

EMERGENCY POWER FACILITY

UNITY POINT HEALTH - MERITER
 36 SOUTH BROOKS STREET
 MADISON, WI

2017.14.00

City of Madison Land Use Submittal

Drawing Index

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Architectural	
CD01	Cover Drawing

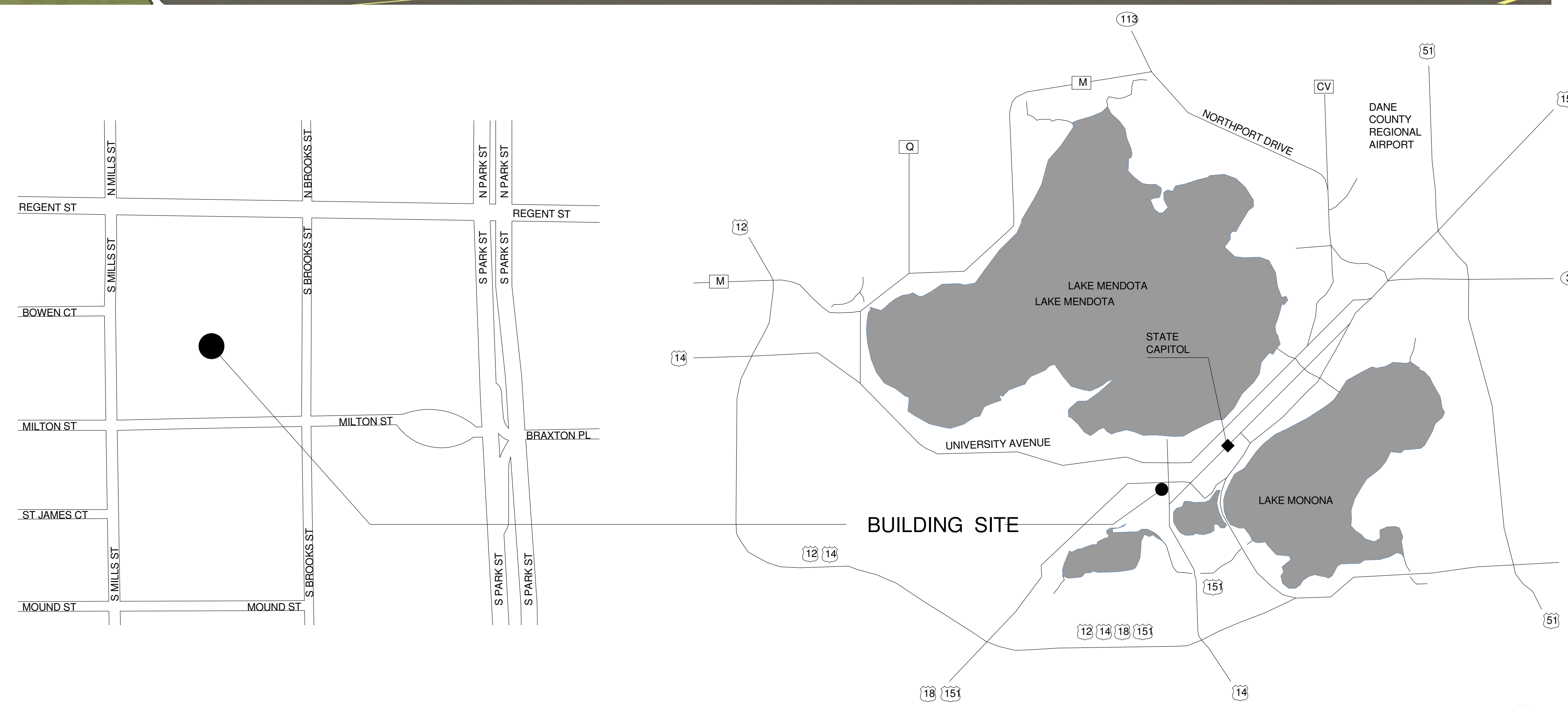
Architectural	
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Architect:
 749 University Row
 Suite 300
 Madison, WI 53705
 608-274-2741

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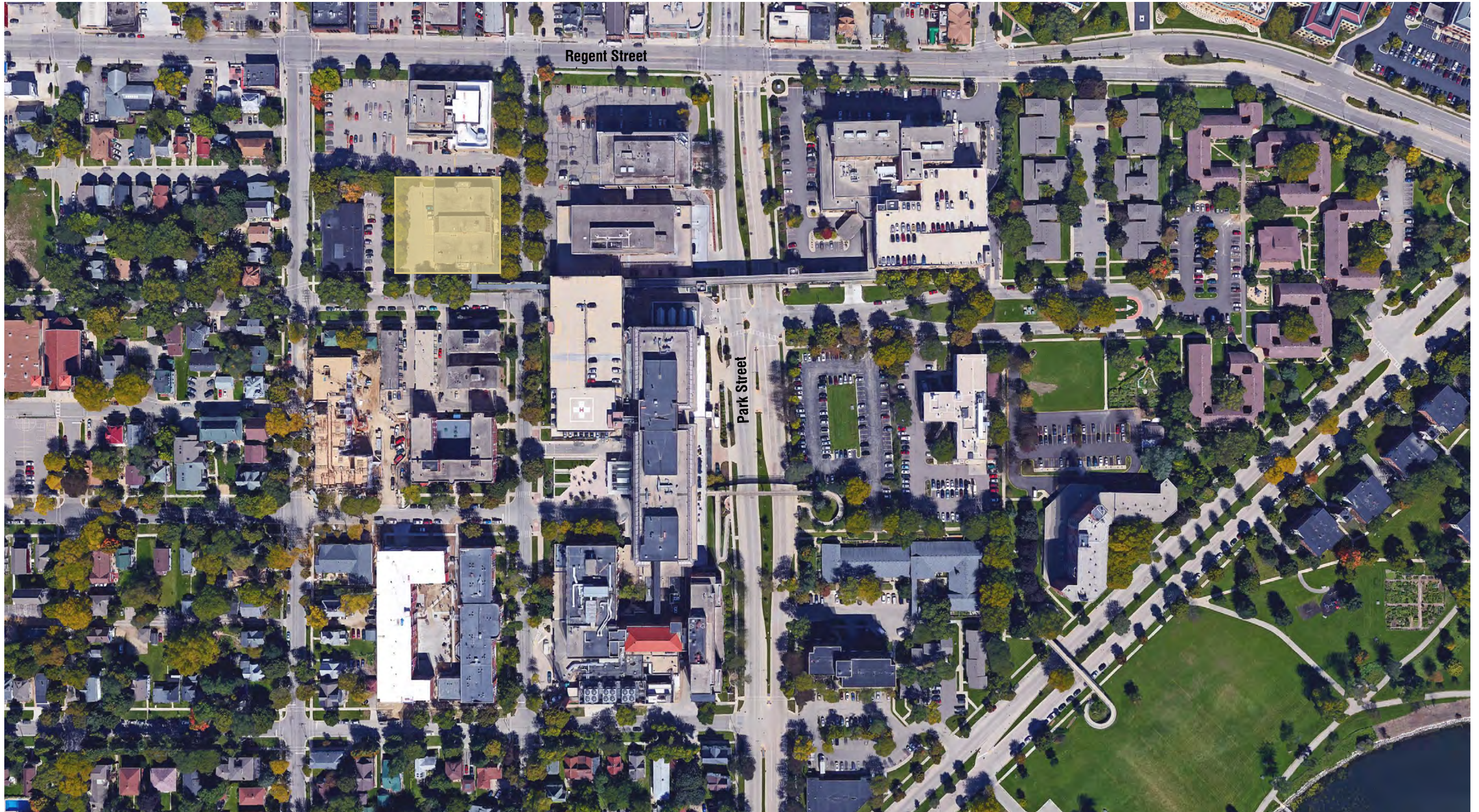
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 36 SOUTH BROOKS STREET
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Cover Drawing

CD01



Meriter Park Street Campus
Unity Point Meriter Electrical Services Facility - 2017.14.00
September 6, 2017



Existing Lab Building and Adjacent Parking Lot



Neighborhood House Community Center (West of Existing Lab Building)



Vicinato Apartments at 115 S. Mills (Southwest of Existing Lab Building)

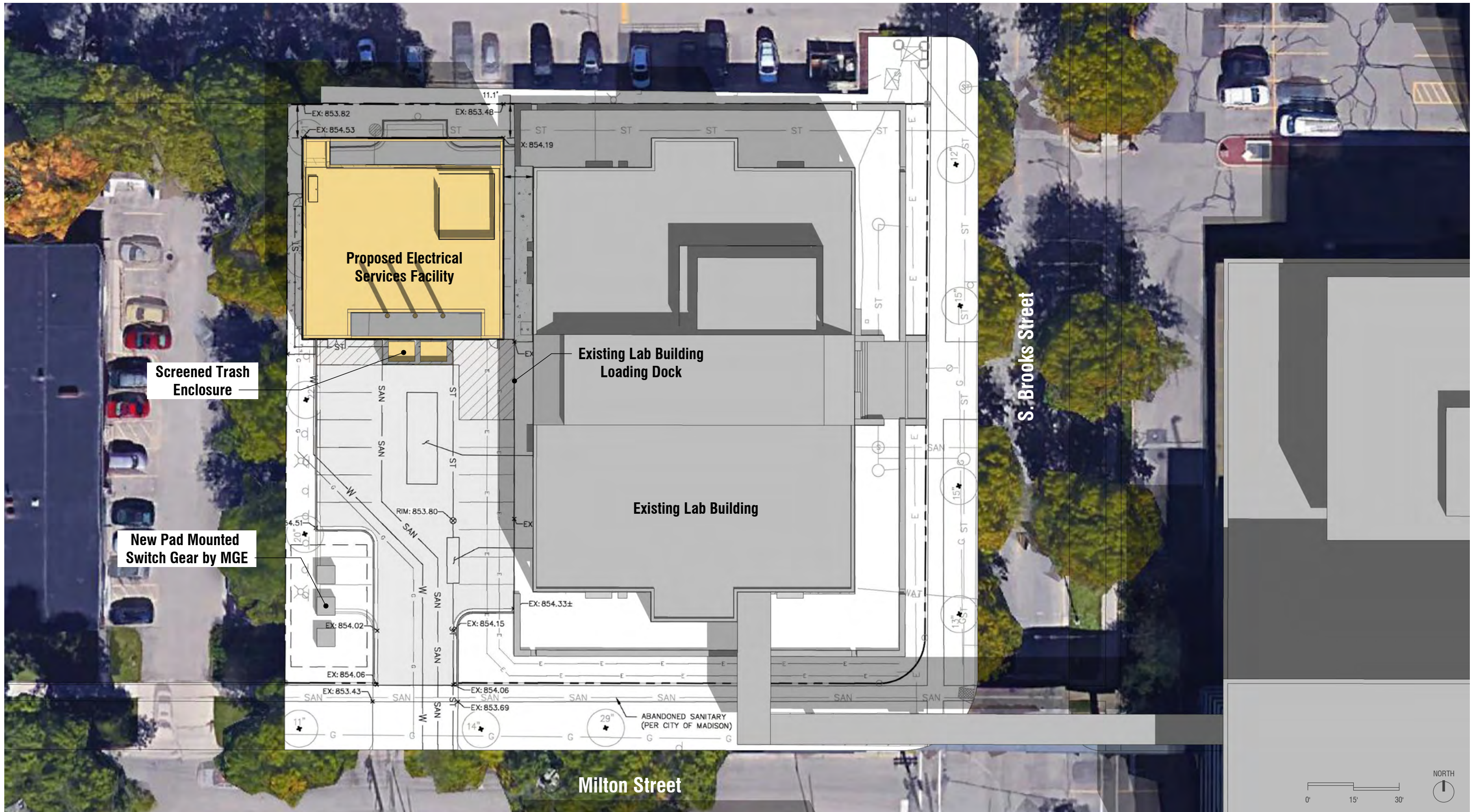


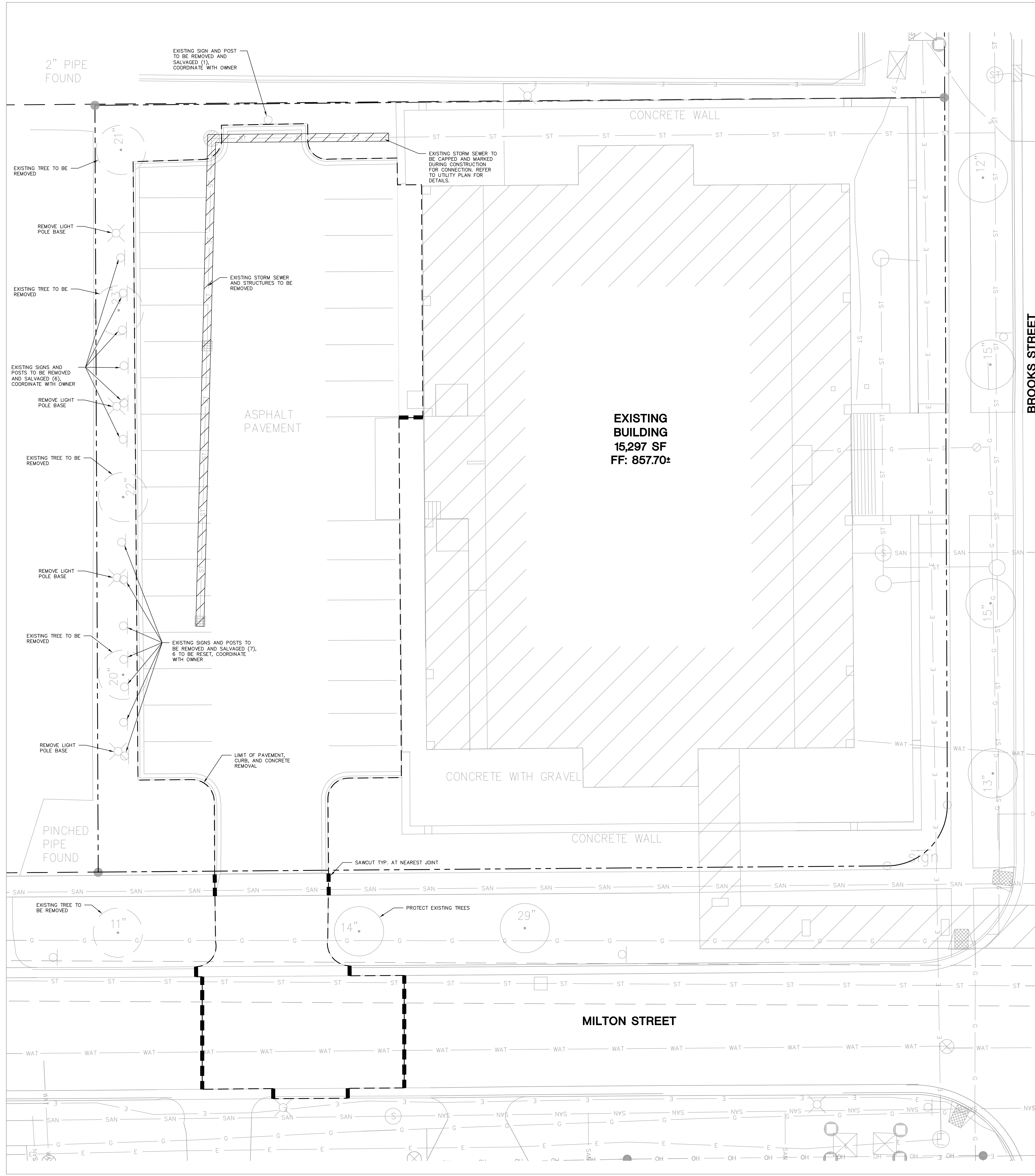
Apartment Building at 1019 Milton St. (South of Existing Lab Building)

Contextual Site Photos

Unity Point Meriter Electrical Services Facility - 2017.14.00

September 6, 2017





LEGEND (DEMO PLAN)

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- REMOVAL AREA
- SAWCUT
- PROPOSED ASPHALT PAVEMENT-STANDARD DUTY
- EXISTING CURB AND GUTTER
- EXISTING SANITARY SEWER
- EXISTING GAS MAIN
- EXISTING STORM SEWER
- EXISTING WATER MAIN
- EXISTING ELECTRIC

DEMOLITION NOTES

1. THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE. "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE" THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS, IN HIS OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID, AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
2. CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
3. ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GRADEN TO PROPOSED SUBGRADE.
4. PERFORM TREE PRUNING IN ALL LOCATIONS WHERE PROPOSED PAVEMENT AND/OR UTILITY INSTALLATION ENROACH WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN. ALL TRENCING WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN SHALL BE DONE RADIALLY AWAY FROM THE TRUNK IF ROOTS IN EXCESS OF 1" DIAMETER ARE EXPOSED. ROOTS MUST BE CUT BY REPUTABLE TREE PRUNING SERVICE PRIOR TO ANY TRANSVERSE TRENCING.
5. ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
6. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
7. CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ADJUTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
8. GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS. ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS.
9. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
- 9.1. VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
- 9.2. NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
- 9.3. NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
11. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
12. CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
13. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED CITY OF MADISON RECYCLING PLAN.
14. ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
15. ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
16. ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
17. BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. DEMOLISHED MATERIALS SHALL NOT BE BURIED ON SITE. IF ENCOUNTERED, ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
18. RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.

GENERAL NOTES:

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS. EXISTING CONDITIONS SURVEY PROVIDED BY OTIE, DATED 9/18/17.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND THE CITY OF MADISON REQUIREMENTS.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES OTHER THAN SHOWN HEREIN.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

Notes: _____

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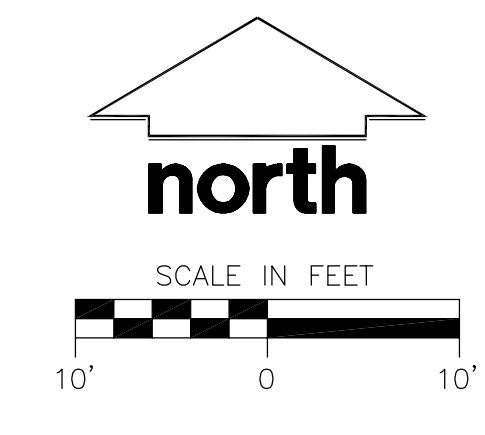
EMERGENCY POWER FACILITY
UNITY POINT HEALTH - MERITER

36 SOUTH BROOKS STREET
MADISON, WISCONSIN

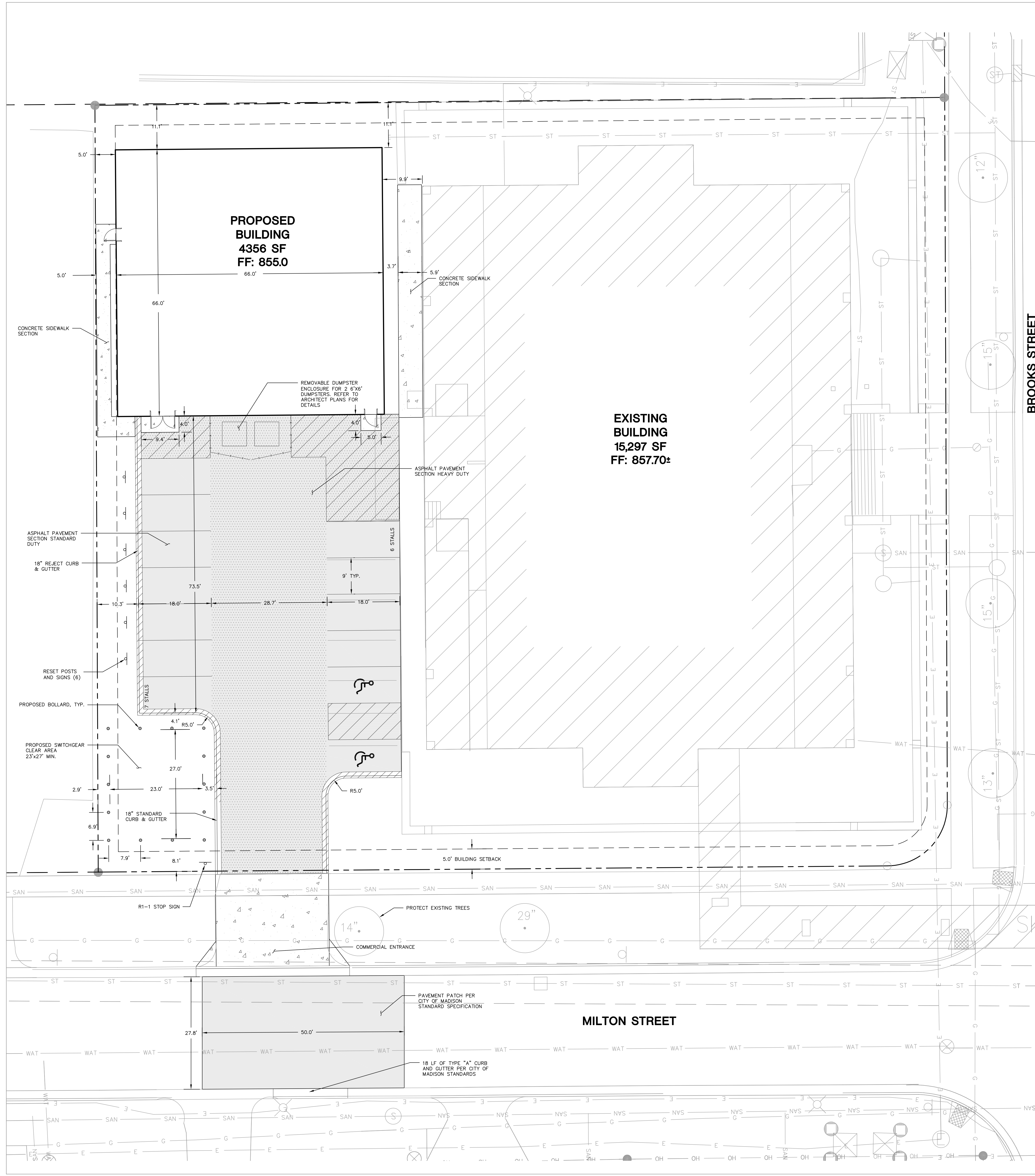
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DEMOLITION PLAN



C000



LEGEND (SITE PLAN)

- PROPERTY LINE
- - - BUILDING SETBACK
- - - EASEMENT LINE
- ▬ PROPOSED BUILDING FOOTPRINT
- ▬ EDGE OF PAVEMENT
- ▬ STANDARD CURB AND GUTTER
- ▬ REJECT CURB AND GUTTER
- ▬ PROPOSED CONCRETE
- ▬ PROPOSED ASPHALT PAVEMENT-STANDARD DUTY
- ▬ PROPOSED ASPHALT PAVEMENT-HEAVY DUTY
- SAN --- EXISTING SANITARY SEWER
- G --- EXISTING GAS MAIN
- ST --- EXISTING STORM SEWER
- WAT --- EXISTING WATER MAIN
- E --- EXISTING ELECTRIC

GENERAL NOTES:

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS. EXISTING CONDITIONS SURVEY PROVIDED BY ROYAL OAK & ASSOCIATES, INC.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND THE CITY OF MADISON REQUIREMENTS.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

SITE PLAN NOTES

1. ALL DIMENSIONS TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
2. ALL RADII TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
3. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET THE REQUIREMENTS OF THE CITY OF MADISON.
4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
8. USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
9. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
10. 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMP.
11. ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.

