEL SHALL BE SMOOTH FORM AND PREPARED FOR PAINT FINISH. 15. EXTERIOR SIGNAGE SHALL BE A SEPARATE
- CONTRACT BY OWNER 16. PROVIDE THRU WALL FLASHINGS IN ALL MASONRY VENEER WALLS AT EACH FLOOR
- WITH WEEPS (TOP/ BOTTOM). 17. HOLLOW METAL DOOR FRAMES SHALL BE PAINTED – GLOSS FINISH. 18. PROVIDE PRE-FINISHED ARCHITECTURAL
- METAL LOUVERS AS INDICATED. INTEGRATE LOUVERS INTO THE WINDOW WALL SYSTEM AND PROVIDE SUPPLEMENTAL SUPPORTS AS REQUIRED. A. PROVIDE INSECT SCREENS ON LOUVERS
- TO ENCLOSED SPACES OR CONNECTED TO DUCTWORK. 19. PROVIDE CORRUGATED METAL WALL
- PANELS AT ROOF LEVEL FOR MECHANICAL SCREENING AND AT STAIR TO ROOF. TERMINATE WALL PANELS INTO ROOFING SYSTEM TO PROVIDE WATERTIGHT ASSEMBLY.

Overall North Elevation 1/16" = 1'-0" 1





MADISON YARDS HILL FARMS

KTGY Project No: 20200326 Project Contact: Eric Lukacsik elukacsik@ktgy.com Email: Craig Pryde Principal: Project Designer: Demetrios

Stavrianos

Developer



PHONE NO.

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No.	Date	Description
	11/17/20	ISSUE FOR SIP REVIEW
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**BUILDING B** 

**OVERALL ELEVATIONS** 

A3-B10

### A. WINDOW WALL SYSTEM – GLAZED WITH REQUIRED. ASSEMBLY. 8 P1 P4 (R.1) (R.1A) R.3A (R.3) (R.4) (R.8) R.10 TOP OF ROOF 2 157' - 4" TOP OF ROOF 1 152' - 4" LEVEL 15 140' - 4" CODE REQUIREMENTS. LEVEL 14 129' - 8" LEVEL 13 120' - 0" LEVEL 12 110' - 4" LEVEL 11 100' - 8" LEVEL 10 91' - 0" 5TH FLOOR (PARKING) 46' - 8" 4TH FLOOR (PARKING) 35' - 0" ASSEMBLY. 3RD FLOOR (PARKING) VHÓLE FOODS MARKET LEVEL 2 12' - 8" 2ND FLOOR (PARKING) 11' - 8" 1ST FLOOR (GROCER) \_\_\_\_\_LEVEL 1 AVERAGE GRADE -7' - 6" LOWER LEVEL 1 -12' - 0" LOWER LEVEL RAMP LOWER LEVEL (PARKING) -14' - 10" RECEIVING DOCK (GROCER) -15' - 4" LOADING DOCK -19' - 4" Overall South Elevation 1/16" = 1'-0" 1