SITE INFORMATION BLOCK	
Site Address	36 SOUTH BROOKS STREET
Site Acreage (total)	0.915
Number of Building Stories (above grade)	2
Total Building Square Footage	4,356 SF
Existing Parking Stalls	
Standard Stall	28
Accessible	2
Total Surface	30
Proposed Parking Stalls	
Standard Stall	11
Accessible	2
Total Surface	13
Existing vs. Proposed Site Coverage:	
Existing Impervious Surface Area	29,382 S.F.
Existing PerVIOUS Surface Area	10,475 S.F.
Proposed Impervious Surface Area	29,225 S.F.
Proposed PerVIOUS Surface Area	10,632 S.F.
Proposed Impervious Surface Area Ratio	0.73

Notes: _____

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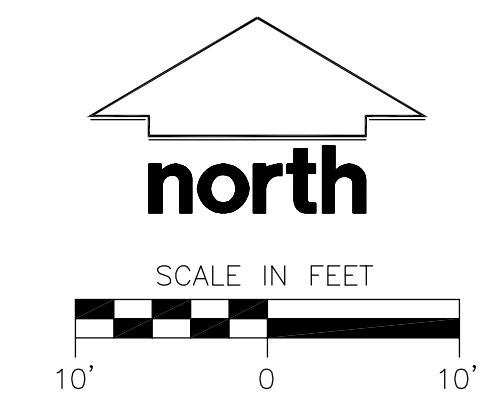
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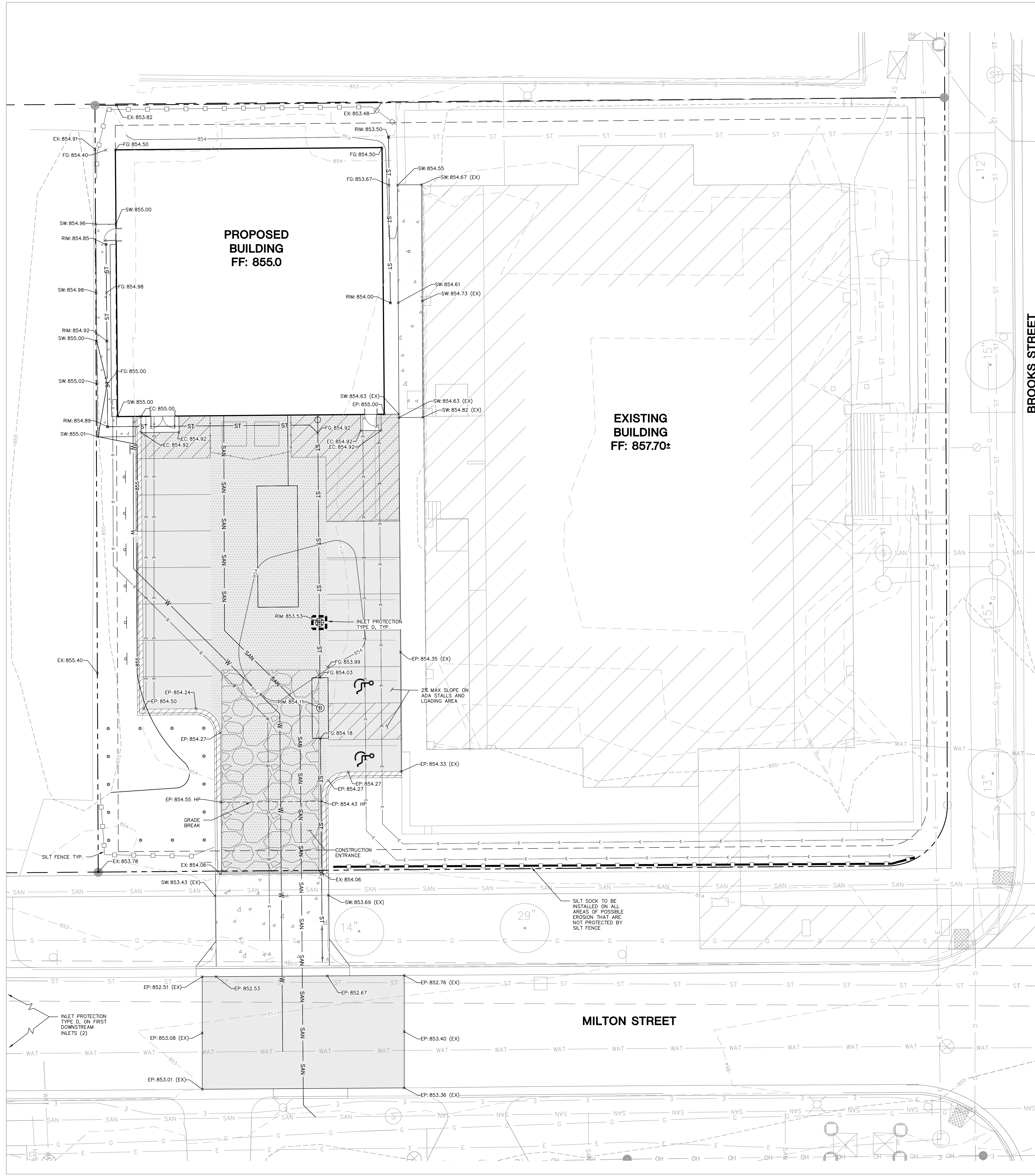
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SITE PLAN



C100



LEGEND (GRADING & EROSION CONTROL)

---	PROPERTY LINE	ST	EXISTING STORM SEWER
- - -	BUILDING SETBACK	WAT	EXISTING WATER MAIN
- · - · -	EASEMENT LINE	E	EXISTING ELECTRIC
---	PROPOSED BUILDING	ST	STORM SEWER
---	PROPOSED 1 FOOT CONTOUR	□	SILT FENCE
---	PROPOSED 5 FOOT CONTOUR	□	SILT SOCK
---	EDGE OF PAVEMENT	□	INLET PROTECTION, TYPE D
---	STANDARD CURB AND GUTTER	□	SPOT ELEVATION
---	REJECT CURB AND GUTTER	□	EP - EDGE OF PAVEMENT
---	SAN	□	FG - FINISH GRADE
---	G	□	EC - EDGE OF CONCRETE
---	EXISTING SANITARY SEWER	□	RM - RM ELEVATION
---	EXISTING GAS MAIN	---	EX - EXISTING
---		---	GRADE BREAK

- GENERAL NOTES:**
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS. EXISTING CONDITIONS SURVEY PROVIDED BY ROYAL OAK & ASSOCIATES, INC.
 - ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND THE CITY OF MADISON REQUIREMENTS.
 - EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
 - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS (CSECR) NOTES:**
- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/stormwater/techstds.htm>
 - INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDR TECHNICAL STANDARDS.
 - INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
 - INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
 - EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% OF THE COVER FOR THE UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
 - INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
 - INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
 - INSTALL TEMPORARY SEDIMENT TRAPS PER LATEST EDITION OF WDR STORM WATER CONSTRUCTION TECHNICAL CONSTRUCTION SITE EROSION & SEDIMENT CONTROL STANDARDS NOTE 1063. SEDIMENT TRAPS SHALL BE SIZED BASED ON MEDIUM SOIL TEXTURAL CLASS. SEDIMENT TRAPS SHALL BE MAINTAINED WITHIN 24 HOURS AFTER EVERY RAIN EVENT PRODUCING 0.5 INCHES OF RAIN OR MORE AND AT A MINIMUM SEDIMENT SHALL BE REMOVED WHEN SEDIMENT REACHES A DEPTH OF 1 FOOT OR WHEN OUTLET BECOMES CLOGGED. SEDIMENT TRAPS SHALL BE REMOVED AND THE LOCATION STABILIZED AFTER THE DISTURBED AREA DRAINING TO THE SEDIMENT TRAP IS STABILIZED AND NO LONGER SUSCEPTIBLE TO EROSION. ALL SEDIMENT SHALL BE PROPERLY DISPOSED.
 - INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDR TECHNICAL STANDARDS.
 - EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
 - ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
 - ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING WITHIN 7 DAYS OF READING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. REFER BELOW TO "CSECR" NOTE NO. SIXTEEN (16) FOR STABILIZATION PRACTICES FOR POTENTIAL INTERIM STABILIZATION.
 - CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION IN ACCORDANCE WITH WDR REQUIREMENTS.
 - CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDR TECHNICAL STANDARD 1068.
 - STABILIZATION PRACTICES:**
 - STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
 - THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS). IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
 - STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
 - PERMANENT SEEDING, IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
 - TEMPORARY SEEDING, MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
 - HYDRO-MULCHING WITH A TACKLER
 - GEOTEXTILE EROSION MATTING
 - SODDING

- GRADING AND SEEDING NOTES**
- ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
 - ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
 - CONTRACTOR SHALL CHISEL-FLOW OR DEEP TILL WITH DOUBLE TIMES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
 - CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDING AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
 - CONTRACTOR TO DEEP TILL ALL COMPACTED PREVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
 - THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
 - IF GRADING ACTIVITIES STOP ON ANY PORTION OF LAND FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE TEMPORARILY STABILIZED.
 - ALL SLOPES 20% OR GREATER SHALL BE TEMPORARILY SEED, MULCH, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.

- CONSTRUCTION SEQUENCING**
- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY CONSTRUCTION ACTIVITIES.
 - STRIP TOPSOIL.
 - EXCAVATE BUILDING FOUNDATIONS.
 - COMPLETE ALL OTHER GRADING.
 - INSTALL SUBGRADE UTILITIES AND INLET PROTECTION MEASURES.
 - INSTALL AGGREGATE BASE COURSE AND PAVING IN PARKING AREAS.
 - STABILIZE NEWLY GRADED SOILS.

Notes:

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EMERGENCY POWER FACILITY
UNITY POINT HEALTH - MERITER

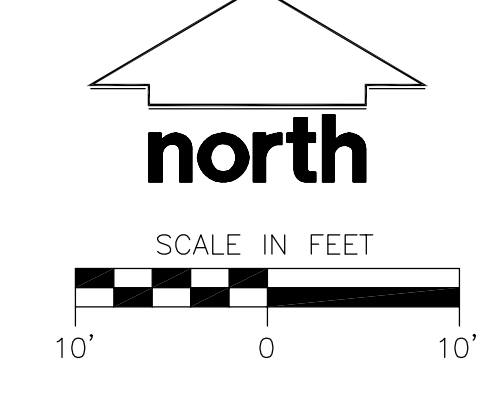
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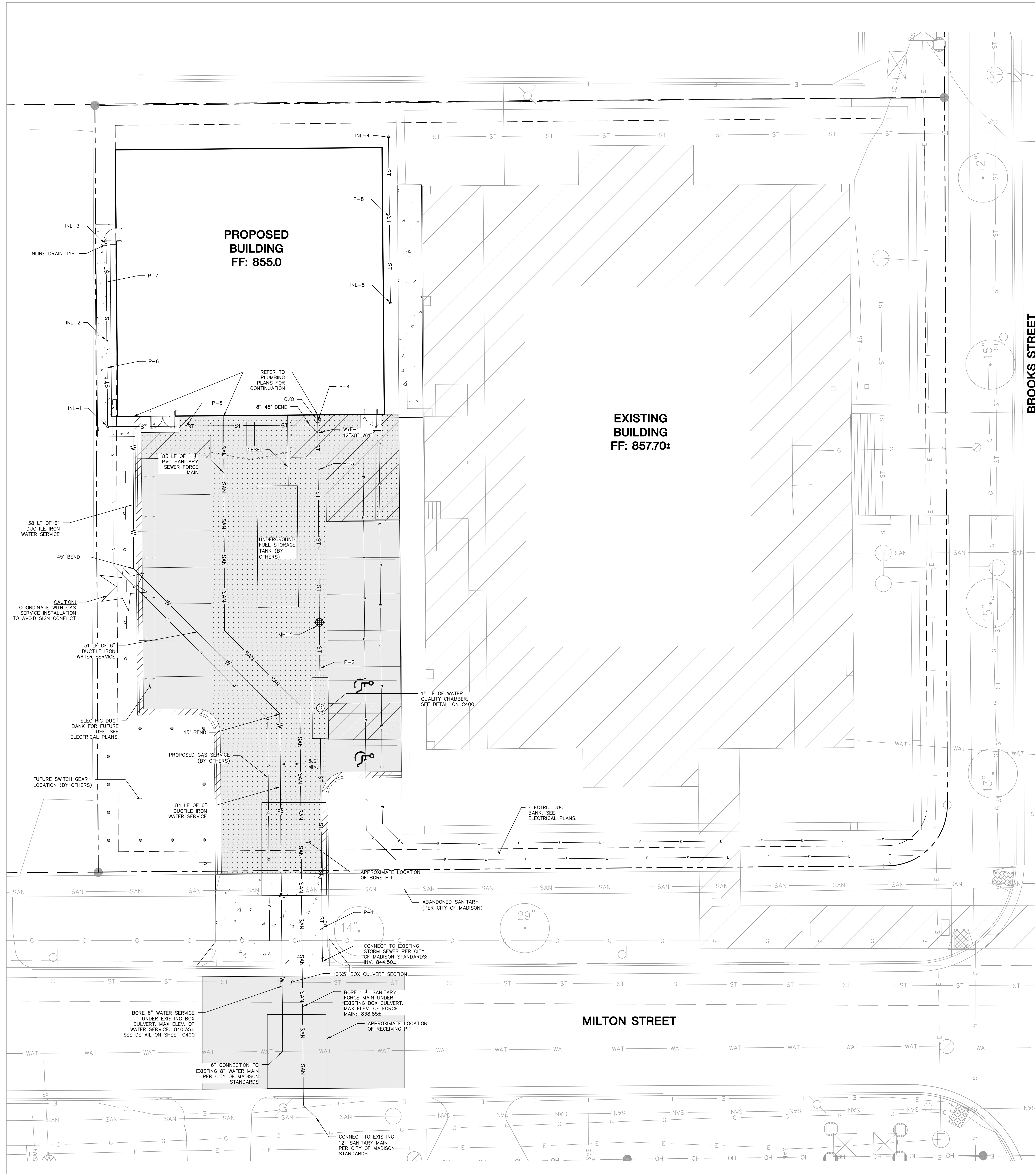
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GRADING & EROSION CONTROL PLAN

C200



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LEGEND (UTILITY PLAN)

---	PROPERTY LINE	-G-	GAS MAIN
---	BUILDING SETBACK	-E-	ELECTRIC
---	EASEMENT LINE	-SAN-	EXISTING SANITARY SEWER
---	PROPOSED BUILDING ADDITION	-G-	EXISTING GAS MAIN
---	STORM SEWER	-ST-	EXISTING STORM SEWER
---	SANITARY SEWER	-WAT-	EXISTING WATER MAIN
---	WATERMAIN	-E-	EXISTING ELECTRIC

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 - ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND THE CITY OF MADISON REQUIREMENTS.
 - EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
 - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

- UTILITY NOTES:**
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
 - LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
 - THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WSDOT, WDSPS, AND WDRR.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.

- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED PROJECT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL CONTACT THE CITY OF MADISON PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES. CONTRACTOR TO VERIFY SIZE AND DEPTH OF EXISTING UTILITY SERVICES AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONNECTING.
- CONTRACTOR MUST CONTACT AND IS REQUIRED TO NOTIFY THE CITY OF MADISON WATER UTILITY 48 HOURS IN ADVANCE OF CONNECTING TO THE PUBLIC UTILITY.
- ALL PRIVATE SANITARY BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-2.
- ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
- ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-4.
- ALL PRIVATE STORM PIPE SHALL CONFORM TO SPS 382.40(8)(b)4.A.
- ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 382.40-8 INCLUDING AT LEAST 8" OF HORIZONTAL DISTANCE BETWEEN WATER PIPING AND SANITARY SEWER FROM CENTER OF PIPE TO CENTER OF PIPE AND 6" OF SEPARATION BETWEEN STORM SEWER AND WATER PIPING.
- ALL LOCATIONS WHERE STORM SEWER AND WATER MAIN ARE CROSSING AND LESS THAN 3 FEET OF VERTICAL/HORIZONTAL SEPARATION IS PROVIDED, WATER MAIN SHALL BE INSULATED PER STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN LATEST EDITION. INSULATION SHALL CREATE A "BOX" ENLOSING THE TOP AND SIDES OF WATER MAIN.