### **ELEVATION NOTES**

- 1. SEE CIVIL DRAWINGS FOR FINISH GRADES. 2. SEE MATERIAL NOTES FOR DESCRIPTION OF MATERIALS PROPOSED. SEE DESIGN
- NARRATIVE FOR ADDITIONAL INFORMATION. 3. BUILDING B: EXTERIOR WALL RATINGS/ PROTECTED OPENINGS:
- A. NORTH WALL = 0-HOUR/ UNLIMITED OPENINGS
- B. EAST WALL = 0-HOUR/ UNLIMITED OPENINGS
- C. SOUTH WALL = 0-HOUR/ UNLIMITED OPENINGS
- D. WEST WALL
- a. 1<sup>ST</sup> FLOOR SEE PLAN b. 2<sup>ND</sup> FLOOR – SEE PLAN
- c.  $3^{RD}$  FLR  $15^{TH}$  FLR 0-HOUR/ UNLIMITED OPENINGS (SECTION 705.8.6)
- 4. EXTERIOR WALL IS INTENDED TO BE A SINGLE SOURCE RESPONSIBILITY AND IS FURTHER DEFINED IN THE DESIGN NARRATIVE.
  - TINTED INSULATED GLASS PANELS INCLUDING OPERABLE WINDOWS. SEE DESIGN NARRATIVE/ DRAWINGS FOR
- SPECIFICATION. B. PROVIDE TEMPERED GLAZING WHERE REQUIRED BY CODE.
- C. WINDOW WALL SYSTEM GLAZED WITH INSULATED METAL PANEL. SEE DESIGN NARRATIVE/ DRAWINGS FOR COLOR AND SPECIFICATION.
- D. IBC SECTION 1609.4.2 SURFACE ROUGHNESS B
- E. IBC SECTION 1609.4.3 EXPOSURE CATEGORY C
- F. DELEGATED DESIGN FOR EXTERIOR WALL ASSEMBLY FOR WIND LOAD REQUIREMENTS/ AIR AND WATER CONTINUITY DESIGN.
- G. TYPICAL EXTERIOR WALL TO BE INDEPENDENTLY LABARATORY TESTED FOR AIR INFILTRATION PER ASTM E283, WATER INFILTRATION PER ASTM E331
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- 5. A VAPOR RESISTANT AIR AND WATER BARRIER WILL BE REQUIRED BEHIND ALL "CLADDING" MATERIALS CONSTRUCTED OVER EXTERIOR SHEATHINGS, MASONRY OR CONCRETE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND SUBMITTING TO THE ARCHITECT, THE TRANSITIONS OF ALL AIR AND WATER BARRIER CONDITIONS. 6. PROVIDE SEALANTS AT ALL CHANGE OF
- MATERIALS ON THE EXTERIOR WALL IN COLOR AS SELECTED BY THE ARCHITECT. PROVIDE COMPATABILTY TESTING WHERE 7. PROVIDE COPING/ FLASHINGS AT ALL TOP
- OF WALL AREAS THAT ARE FULLY INTEGRATED WITH THE WALL MATERIAL/ SYSTEM TO PROVIDE A WATERTIGHT 8. PROVIDE MATERIALS WITHIN THE EXTERIOR
- WALL ASSEMBLY THAT ARE COMPLIANT WITH NFPA 285 (MORE THAN 40 FT ABOVE THE GRADE PLANE). 9. PROVIDE FIRE RATED ASSEMBLIES THAT
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- AND EXTERIOR WALL ASSEMBLY. 10. PROVIDE PRE-FINISH METAL BALCONY RAILINGS WITH PERFORATED METAL PANELS AND / OR GLASS AS INDICATED ON THE DRAWINGS. RAILINGS SHALL BE TOP MOUNTED TO THE BALCONY DECK AND SHALL BE DELEGATED DESIGN TO MEET
- 11. ALL UNIT BALCONY DOORS SHALL HAVE ADA THRESHOLDS.
- 12. ALL SOFFITS SHALL BE PRE-FINISHED METAL PANEL SYSTEMS OVER SUPPLEMENTAL FRAMING AND INSULATION
- AS REQUIRED / NOTED. 13. PROVIDE SUPPLEMENTAL STEEL FRAMING SUPPORTS (PTD) AT WINDOW WALL WIND
- SCREEN ON 15<sup>TH</sup> FLOOR. 14. EXPOSED CONCRETE COLUMNS AT GROUND LEVEL SHALL BE SMOOTH FORM AND PREPARED FOR PAINT FINISH.
- 15. EXTERIOR SIGNAGE SHALL BE A SEPARATE CONTRACT BY OWNER 16. PROVIDE THRU WALL FLASHINGS IN ALL MASONRY VENEER WALLS AT EACH FLOOR
- WITH WEEPS (TOP/ BOTTOM). 17. HOLLOW METAL DOOR FRAMES SHALL BE PAINTED – GLOSS FINISH.
- 18. PROVIDE PRE-FINISHED ARCHITECTURAL METAL LOUVERS AS INDICATED. INTEGRATE LOUVERS INTO THE WINDOW WALL SYSTEM AND PROVIDE SUPPLEMENTAL SUPPORTS AS REQUIRED.
- A. PROVIDE INSECT SCREENS ON LOUVERS TO ENCLOSED SPACES OR CONNECTED TO DUCTWORK.
- 19. PROVIDE CORRUGATED METAL WALL PANELS AT ROOF LEVEL FOR MECHANICAL SCREENING AND AT STAIR TO ROOF. TERMINATE WALL PANELS INTO ROOFING SYSTEM TO PROVIDE WATERTIGHT