PROPOSED STORM SEWER STRUCTURES SCHEDULE

LABEL	INVERT ELEV. (FT)	RIM ELEV. (FT)	DEPTH (FT)	STRUCTURE DESCRIPTION	GRATE
MH-1	846.67	853.53	6.86	48" DIAM MANHOLE	R-2050 MANHOLE FRAME - TYPE D GRATE
INL-1	849.75	854.89	5.14	IN-LINE DRAIN	STANDARD GRATE
INL-2	850.67	854.92	4.45	IN-LINE DRAIN	STANDARD GRATE
INL-3	851.29	854.85	3.56	IN-LINE DRAIN	STANDARD GRATE
INL-4	* 846.84	853.50	6.66	24" CATCH BASIN	SEE DETAIL
INL-5	851.01	854.00	2.99	IN-LINE DRAIN	8" DOME

*CONTRACTOR TO VERIFY INVERT OF PIPE TO EAST AND REPORT DISCREPANCY TO ENGINEER

PROPOSED STORM SEWER PIPE SCHEDULE

PIPE LABEL	FROM	TO	LENGTH (FT)	INVERT ELEVATION (FT)	DISCHARGE ELEVATION (FT)	SLOPE (%)	PIPE SIZE & TYPE
P-1	WATER QUALITY CHAMBER	EX BOX CULVERT	65	848.16	844.50	3.00%	12" RCP
P-2	MH-1	WATER QUALITY CHAMBER	14	846.67	846.26	3.00%	8" HDPE
P-3	WWE-1	MH-1	47	848.17	846.77	3.00%	8" HDPE
P-4	BUILDING	WWE-1	4	848.28	848.17	3.00%	8" HDPE
P-5	INL-1	WWE-1	53	849.75	848.17	3.00%	8" HDPE
P-6	INL-2	INL-1	21	850.67	849.85	3.00%	8" HDPE
P-7	INL-3	INL-2	24	851.29	850.57	3.00%	8" HDPE
P-8	INL-5	INL-4	41	851.01	846.74	10.40%	8" HDPE

Notes:

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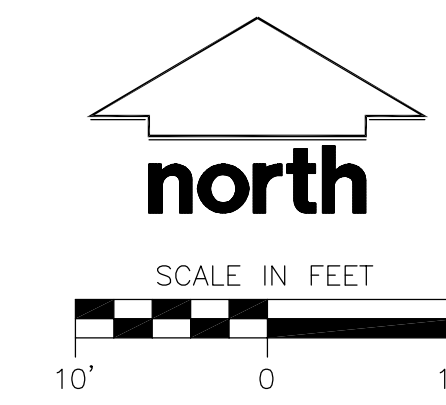
EMERGENCY POWER FACILITY
UNITY POINT HEALTH - MERITER

36 SOUTH BROOKS STREET
MADISON, WISCONSIN

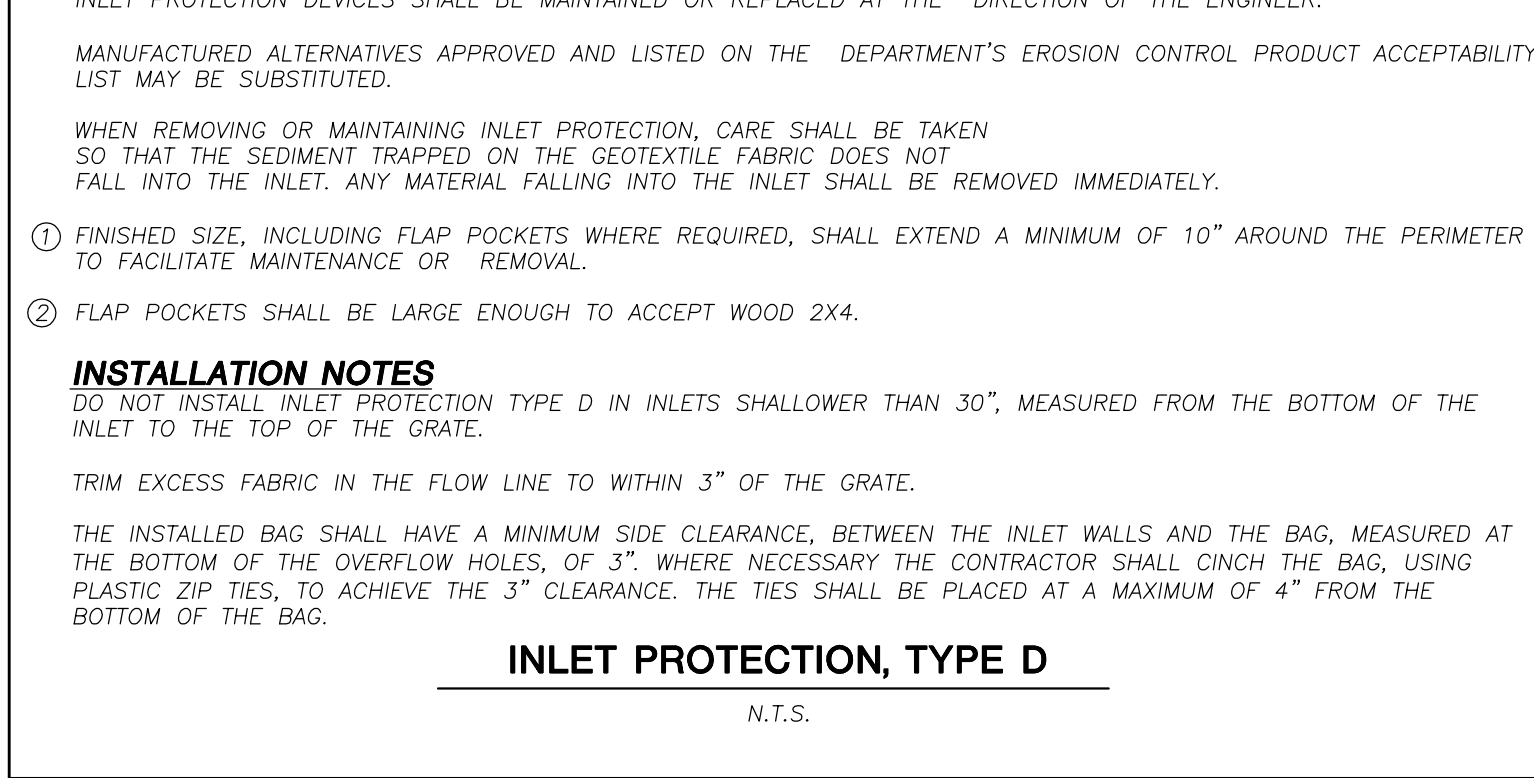
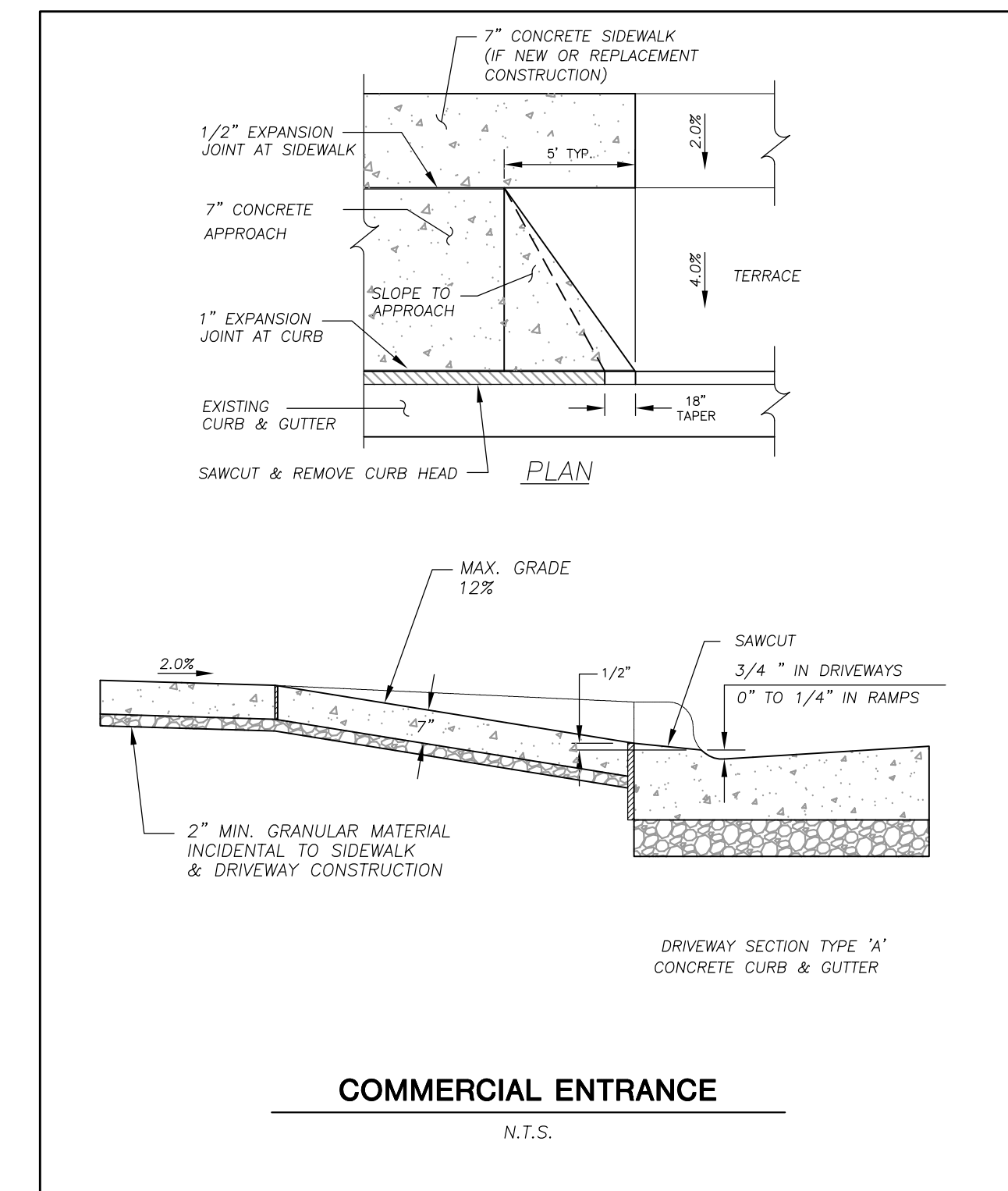
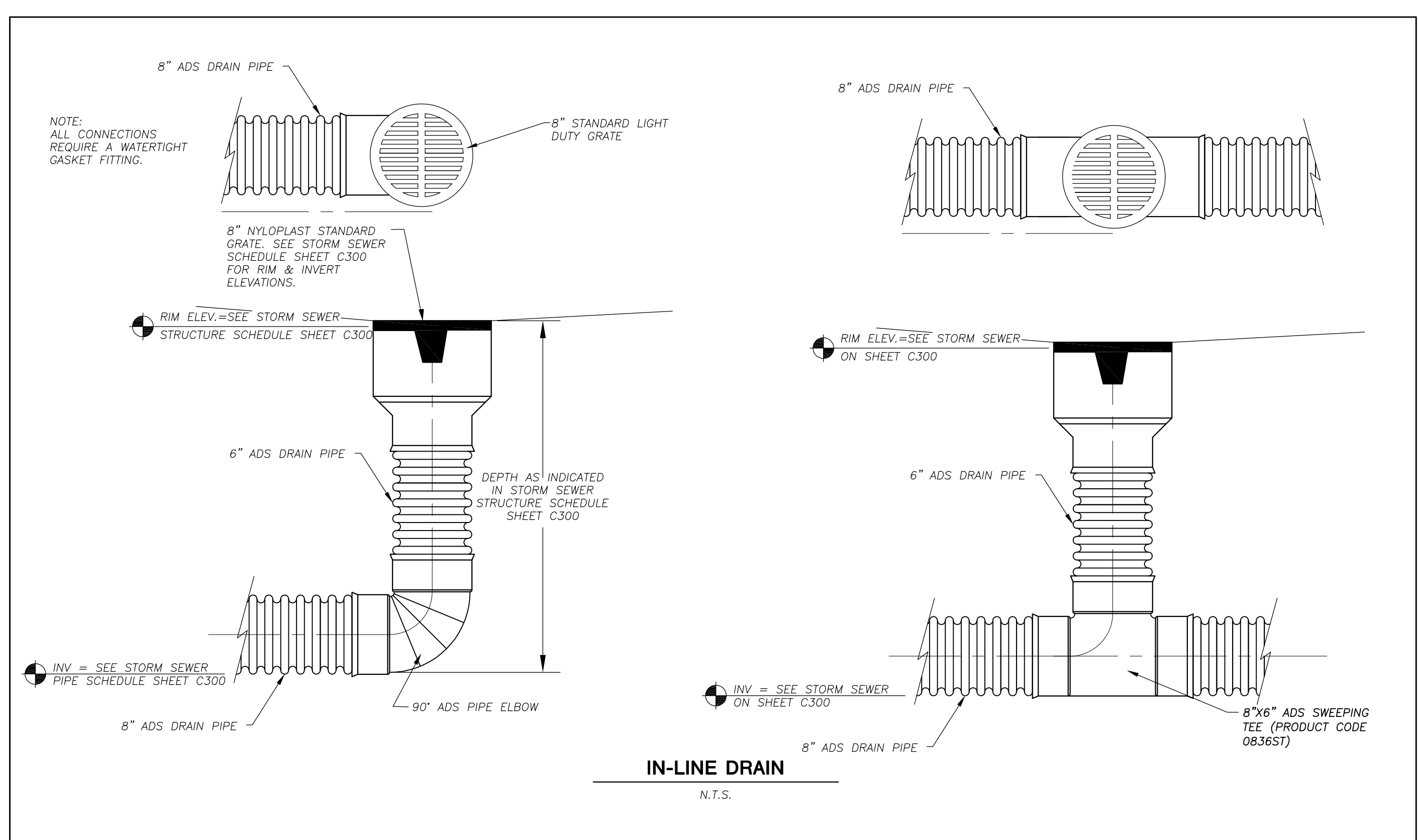
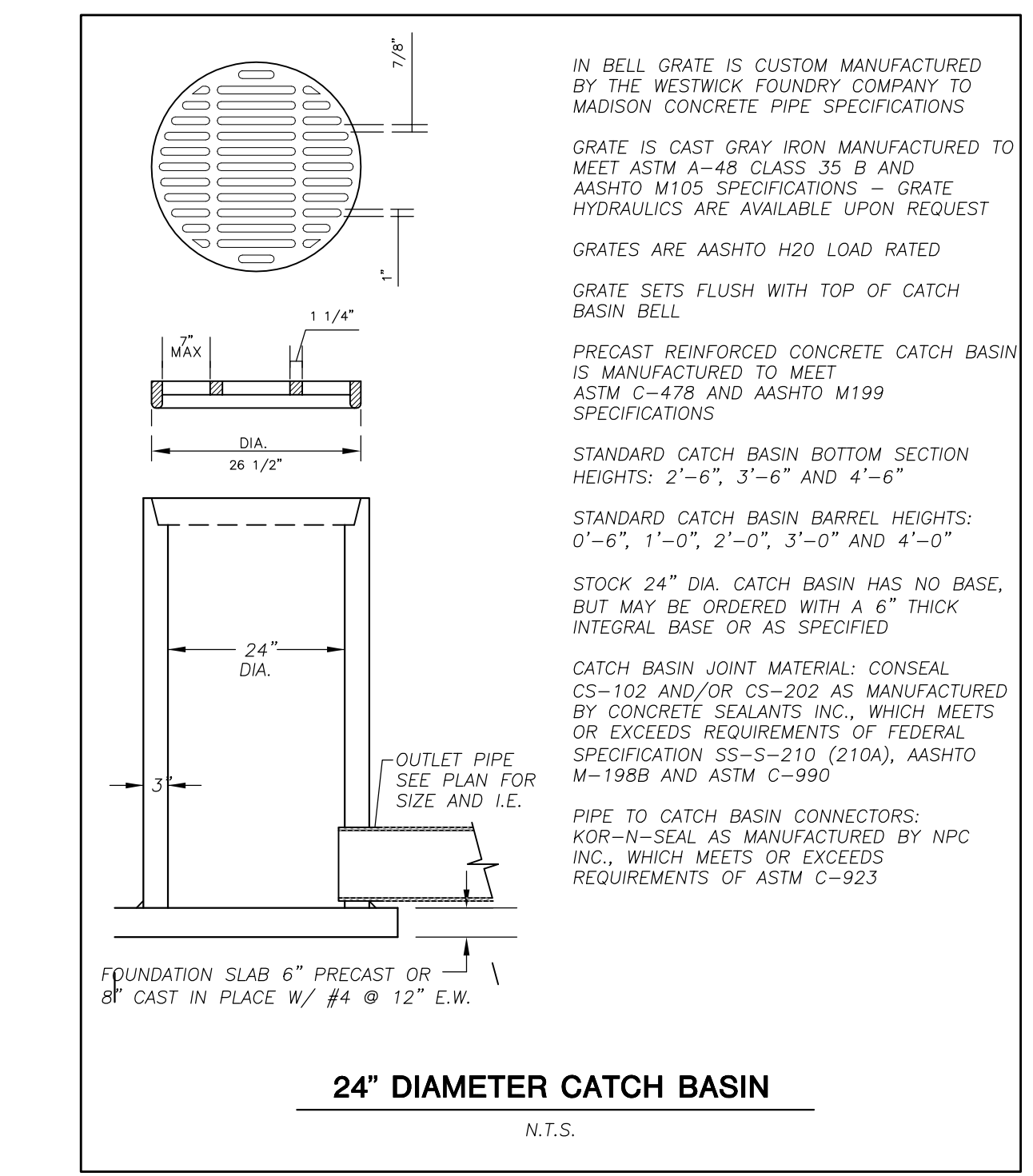
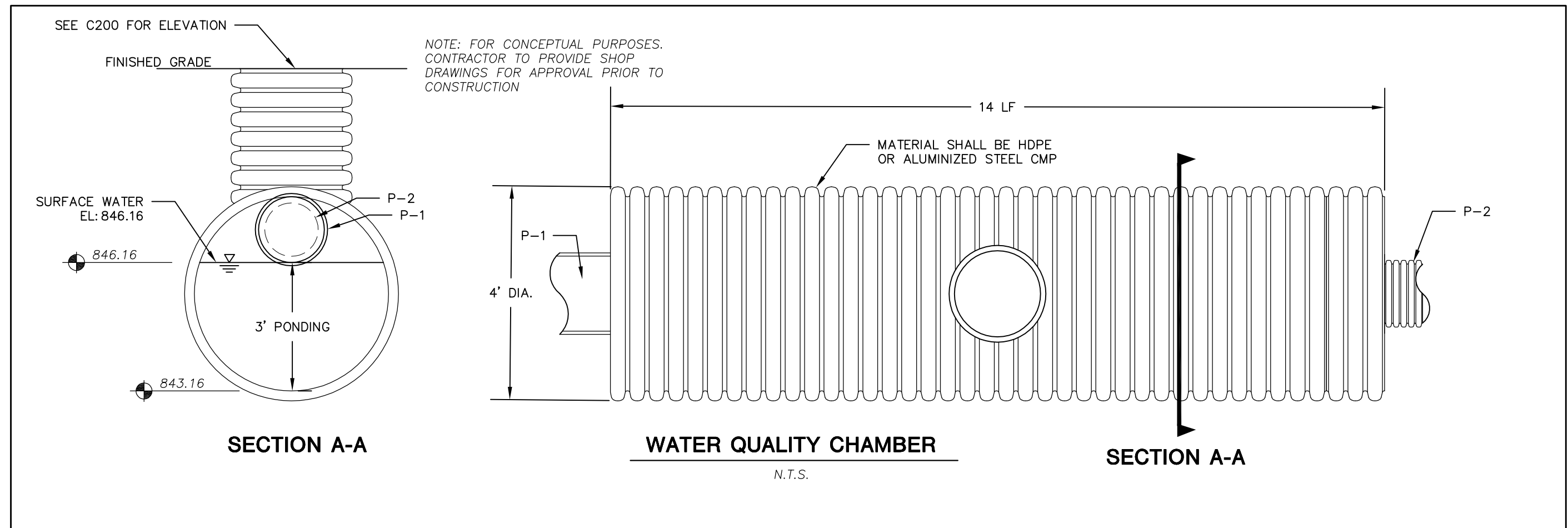
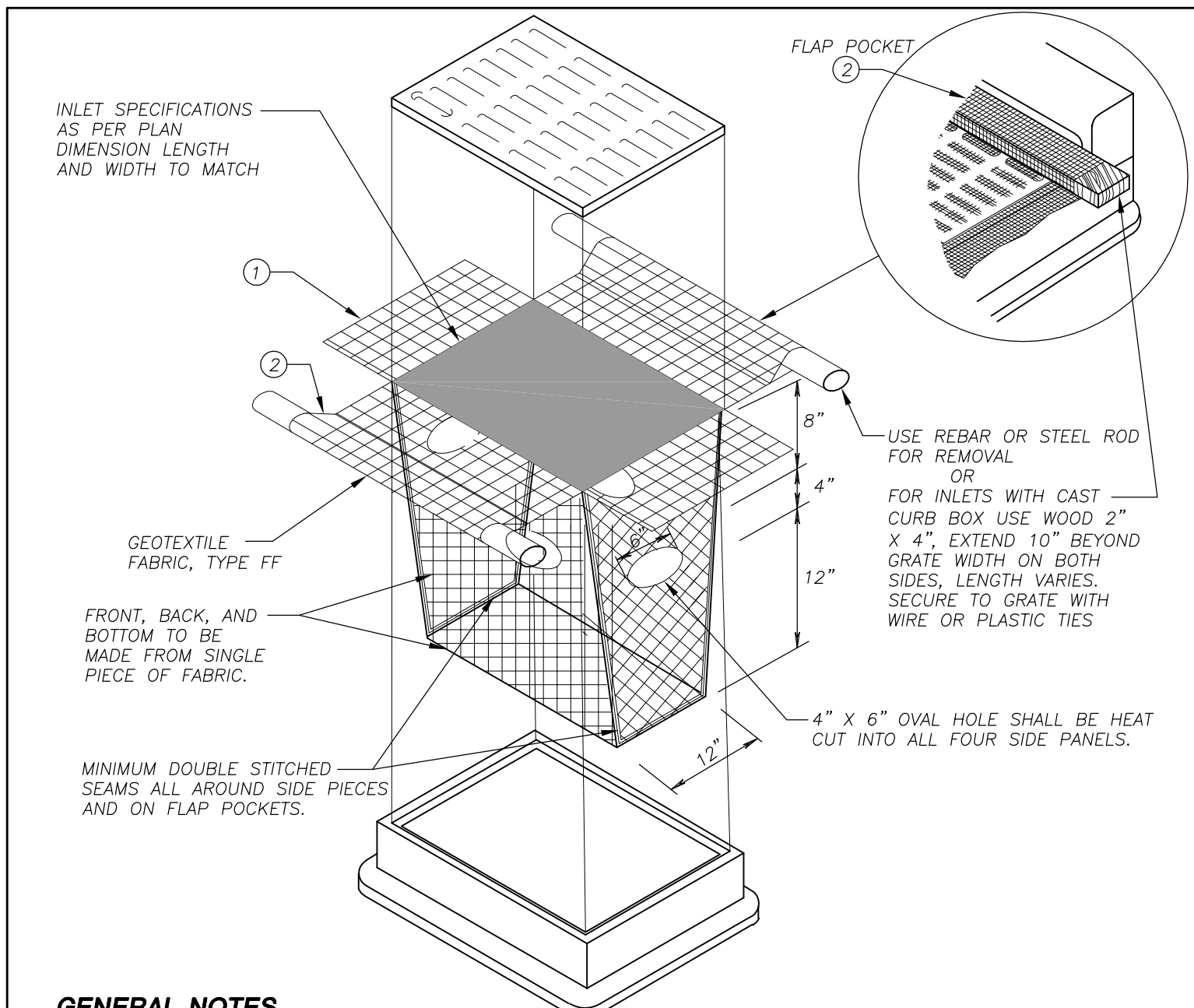
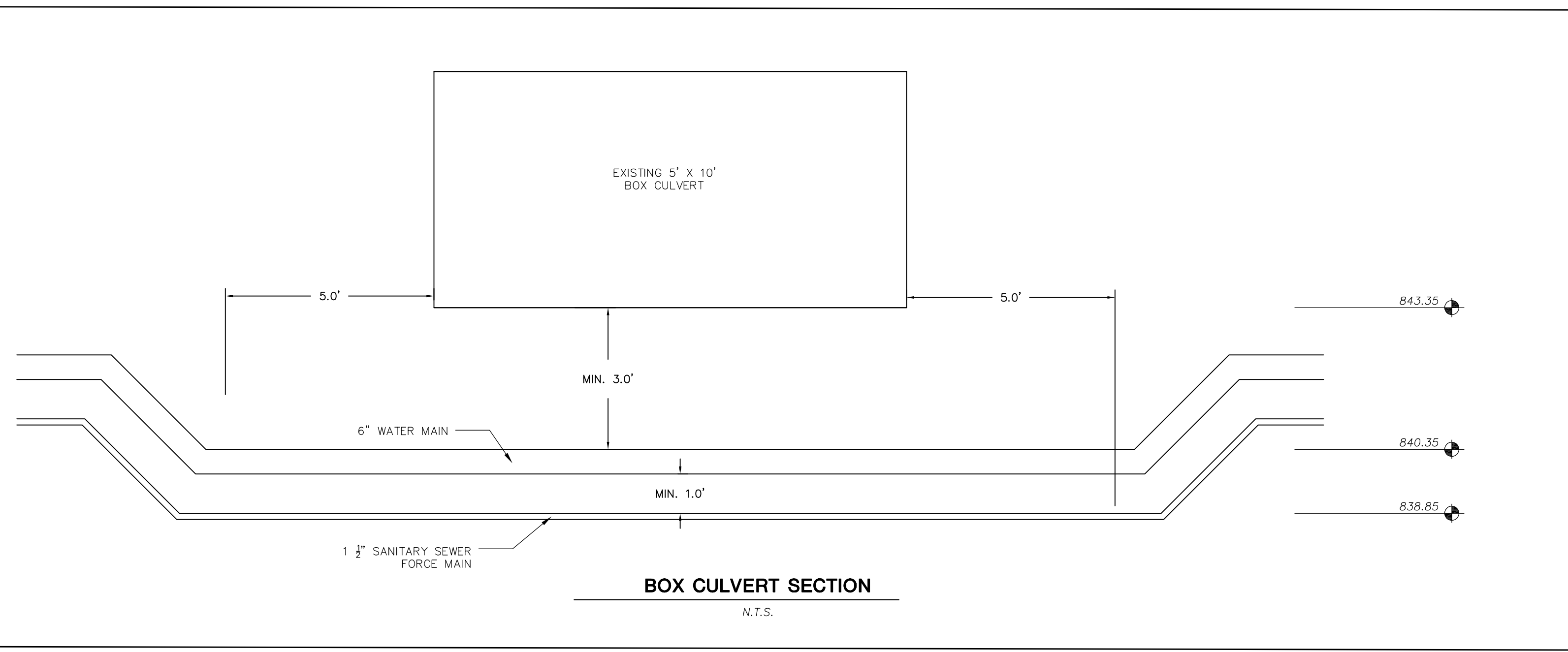
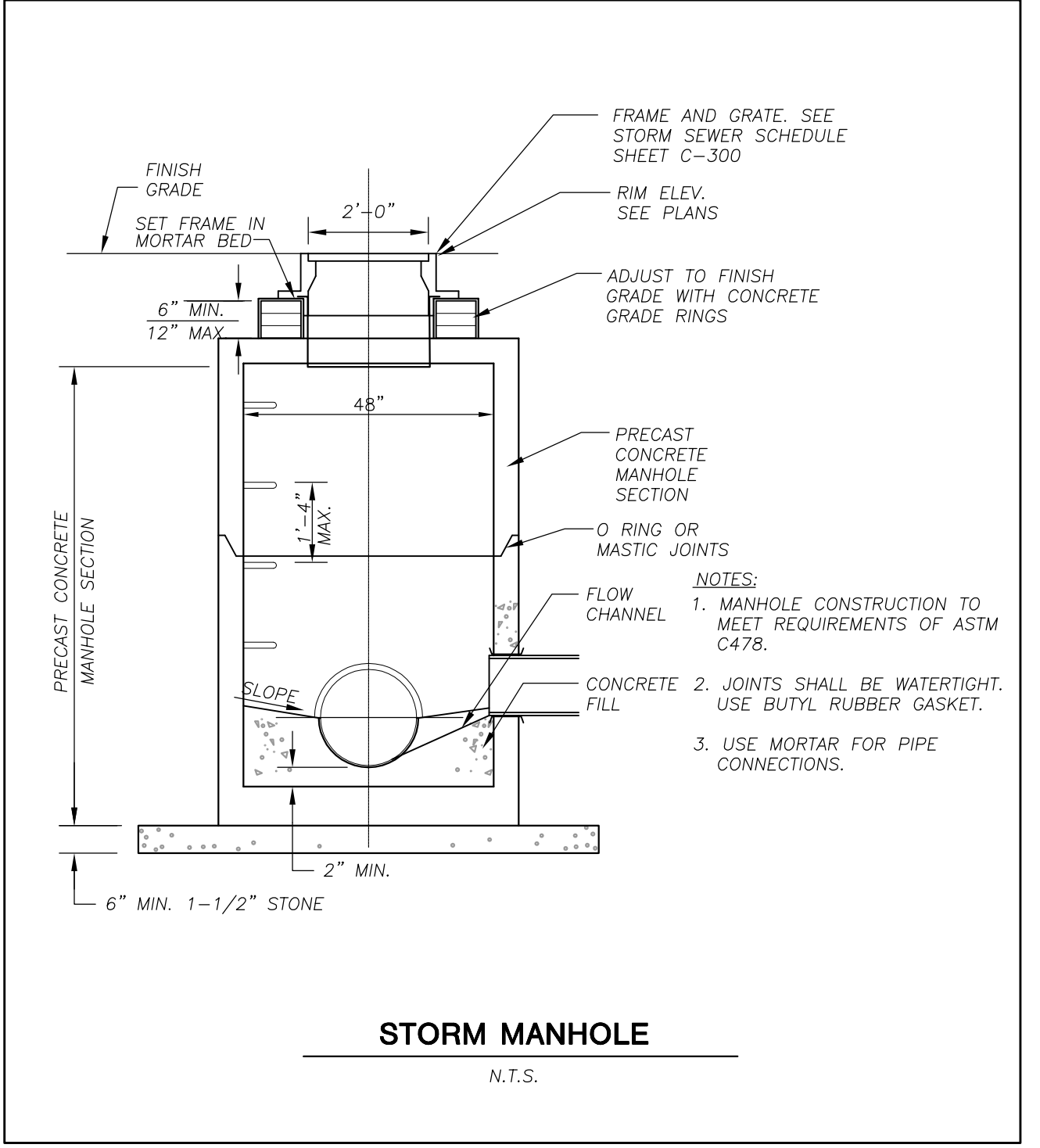
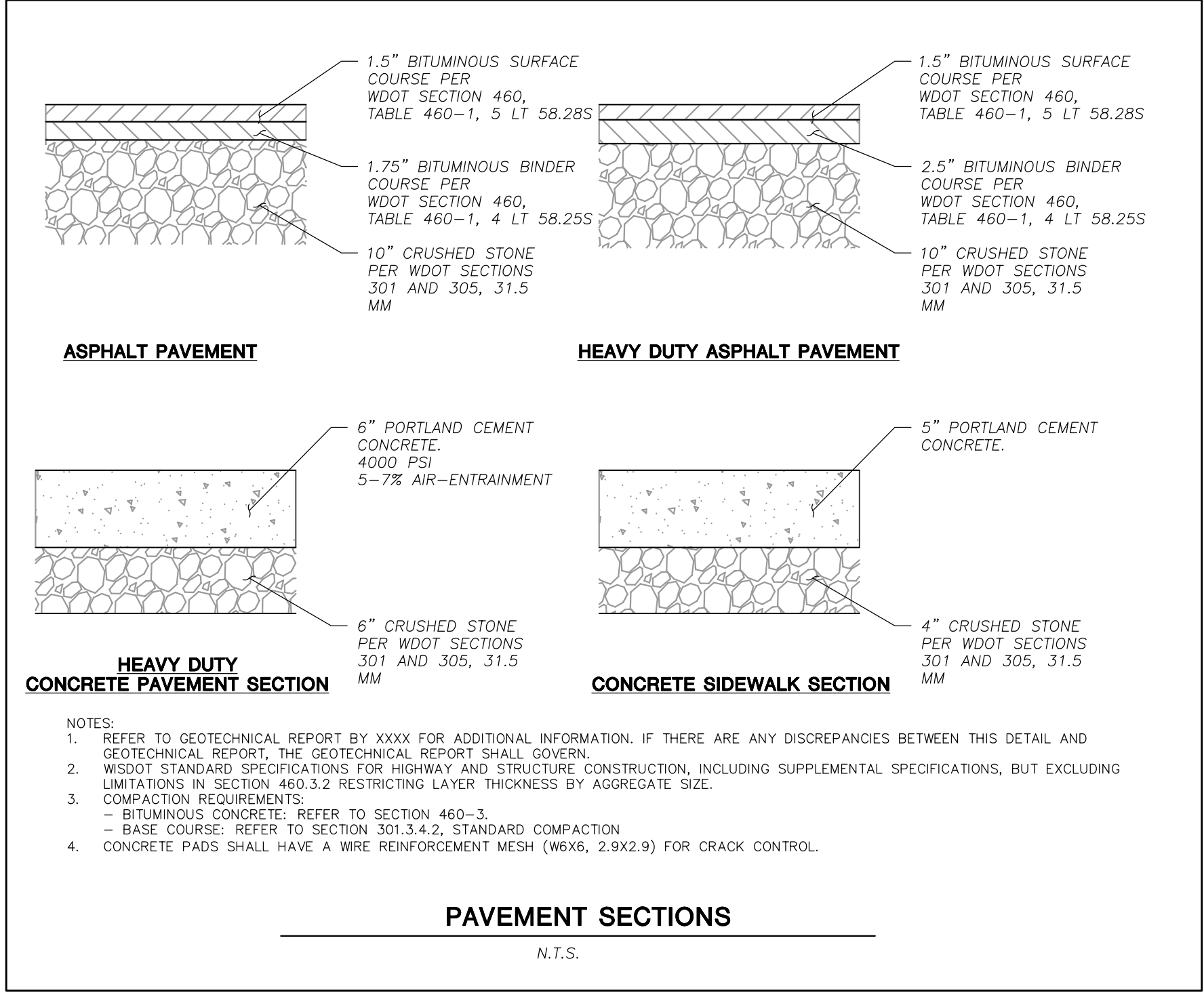
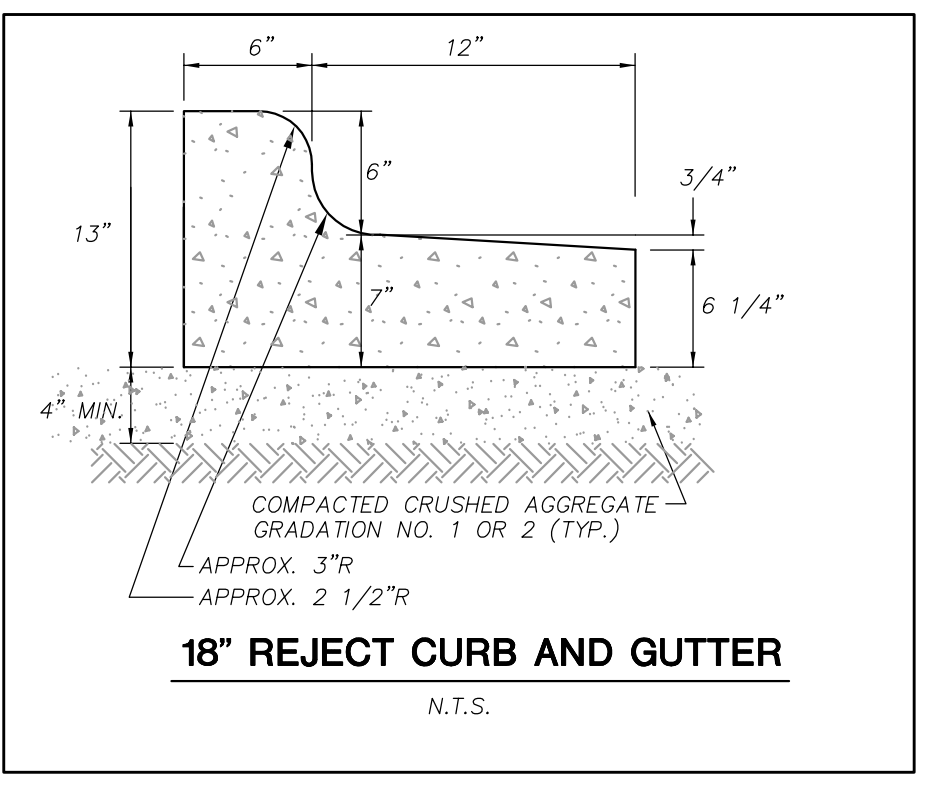
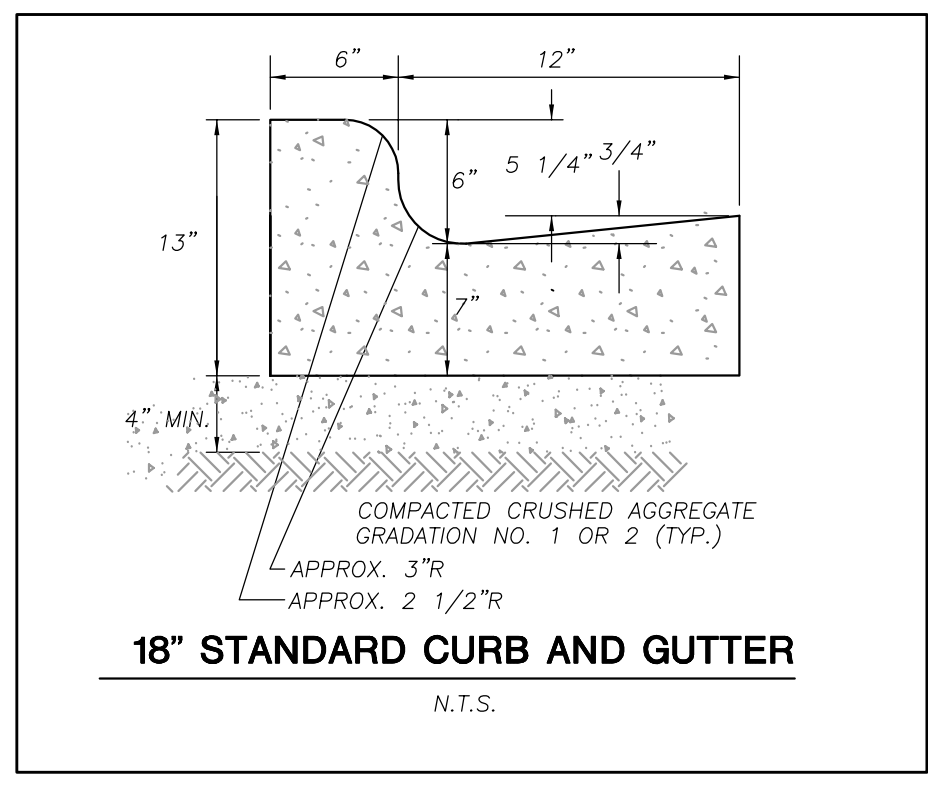
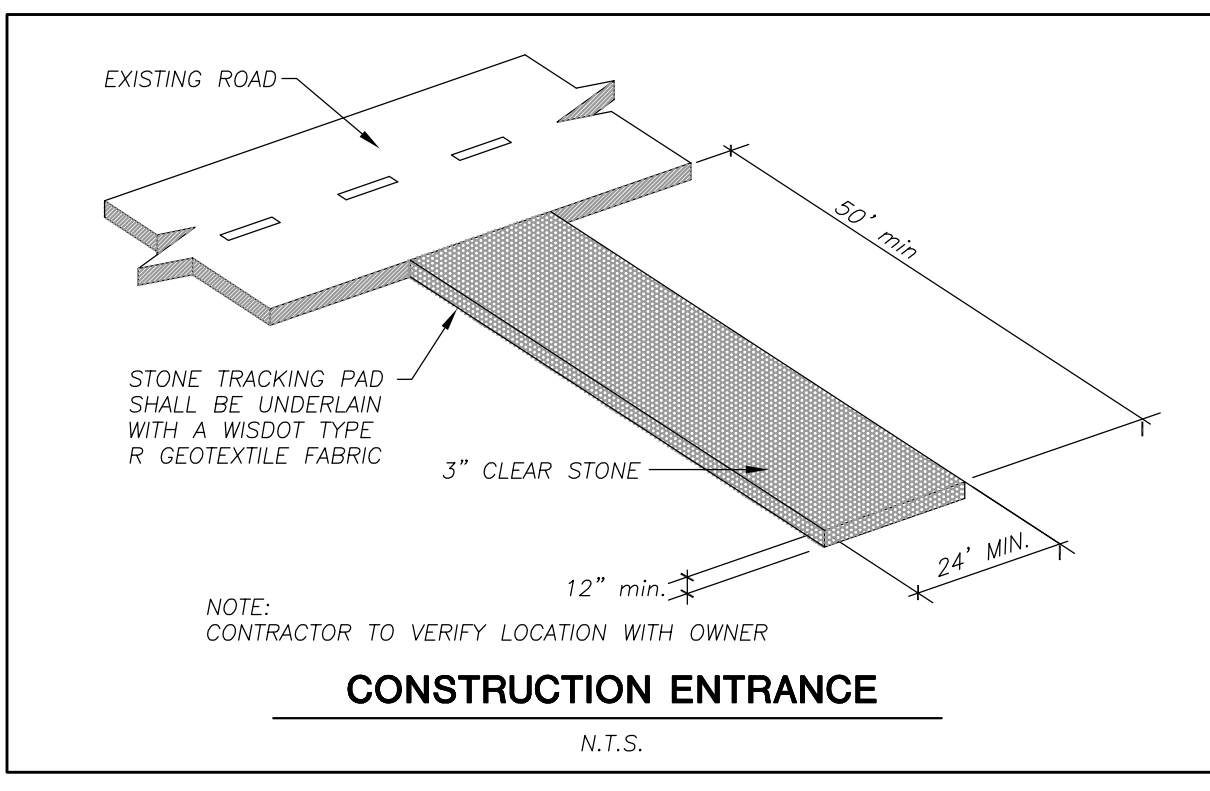
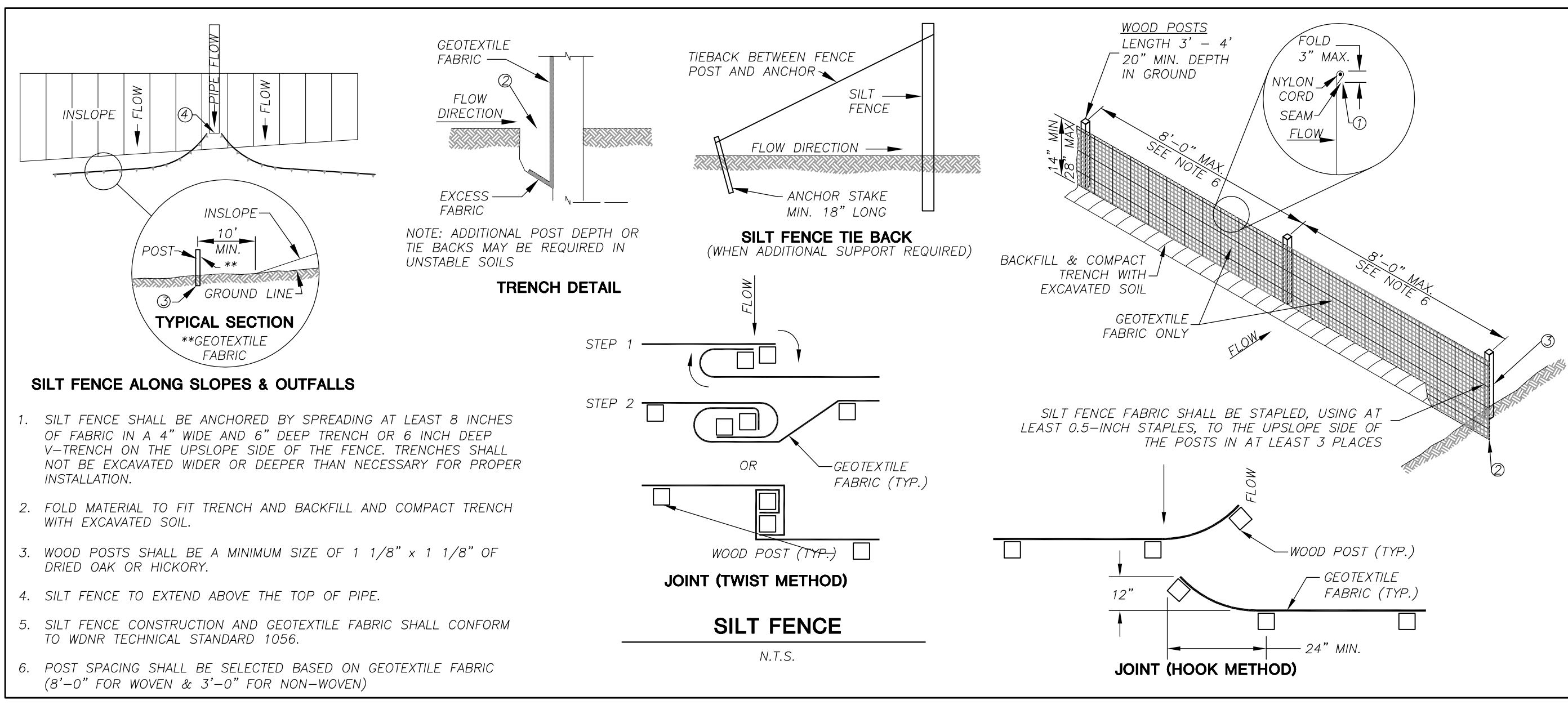
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09/20/17 Land Use Submittal