HILL FARMS

Project Contact: Eric Lukacsik elukacsik@ktgy.com Email: Principal: Craig Pryde Project Designer: Demetrios

Stavrianos

KTGY Project No: 20200326

Developer



PHONE NO.

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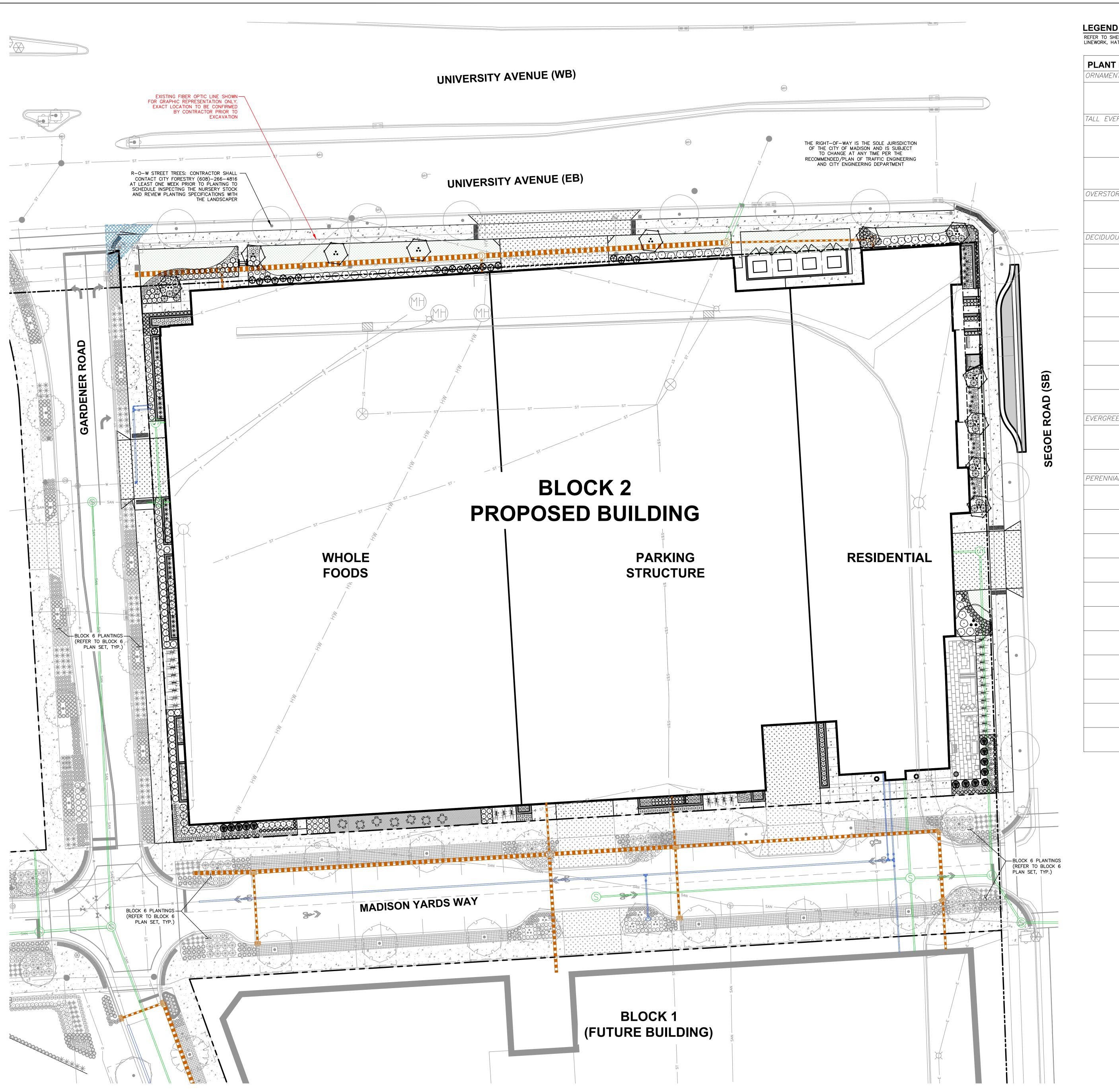
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**BUILDING B** 

**OVERALL ELEVATIONS** 

A3-B11



REFER TO SHEET B2-C0.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

PLANT LIST	SEE SHI	EET L2.0 FOR COMPREHENSIVE PLANT SCHEDULE
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
•	AAB	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Serviceberry M.S.
TALL EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME
	PCC	Pinus cembra 'Chalet' / Chalet Swiss Stone Pine
	THP	Thuja occidentalis 'Pyramidalis' / Pyramidalis Cedar
OVERSTORY DECIDUOUS TREE	CODE	BOTANICAL / COMMON NAME
••	BN	Betula nigra 'BNMTF' TM / Dura Heat River Birch
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME
$\odot$	AM	Aronia melanocarpa 'Morton' TM / Iroquis Beauty Black Chokeberry
( constant	AMS	Aronia melanocarpa 'UCONNAM166' TM / Low Scape Hedger Chokeberry
$\odot$	CF	Cornus stolonifera 'Farrow' / Arctic Fire Dogwood
$\bigotimes$	HB	Hydrangea paniculata 'ILVOBO' TM / Bobo Panicled Hydrangea
$\odot$	HLL	Hydrangea paniculata 'Little Lime' / Little Lime Hydrangea
	HLQ	Hydrangea paniculata 'Little Quick Fire' / Little Quick Fire Hydrangea
$\odot$	PHC	Physocarpus opulifolius 'Center Glow' / Center Glow Ninebark
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME
$\bigotimes$	PP	Pinus mugo 'Pumilio' / Mugo Pine
	TME	Taxus x media 'Everlow' / Yew
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME
	CMW	Calamintha nepeta 'Montrose White' / Montrose White Catmint
€3	EP	Echinacea purpurea 'PAS702918' TM / PowWow White Coneflower
	EF	Echinacea x 'Firebird' / Firebird Coneflower
	ET	Echinacea x 'Tiki Torch' / Coneflower
0	GT	Geranium x 'Tiny Monster' / Tiny Monster Geranium
Edware Town	LK	Liatris spicata 'Kobold' / Spike Gayfeathe
*	PVN	Panicum virgatum 'North Wind' / Northwind Switch Grass
AND OUT OF THE STATE OF THE STA	PVS	Panicum virgatum 'Shenandoah' / Switch Grass
£ <del>\</del> 3	RFS	Rudbeckia fulgida speciosa / Showy Coneflower
•	SNC	Salvia nemorosa 'Caradonna' / Cardonna Perennial Salvia
MULLE Manuel	SH	Sporobolus heterolepis 'Tara' / Prairie Dropseed



CREATE THE VISION TELL THE STORY

MADISON █ MILWAUKEE █ WAUSAU APPLETON █ KENOSHA █ CHICAGO COEUR D'ALENE MADISON REGIONAL OFFICE 161 HORIZON DRIVE, SUITE 101 VERONA, WISCONSIN 53593

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MADISON YARDS AT HILL FARMS BLOCK 2

PROJECT LOCATION: 701 GARDENER ROAD MADISON, WI 53705

**REVIEW DRAWING** 

SHEET TITLE:
BLOCK 2
OVERALL LANDSCAPE
PLAN