UTILITY PLAN



C300



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36 SOUTH BROOKS STREET
MADISON, WISCONSIN

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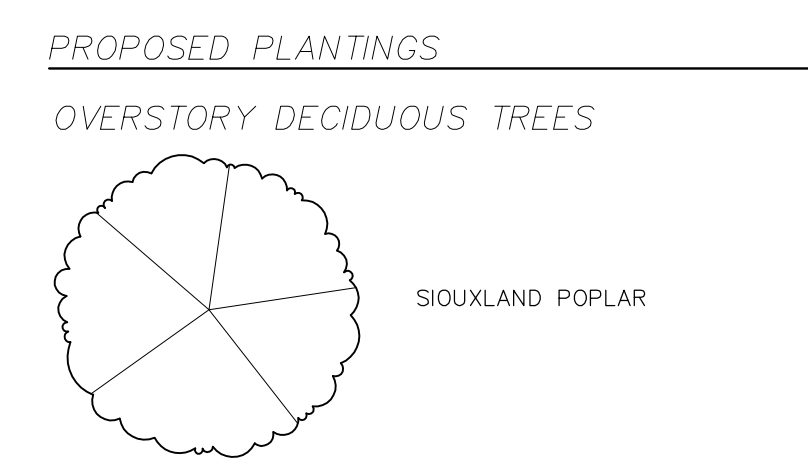
09/20/17 Land Use Submittal

DETAILS

C400

LEGEND (SITE PLAN)

	HOSE LAY LENGTH
	FIRE ACCESS LANE
	FIRE HYDRANT



LANDSCAPE PLANT LIST

SYM.	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	POINTS	TOTAL POINTS
OVERSTORY DECIDUOUS TREES							
SP	3	Siouxland Poplar	POPULUS x 'Siouxland'	2-1/2" Cal.	B&B	35	105



CITY OF MADISON FIRE DEPARTMENT
Fire Prevention Division, 325 W. Johnson St., Madison, WI 53703 • Phone: 608-266-4484 • FAX: 608-267-1153

Project Address: 36 S Brooks St.
Contact Name & Phone #:

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13 1/2-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? f) Is a detail of the signage included on the site plan? g) Is a roll-able curb used as part of the fire lane? h) Is a detail of the curb included on the site plan? i) Is part of a sidewalk used as part of the required fire lane? j) Is the sidewalk constructed to withstand 85,000-lbs?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-foot clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4. Is the fire lane dead-ended with a length greater than 150-feet? If yes, is the area for turning around fire apparatus provided by: a) A cut-de-sac with a minimum inside diameter of 70-feet? b) A 45-degree wye with a minimum length of 60-feet per side? c) A 90-degree tee with a minimum length of 60-feet per side?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 237? If yes, see IFC 2306.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building greater than 30-feet above the lowest level of fire apparatus access? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus. a) Is the fire lane at least 20' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3 1/2-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1 1/2-feet, within 5-feet of a fire hydrant? Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.
This worksheet is based on MGO 34.20 and IFC 2006 Edition Chapter 5 and Appendix D; please see the codes for further information.

Notes:

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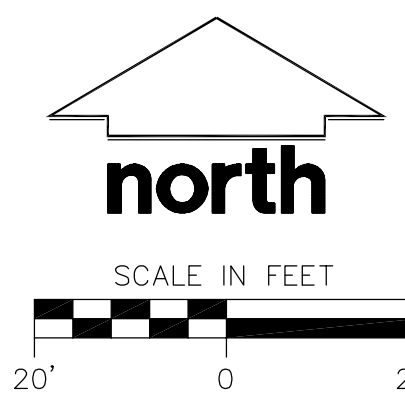
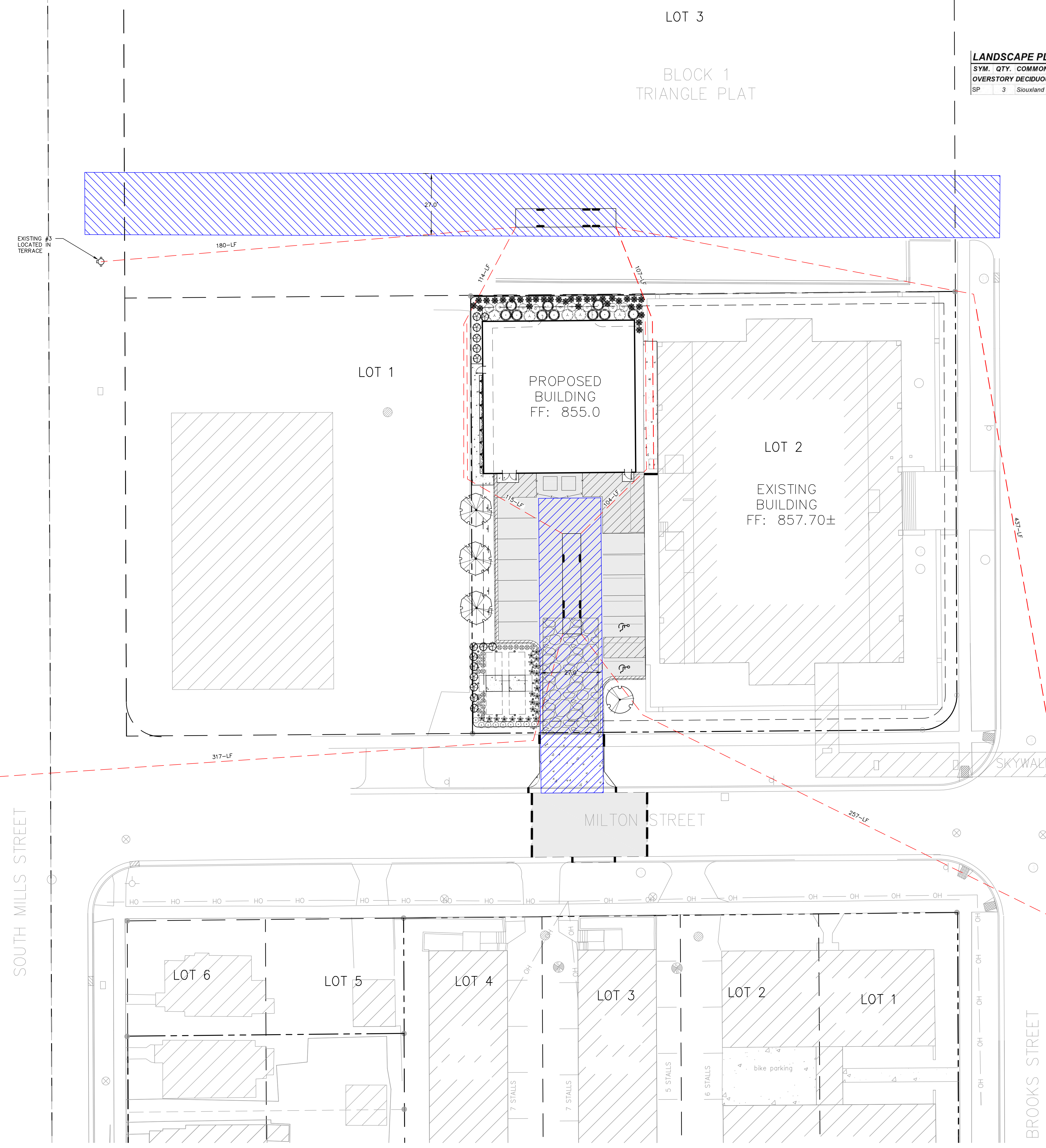
36 SOUTH BROOKS STREET
MADISON, WISCONSIN

2017.14.00

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09/20/17 Land Use: Submittal

FIRE ACCESS PLAN

EXHIBIT A



LEGEND

---	PROPERTY LINE	---	SAN	EXISTING SANITARY SEWER
- - -	RIGHT-OF-WAY	---	G	EXISTING GAS MAIN
- · - · -	EASEMENT LINE	---	ST	EXISTING STORM SEWER
---	PROPOSED BUILDING FOOTPRINT	---	WAT	EXISTING WATER MAIN
---	EDGE OF PAVEMENT	---	E	EXISTING ELECTRIC
---	STANDARD CURB AND GUTTER	---	SAN	SANITARY SEWER
---	REJECT CURB AND GUTTER	---	ST	STORM SEWER
---	PROPOSED CONCRETE	---	E	ELECTRIC
---	PROPOSED ASPHALT PAVEMENT-STANDARD DUTY	---	G	GAS
---	PROPOSED ASPHALT PAVEMENT-HEAVY DUTY			

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PLANT SCHEDULE

QTY	COMMON NAME	BOTANICAL NAME	CONT.	SIZE	LS POINTS
1	Crab Apple	<i>Malus x 'Adams'</i>	B & B	1.5" Cal	15
3	Eastern Cottonwood Slaukland	<i>Populus deltoides 'Slaukland'</i>	B & B	2.5" Cal	35
6	Upright Yew	<i>Taxus cuspidata 'Capitata'</i>	B & B	3-4' Ht.	18
15	Holmstrup Cedar	<i>Thuja occidentalis 'Holmstrup'</i>	B & B	3-4' Ht.	18
14	Engelmann Ivy	<i>Parietaria angustifolia 'Engelmanni'</i>	3 gal	Min. 12"-24"	3
38	Grass-Low Sumac	<i>Rhus aromatica 'Grass-Low'</i>	3 gal	Min. 12"-24"	3
12	Tauton Yew	<i>Taxus x media 'Tautoni'</i>	3 gal	Min. 12"-24"	4
23	Autumn Red Flame Grass	<i>Miscanthus purpurascens 'Autumn Red'</i>	1 gal	Min. 8"-18"	2
21	Northwind Switch Grass	<i>Panicum virgatum 'North Wind'</i>	1 gal	Min. 8"-18"	2
9	Russian Sage	<i>Perovskia atriplicifolia</i>	1 gal	Min. 8"-18"	2

Notes: _____

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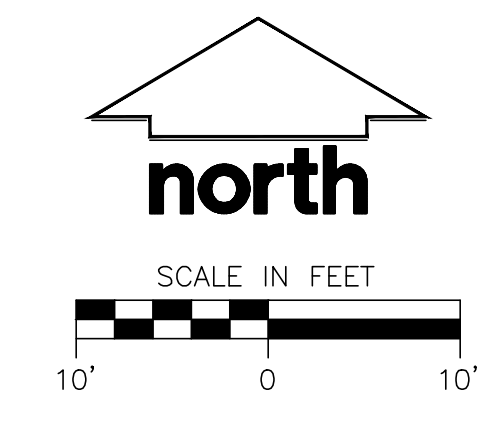
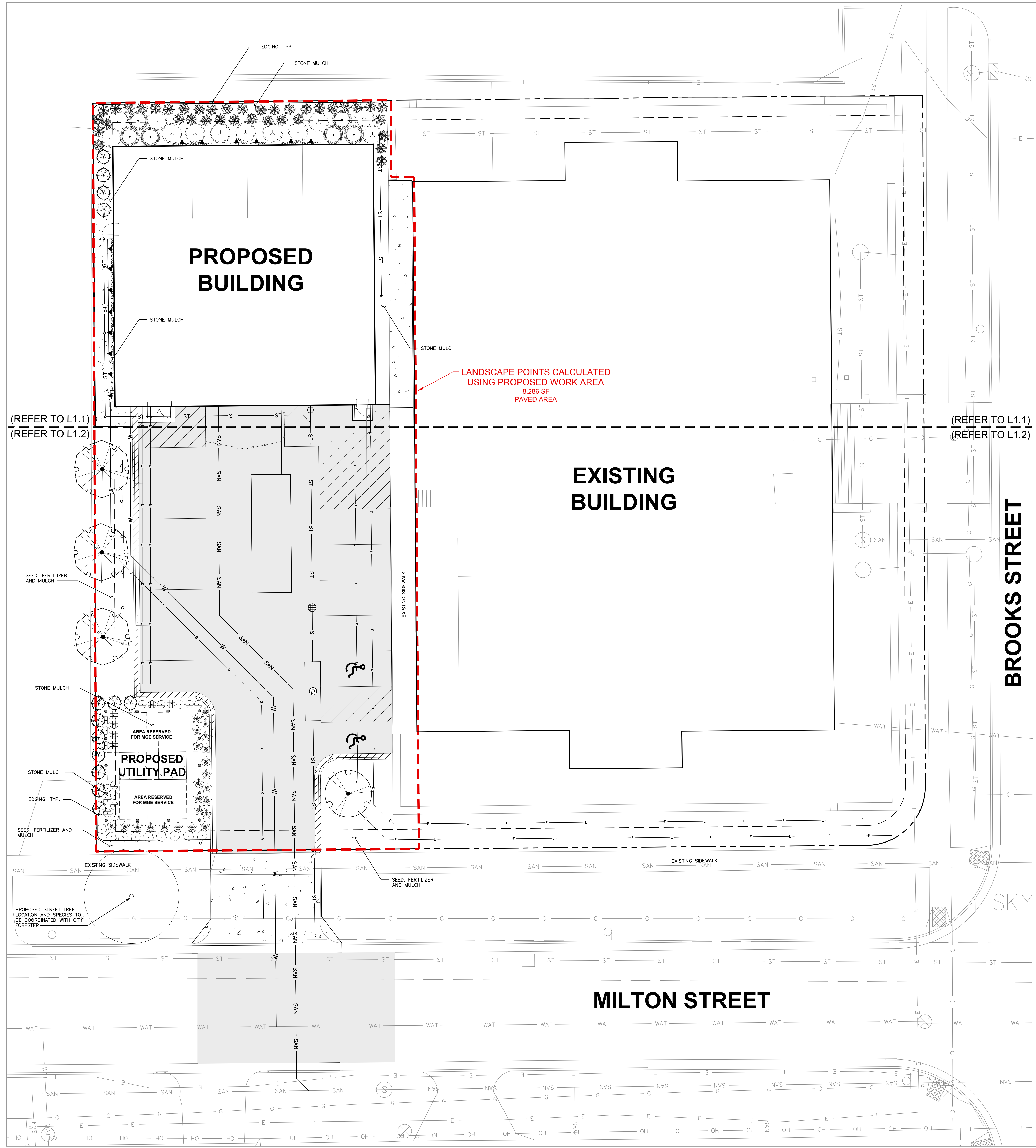
36 SOUTH BROOKS STREET
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LANDSCAPE PLAN

L100

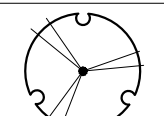
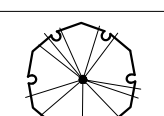
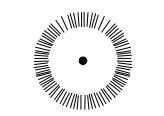
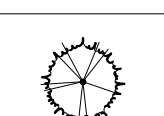
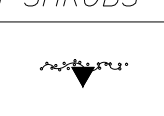
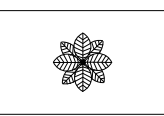
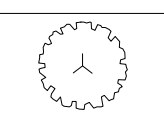
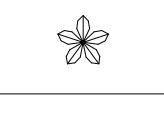
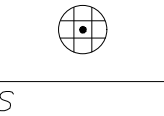



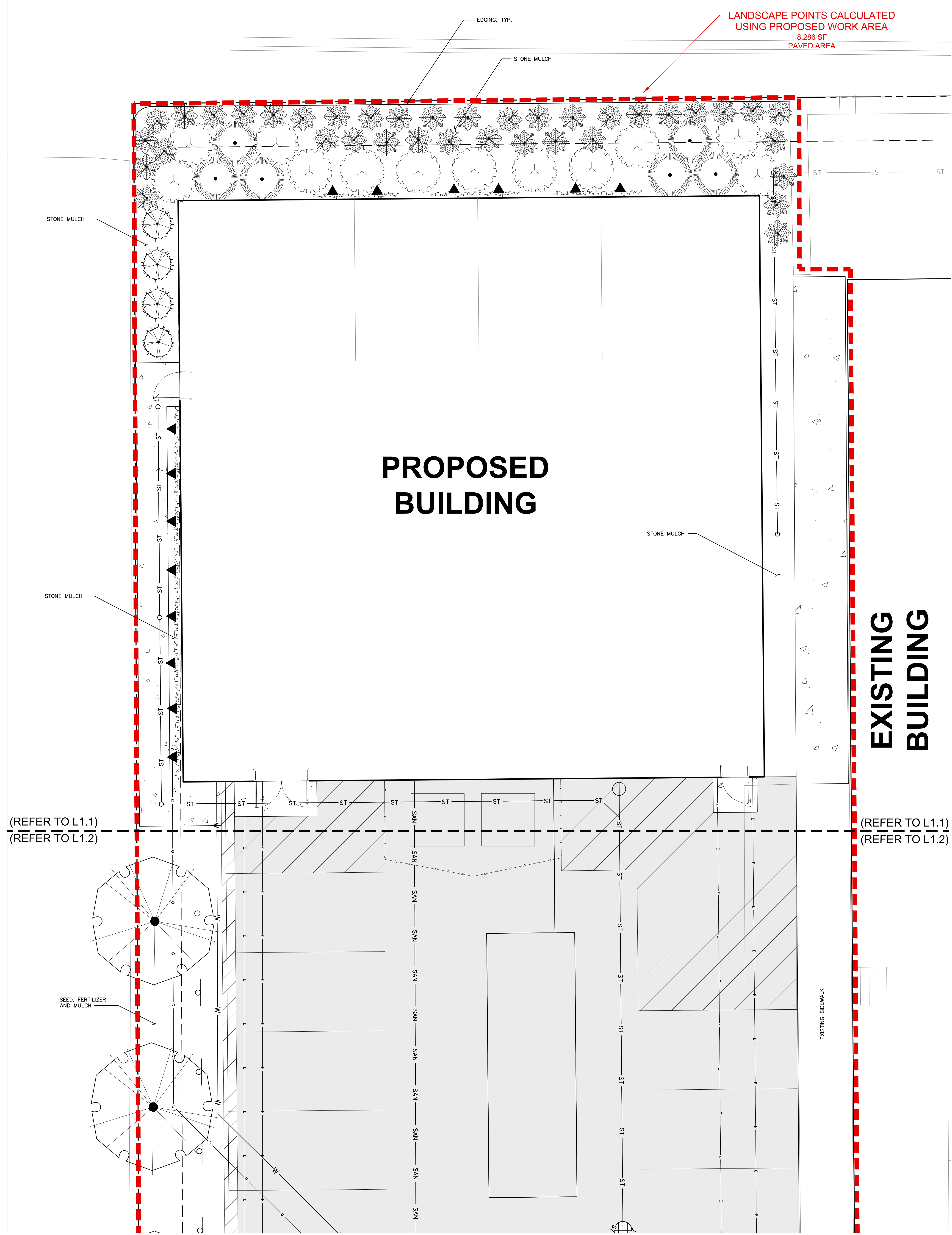
LEGEND

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---	RIGHT-OF-WAY	---	G	EXISTING GAS MAIN
---	EASEMENT LINE	---	ST	EXISTING STORM SEWER
---	PROPOSED BUILDING FOOTPRINT	---	WAT	EXISTING WATER MAIN
---	EDGE OF PAVEMENT	---	E	EXISTING ELECTRIC
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PLANT SCHEDULE

ORNAIMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	1	Crab Apple	Malus x 'Adams'	B & B	1.5" Cal	15
OVERSTORY DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	3	Eastern Cottonwood	Populus deltoides 'Siouxland'	B & B	2.5" Cal	35
UPRIGHT EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	6	Upright Yew	Taxus cuspidata 'Capitata'	B & B	3-4' Ht.	10
	13	Halmstrup Cedar	Thuja occidentalis 'Halmstrup'	B & B	3-4' Ht.	10
DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	14	Engelman Ivy	Parthenocissus quinquefolia 'Engelmannii'	3 gal	Min. 12"-24"	3
	38	Gra-Low Sumac	Rhus aromatica 'Gra-Low'	3 gal	Min. 12"-24"	3
EVERGREEN SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	12	Tauton Yew	Taxus x media 'Tautonii'	3 gal	Min. 12"-24"	4
ORNAIMENTAL GRASSES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	23	Autumn Red Flame Grass	Miscanthus purpurascens 'Autumn Red'	1 gal	Min. 8"-18"	2
	21	Northwind Switch Grass	Panicum virgatum 'North Wind'	1 gal	Min. 8"-18"	2
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	9	Russian Sage	Perovskia atriplicifolia	1 gal	Min. 8"-18"	2



Notes: _____

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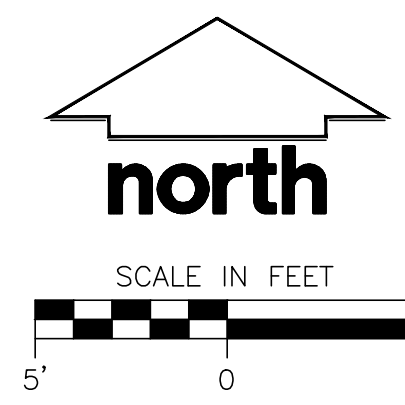
EMERGENCY POWER FACILITY
UNITY POINT HEALTH - MERITER

36 SOUTH BROOKS STREET
MADISON, WISCONSIN

2017.14.00

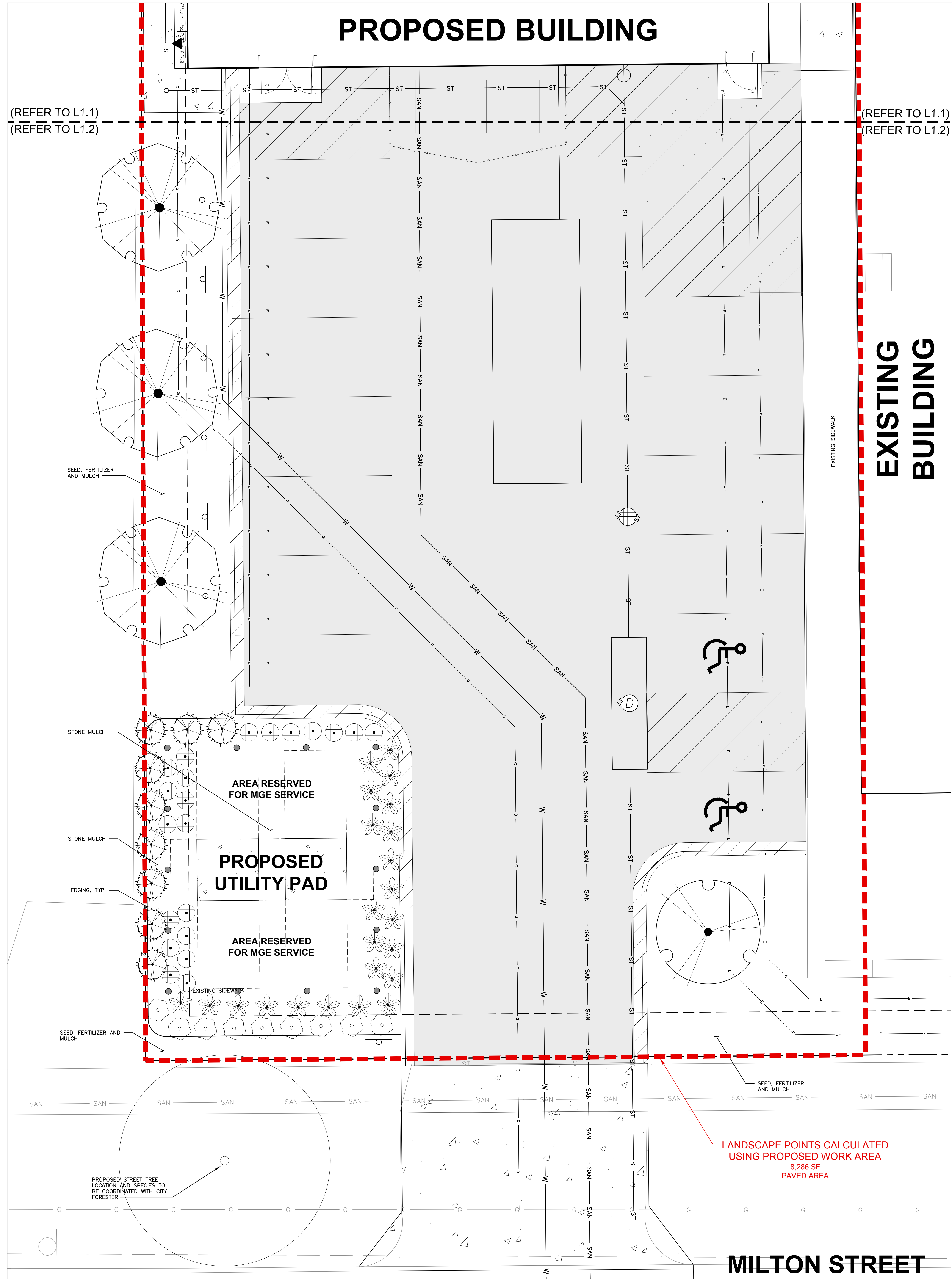
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09/20/17	Land Use Submittal	

LANDSCAPE PLAN



PROPOSED BUILDING

(REFER TO L1.1)
(REFER TO L1.2)



(REFER TO L1.1)
(REFER TO L1.2)

LEGEND

---	PROPERTY LINE	---	SAN	EXISTING SANITARY SEWER
- - -	RIGHT-OF-WAY	---	G	EXISTING GAS MAIN
- · - · -	EASEMENT LINE	---	ST	EXISTING STORM SEWER
▭	PROPOSED BUILDING FOOTPRINT	---	WAT	EXISTING WATER MAIN
▭	EDGE OF PAVEMENT	---	E	EXISTING ELECTRIC
▭	STANDARD CURB AND GUTTER	---	SAN	SANITARY SEWER
▭	REJECT CURB AND GUTTER	---	ST	STORM SEWER
▭	PROPOSED CONCRETE	---	W	WATER
▭	PROPOSED ASPHALT PAVEMENT-STANDARD DUTY	---	E	ELECTRIC
▭	PROPOSED ASPHALT PAVEMENT-HEAVY DUTY	---	G	GAS

- GENERAL NOTES:**
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
 - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
 - THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
 - REFER TO SHEET L200 FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN.

PLANT SCHEDULE

ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	1	Crab Apple	Malus x 'Adams'	B & B	1.5" Cal	15
OVERSTORY DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	3	Eastern Cottonwood	Populus deltoides 'Siouxland'	B & B	2.5" Cal	35
UPRIGHT EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	6	Upright Yew	Taxus cuspidata 'Capitata'	B & B	3-4' Ht.	10
	13	Halmstrup Cedar	Thuja occidentalis 'Halmstrup'	B & B	3-4' Ht.	10
DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	14	Engelman Ivy	Parthenocissus quinquefolia 'Engelmannii'	3 gal	Min. 12"-24"	3
	38	Gro-Low Sumac	Rhus aromatica 'Gro-Low'	3 gal	Min. 12"-24"	3
EVERGREEN SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	12	Tauton Yew	Taxus x media 'Tautonii'	3 gal	Min. 12"-24"	4
ORNAMENTAL GRASSES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	23	Autumn Red Flame Grass	Miscanthus purpurascens 'Autumn Red'	1 gal	Min. 8"-18"	2
	21	Northwind Switch Grass	Panicum virgatum 'North Wind'	1 gal	Min. 8"-18"	2
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	9	Russian Sage	Ferovskia atriplicifolia	1 gal	Min. 8"-18"	2

Notes: _____

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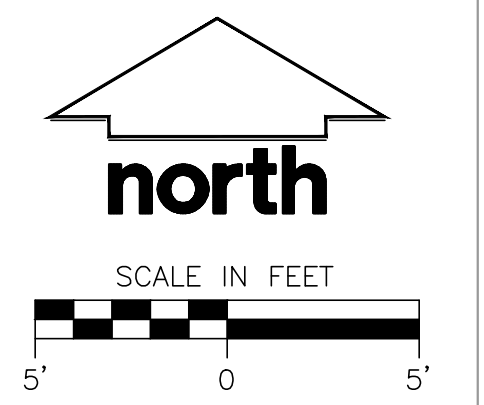
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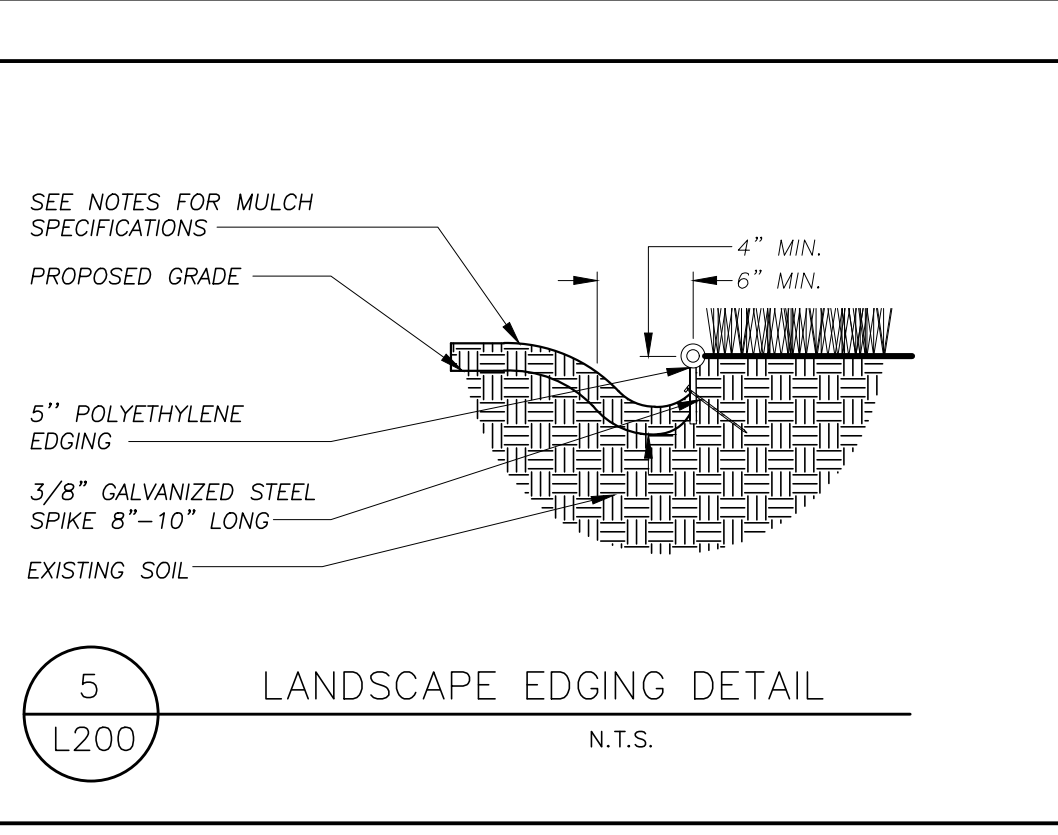
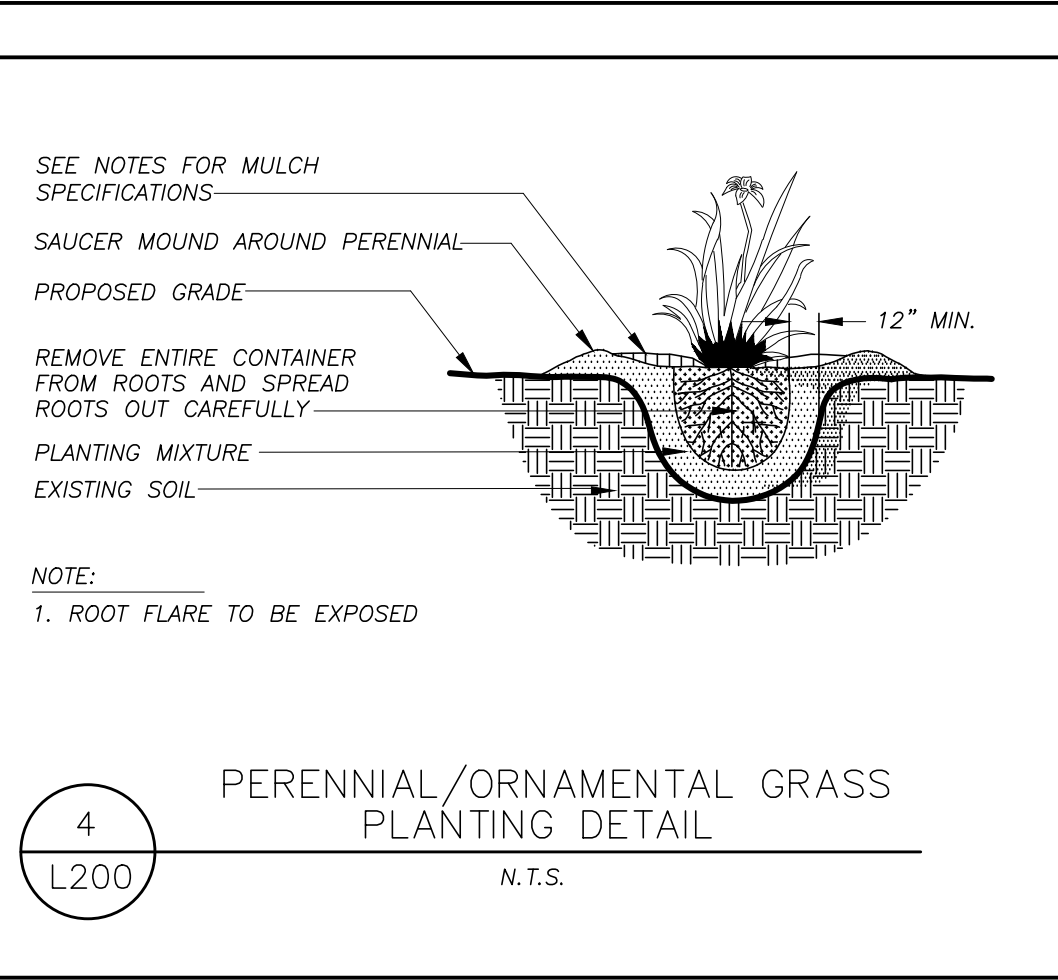
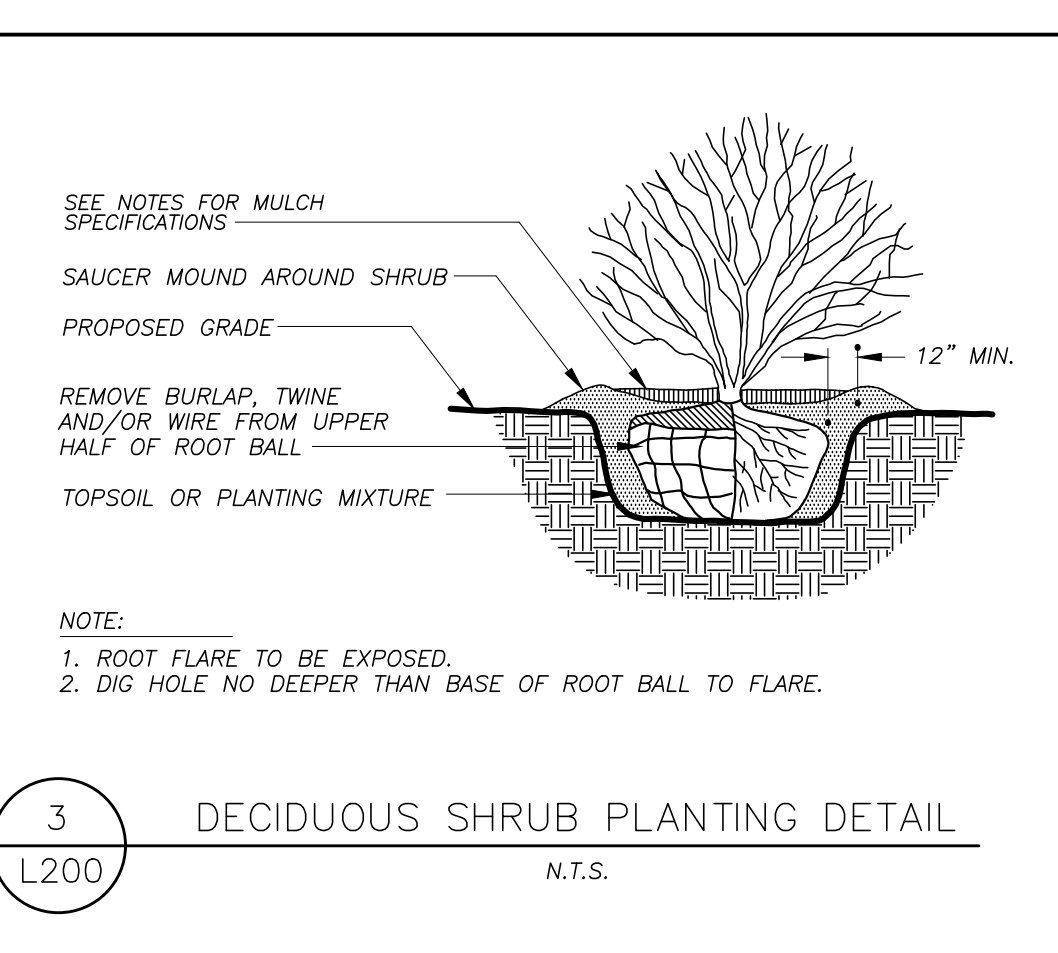
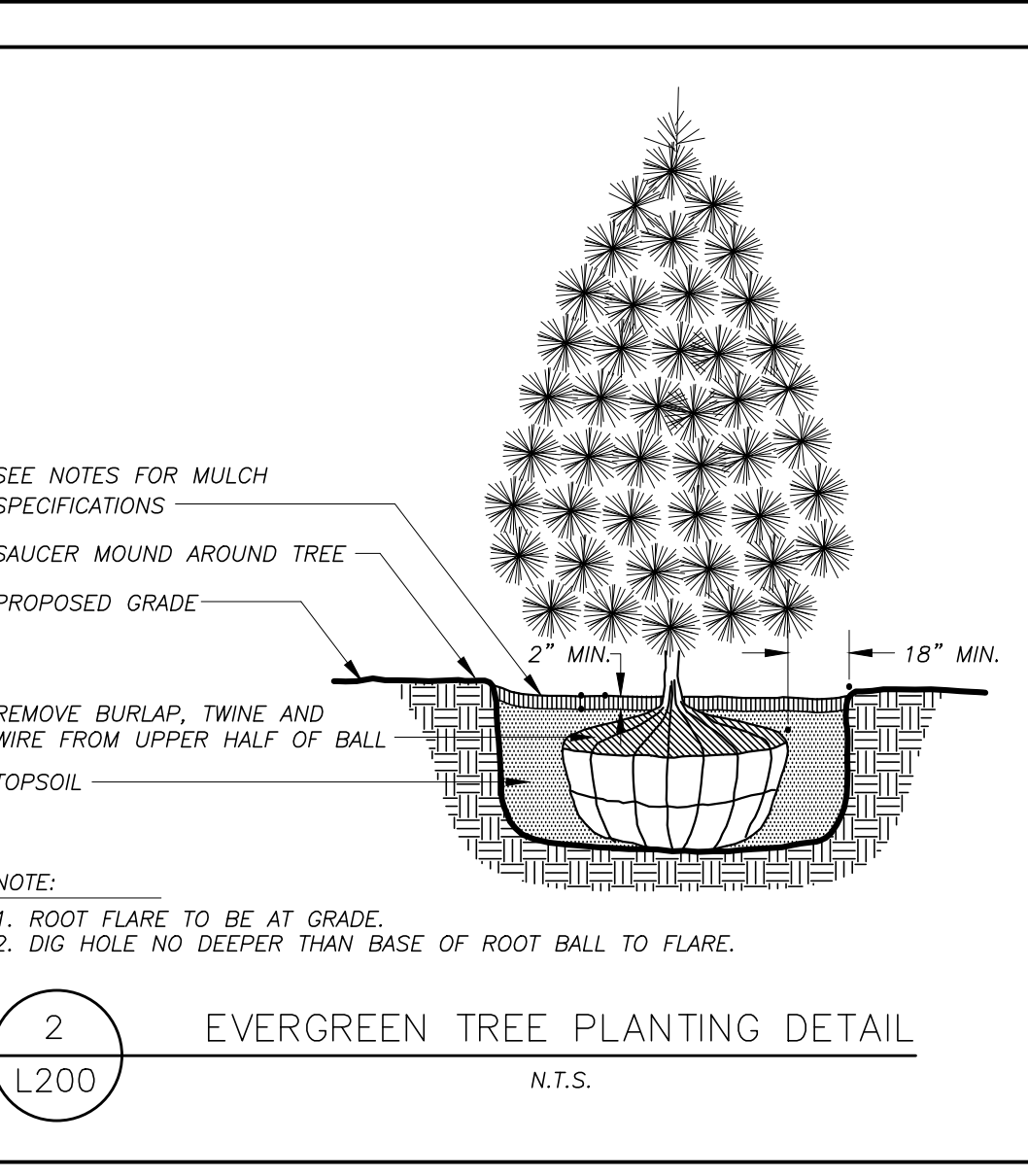
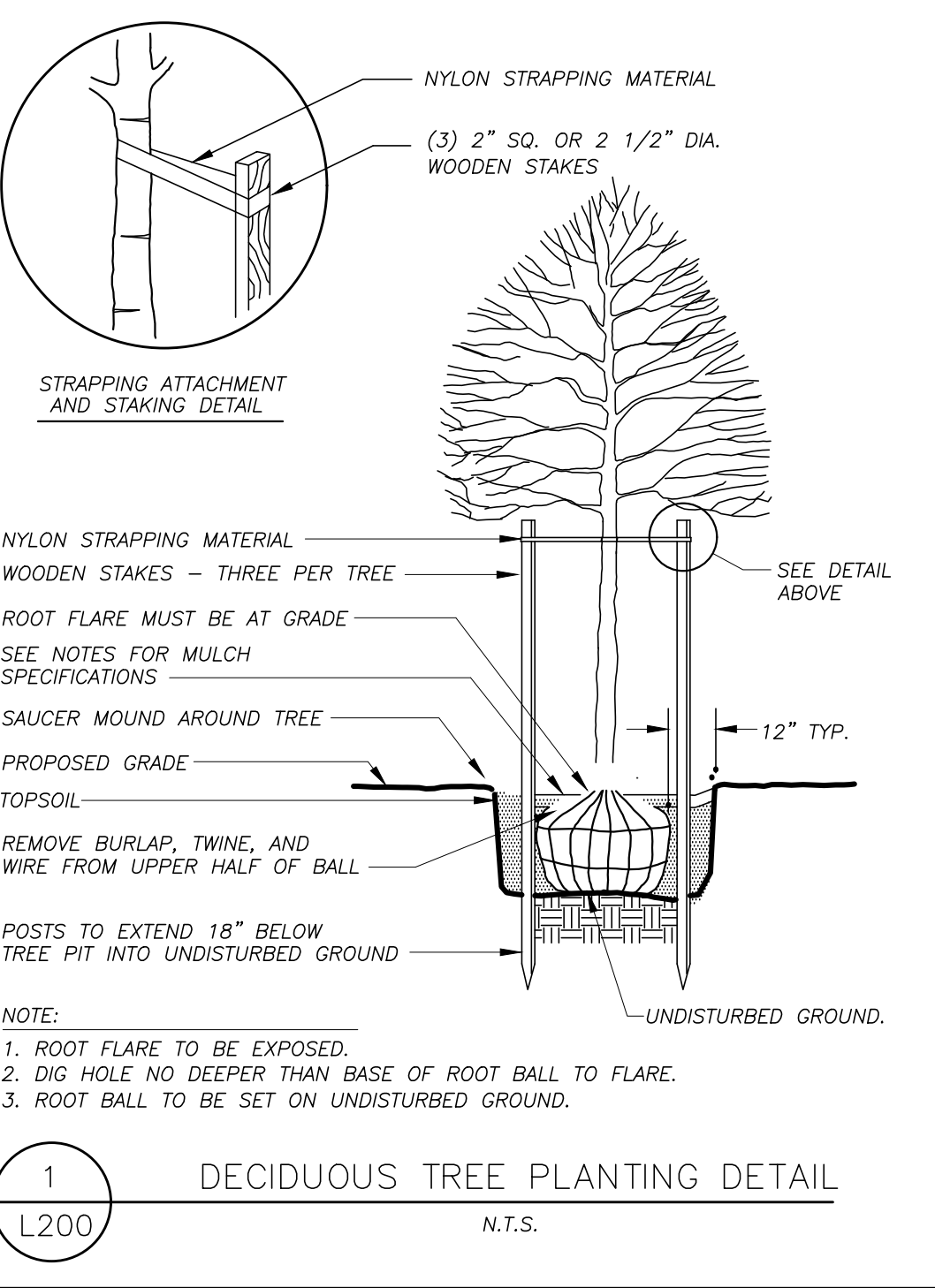
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LANDSCAPE PLAN



MILTON STREET

LANDSCAPE POINTS CALCULATED
USING PROPOSED WORK AREA
8,286 SF
PAVED AREA



GENERAL NOTES

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC SAFETY HAZARD. UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.

LANDSCAPE MATERIAL NOTES

- MATERIALS - SOIL: PLANTING SOIL SHALL MEET THESE REQUIREMENTS:
 - PLANTING AREAS = 24"
 - TREE PITS = SEE DETAILS
- PLANTING SOIL TO BE A MINIMUM 24" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A PH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST
- MATERIALS - NUTRI-PAK: ALL TREES AND SHRUBS SHALL RECEIVE "NUTRI-PAK, 3-YEAR TIME RELEASE FERTILIZER PACKETS" FOR "TREES, SHRUBS AND EVERGREENS" WITH A NUTRIENT FORMULATION OF 16-8-8. INSTALL PACKETS PER PRODUCT MANUFACTURER'S RECOMMENDATIONS AND IN THE QUANTITIES RECOMMENDED.
- MATERIALS - STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE DECORATIVE STONE MULCH SPREAD TO A CONSISTENT DEPTH OF THREE INCHES OVER ENTIRE PLANTING AREA. DECORATIVE STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 5' DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 4 INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO FINISHED INSTALLATION OF TREE RING.
- MATERIALS - EDGING: EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- MATERIALS - SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL BE SPREAD BY HAND BROADCAST METHOD OR APPROPRIATE SPREADER EQUIPMENT WITH EARTH CARPET'S "MADISON PARKS" OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.

CONTRACTOR AND OWNER RESPONSIBILITY NOTES

- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AREAS AND SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



**CITY OF MADISON
LANDSCAPE WORKSHEET**
Section 28.142 Madison General Ordinance

Project Location / Address MILTON STREET, MADISON, WI
 Name of Project EMERGENCY POWER FACILITY - UNITY POINT MERITER
 Owner / Contact KEVIN YESKA - LANDSCAPE DESIGNER
 Contact Phone 608.848.5060 Contact Email KEVIN.YESKA@JSDINC.COM

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. ****

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- No demolition of a principal building is involved.
- Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area	8,286
Total landscape points required	138
- For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area	
Five (5) acres =	217,800 square feet
First five (5) developed acres =	3,630 points
Remainder of developed area	
Total landscape points required	
- For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area	
Total landscape points required	

10/2013

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35			3	105
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15			1	15
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10			19	190
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			52	156
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			12	48
Ornamental grasses/perennials	#1 gallon container size, Min. 8"-18"	2			53	106
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
Sub Totals						620

Total Number of Points Provided 620

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

Notes: _____

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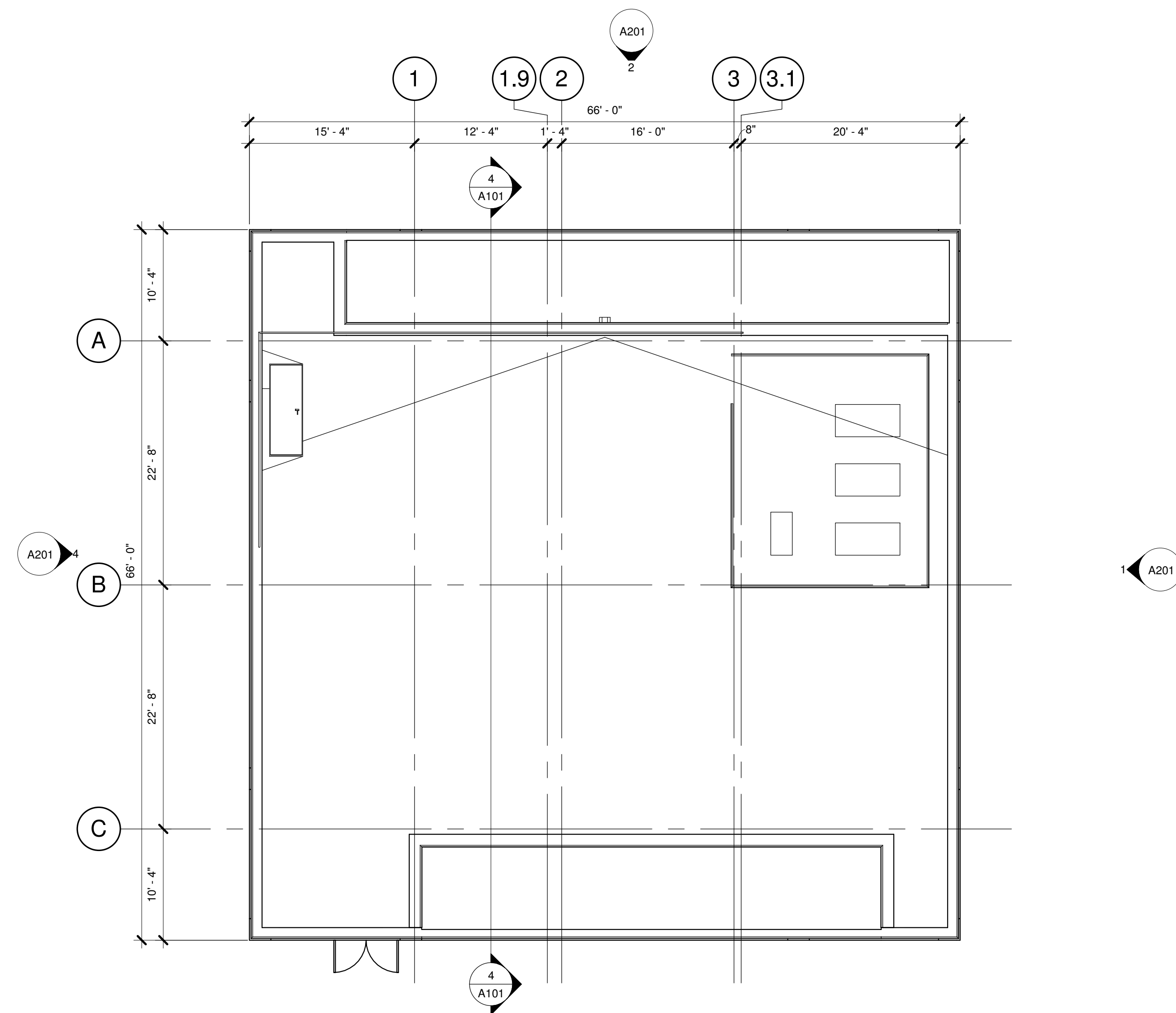
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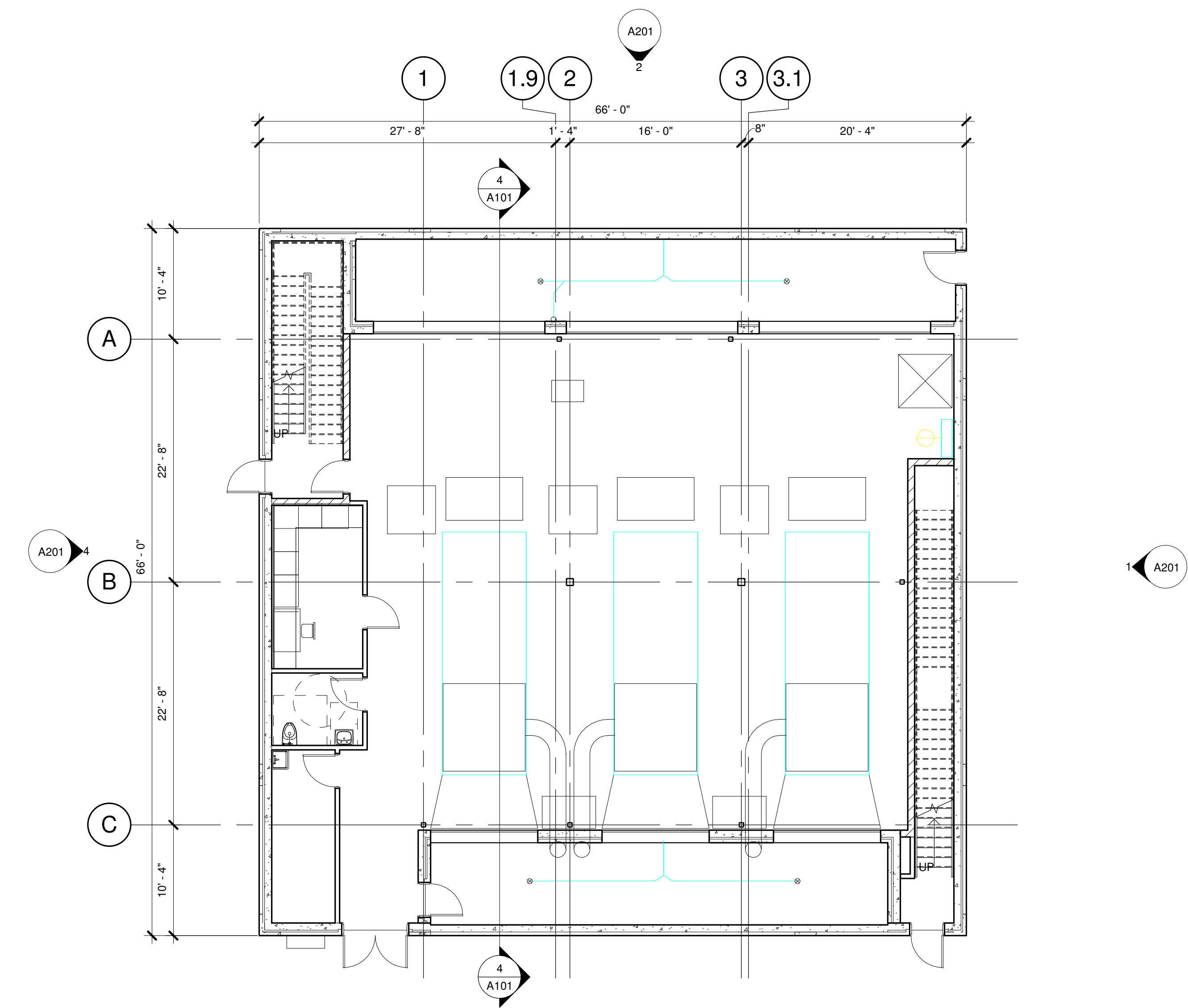
LANDSCAPE DETAILS AND NOTES

L200

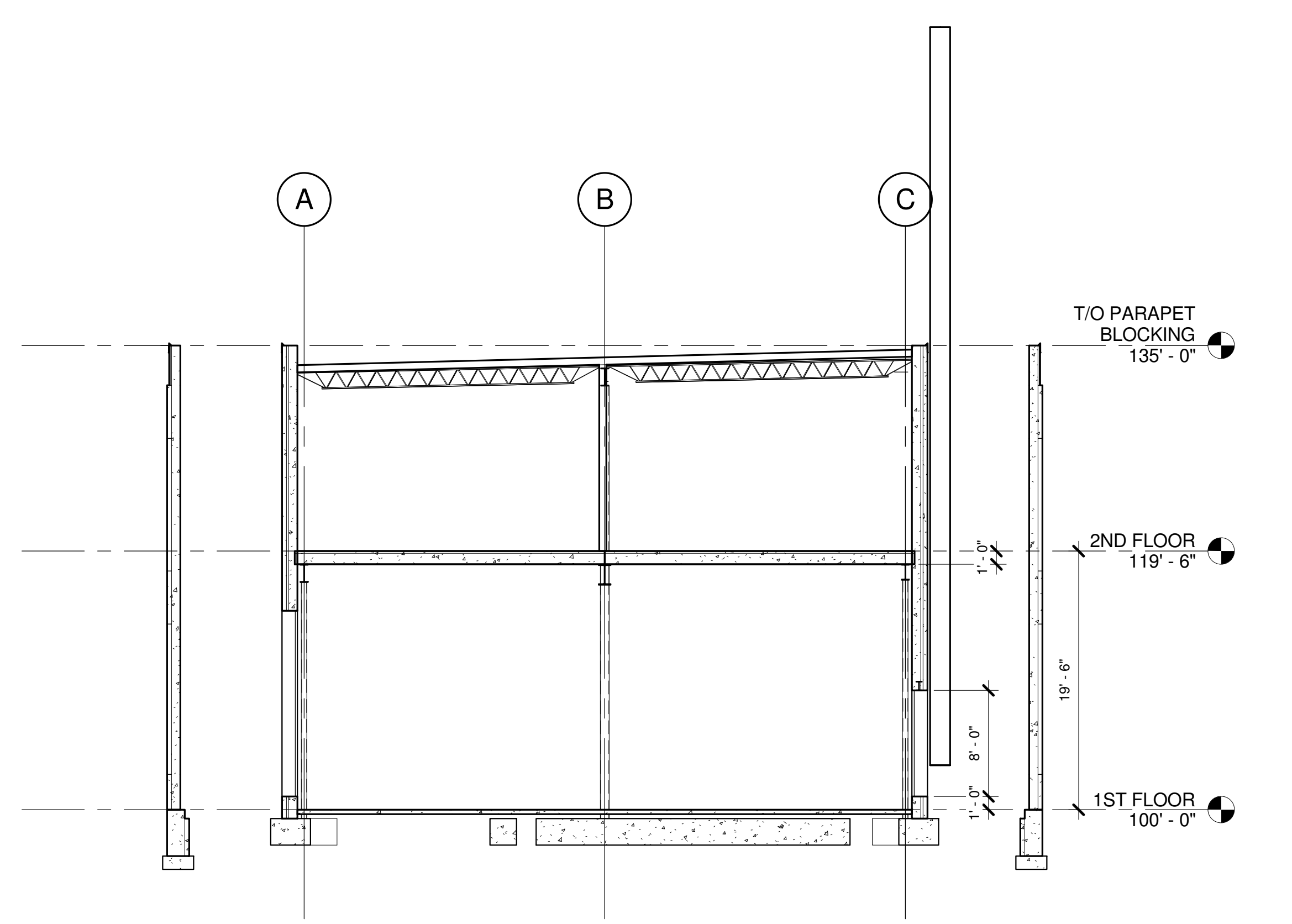
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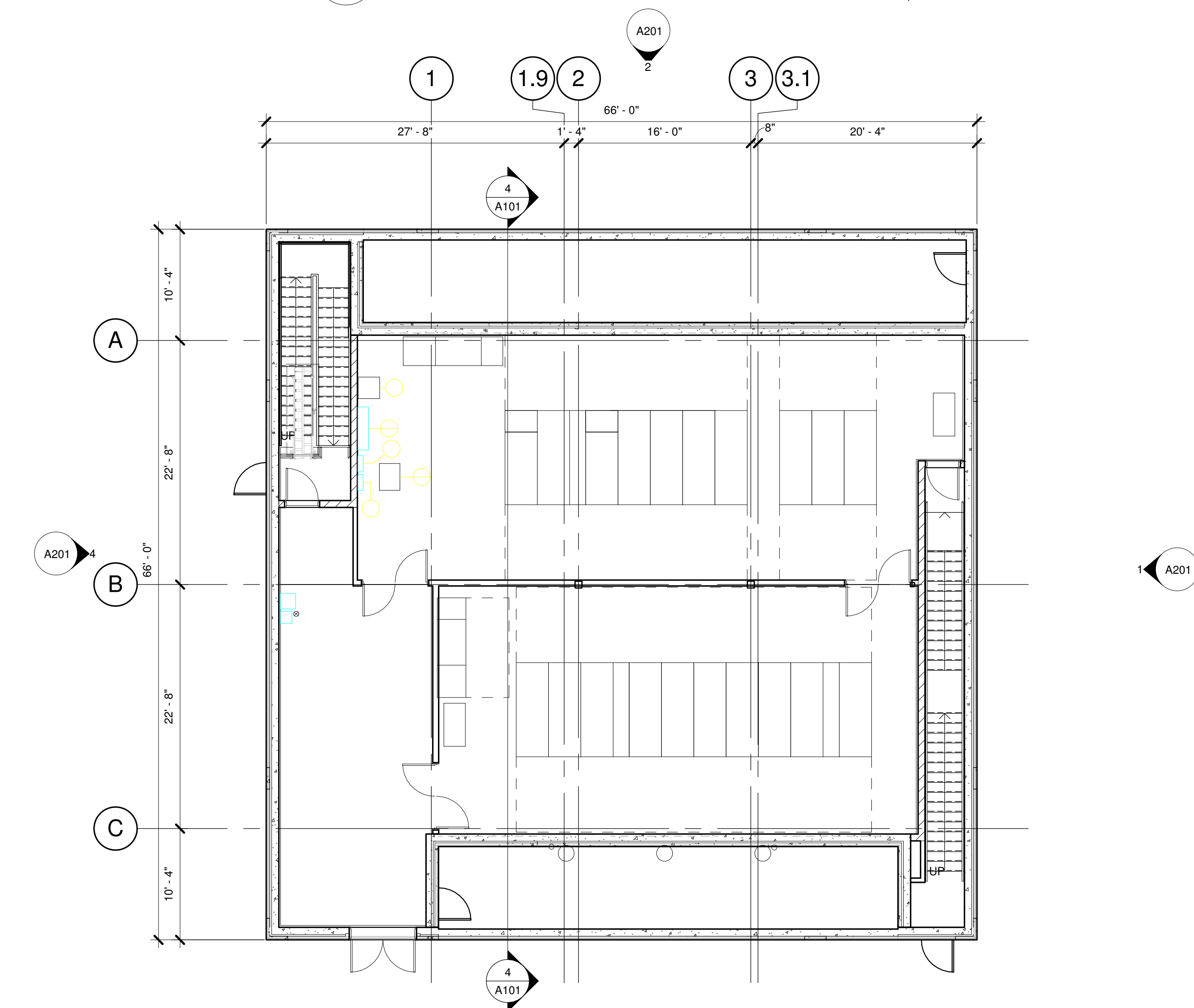
3 ROOF PLAN
A101 1/8" = 1'-0"



1 FIRST FLOOR PLAN
A101 1/8" = 1'-0"



4 BUILDING SECTION
A101 1/8" = 1'-0"



2 SECOND FLOOR PLAN
A101 1/8" = 1'-0"

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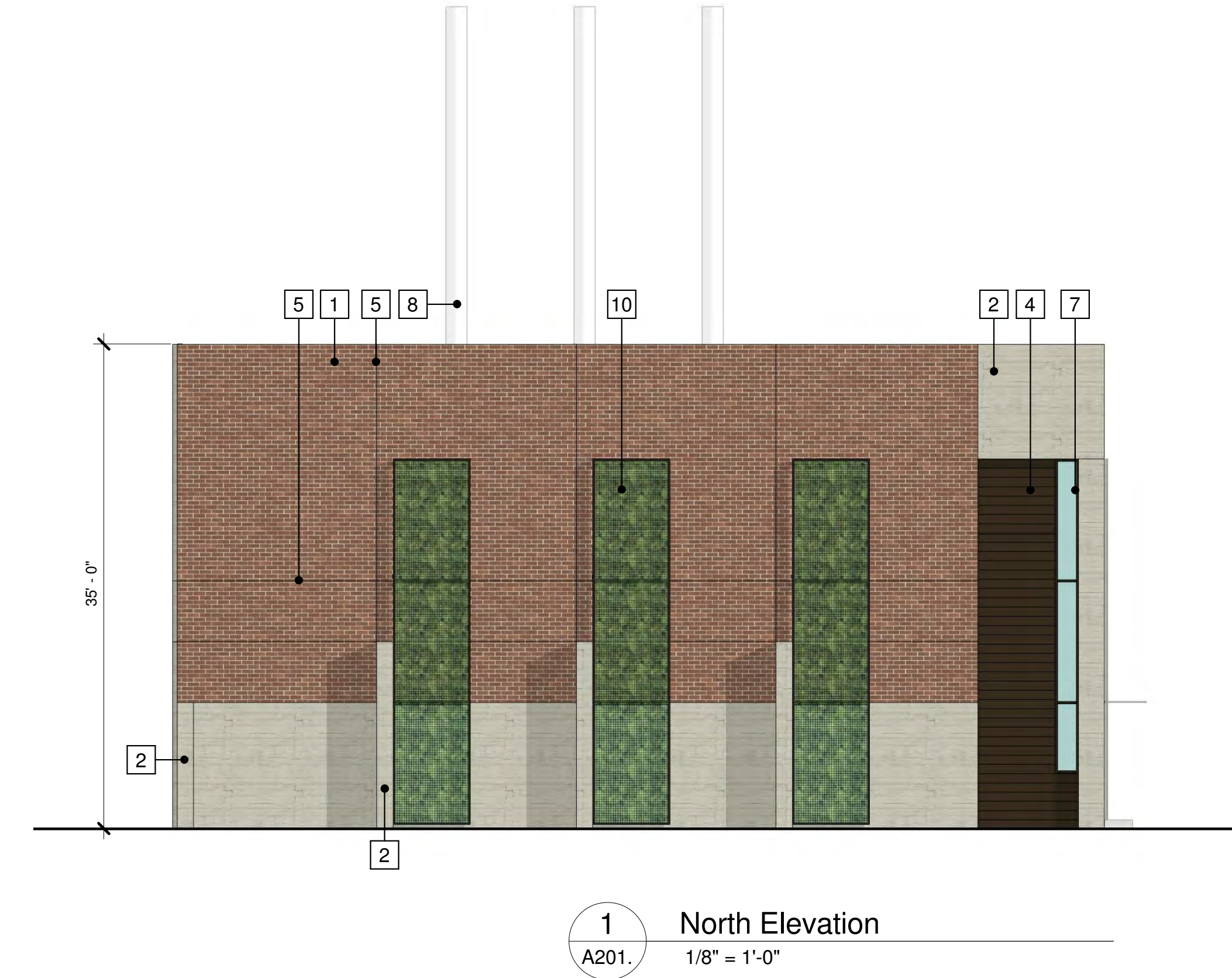
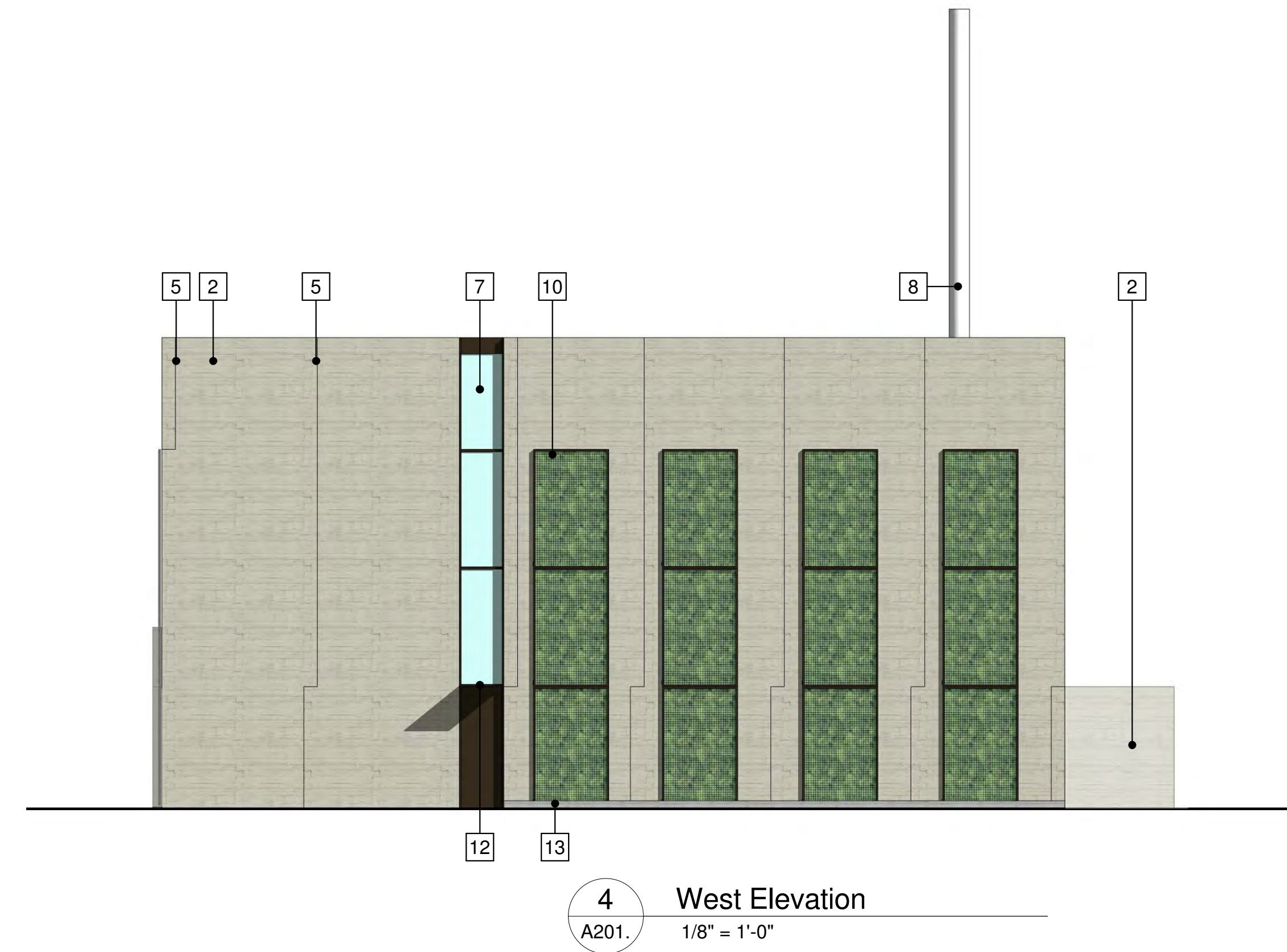
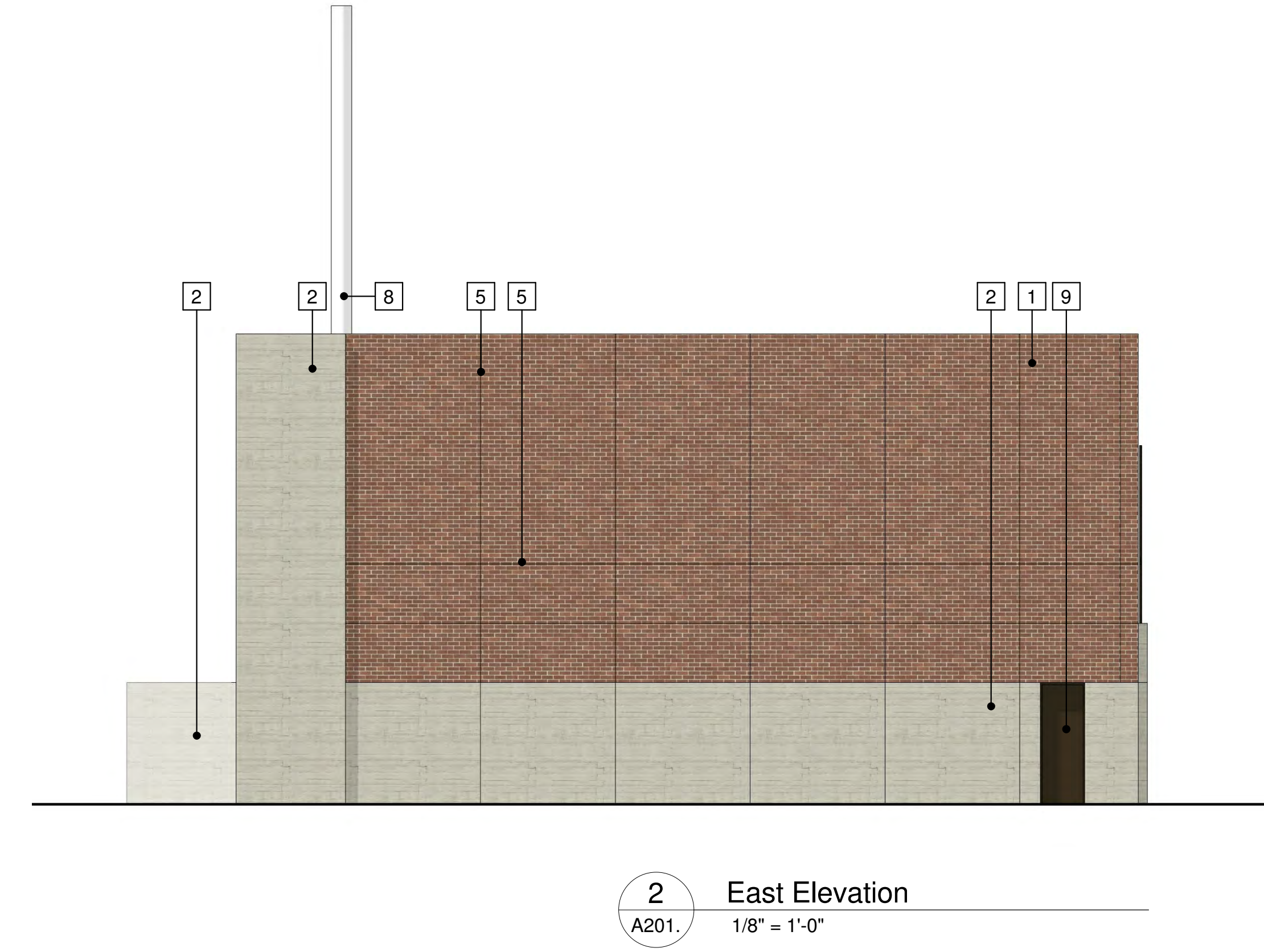
EMERGENCY POWER FACILITY
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MADISON, WI

2017.14.00

Date	Issuance/Revisions	Symbol
06/27/17	Progress Set	
06/29/17	Land Use Submittal	

**Floor Plans &
Building Section**

A101



Notes:

ELEVATION KEYNOTES:

- 1 THIN BRICK CAST INTO PRECAST CONCRETE PANEL - OLD COLONIAL MODULAR
- 2 PRECAST CONCRETE PANEL - BOARD-FORMED CONCRETE PATTERN
- 3 PRECAST CONCRETE PANEL - SANDBLASTED
- 4 ANODIZED FLAT-LOCK METAL PANEL - MEDIUM BRONZE
- 5 PANEL JOINT
- 6 -
- 7 ANODIZED ALUMINUM WINDOW-WALL GLAZING/ ENTRY SYSTEM - MEDIUM BRONZE
- 8 GENERATOR STACK
- 9 HOLLOW METAL DOOR/ FRAME - MEDIUM BRONZE
- 10 GALVANIZED, PRIMED AND PAINTED STEEL WIRE MESH FRAME/ GREEN WALL
- 11 COMPOSITE WOOD SLAT GATE
- 12 STEEL AWNING - GALVANIZED, PRIMED AND PAINTED - MEDIUM BRONZE
- 13 PLANTING BED W/ RAISED CONCRETE BOARDER

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Perspectives

A202.



LIGHT FIXTURE SCHEDULE														SEE NOTE					
FIXTURE ID	DESCRIPTION	TYPE	NO.	LIGHT SOURCE			BALLASTS/DRIVERS			INPUT WATTS	VOLT	MOUNT	SURFACE TYPE	DEPTH	FIXTURE SPECIFICATION AND ACCEPTABLE MANUFACTURERS		OPTIONS		
				DESCRIPTION	WATTS	K	CR1 (MIN.)	TYPE	CONTROL						NO.	MANUFACTURER			CATALOG SERIES
CD	16 X 6.5 WALL MOUNTED LIGHT TYPE T4FT DISTRIBUTION	LED	-	12,500 DELIVERED LUMENS	113	4000	70	DR	ON / OFF	1	113	MVOLT	S	W	-	MCGRAW-EDISON CAMPUS STANDARD	GWC	28	1
OE	16 X 6.5 WALL MOUNTED LIGHT TYPE SL4 DISTRIBUTION	LED	-	4,000 DELIVERED LUMENS	34	4000	70	DR	ON / OFF	1	34	MVOLT	S	W	-	MCGRAW-EDISON CAMPUS STANDARD	GWC	28	2
OF	16 X 6.5 WALL MOUNTED LIGHT TYPE SL2 DISTRIBUTION	LED	-	4,000 DELIVERED LUMENS	34	4000	70	DR	ON / OFF	1	34	MVOLT	S	W	-	MCGRAW-EDISON CAMPUS STANDARD	GWC	28	2

NOTE:
SEE SPECIFICATION SECTIONS 26 50 00 FOR ADDITIONAL INFORMATION REGARDING LIGHTING FIXTURE AND INSTALLATION REQUIREMENTS. PROVIDE OPTIONS AND ACCESSORIES REFERENCED BY THE COLUMN TITLED "OPTIONS".
MANUFACTURERS AS ACCEPTABLE SHALL MEET ALL REQUIREMENTS AND FEATURES INDICATED. ACCEPTABLE MANUFACTURERS MUST MEET THE PHOTOMETRIC PERFORMANCE OF THE LISTED UNIT.

ABBREVIATIONS:

AR = AS REQUIRED	DR = DRIVER	GRD = GRADE	PO = PENDANT	SUSP = SUSPENDED
BL = BI-LEVEL SWITCHING	DW = DRYWALL	H = HID	PL = PLASTER	SW = SWITCHING
CAB = CABINET	ELV = ELECTRONIC LOW VOLTAGE DIMMING	HAL = HALOGEN	PS = PULSE START	T = CERAMIC GLASS TILE
CL = CLEAR	EM = EMERGENCY	HBF = HIGH BALLAST FACTOR	R = RECESS	TV = TUNABLE WHITE LED
DALI = ADDRESSABLE DIMMING <1-100%	ES = EXPOSED STRUCTURE	I = INCANDESCENT	RGB = RED, GREEN, BLUE LEDES	V = VARIES
DM0 = LED DIMMING 0-10V, 0-100%	ET = ELECTRONIC BALLAST	LBF = LOW BALLAST FACTOR	RM = REMOTE	W = WALL MOUNTED
DM1 = LED DIMMING 0-10V, 1-100%	F = FLUORESCENT	LG = LAY-IN GRID	S = SURFACE	WO = WOOD
DM5 = LED DIMMING 0-10V, 5-100%	FD1 = FLUORESCENT DIMMING 1-100%	MLV = MAGNETIC LOW VOLTAGE DIMMING	SPEC = SPECIAL	XFMR = TRANSFORMER
DM10 = LED DIMMING 0-10V, 10-100%	FDS = FLUORESCENT DIMMING 5-100%	NBF = NORMAL BALLAST FACTOR	ST = STANDARD	
DMX = DIM TO WARM LED	FD10 = FLUORESCENT DIMMING 10-100%	OT = OTHER	STN = STONE	

OPTIONS:

1 = POST PAINTED FINISH	21 = FURNISH WITH AIR HANDLING CAPABILITY	41 = MATTE DIFFUSE LOW IRESCENT REFL.	61 = FURNISH WITH UNIVERSAL ARROWS AND RED OR GREEN STENCIL FACE
2 = REGRESSED ALUMINUM DOOR FRAME	22 = FURNISH WITH WIRE GUARD	42 = FURNISH WITH SYMMETRICAL REFLECTOR	62 = FURNISH WITH FIELD ADJUSTABLE CHEVRONS
3 = FLAT STEEL DOOR FRAME	23 = FURNISH WITH ENDCAPS	43 = FURNISH WITH ASYMMETRICAL REFLECTOR	63 = FURNISH WITH MIRRORRED BACKGROUND
4 = FLAT ALUMINUM DOOR FRAME - MITERED CORNERS	24 = FURNISH IN LENGTH AS SHOWN	44 = FURNISH WITH TOP AND BOTTOM LENS	64 = FURNISH WITH INTEGRAL BATTERY
5 = STAINLESS STEEL TRIM AND DOOR FRAME	25 = FURNISH WITH SOLID FRONT	45 = FURNISH WITH LOUVER	65 = FURNISH WITH INTEGRAL HIGH CAPACITY BATTERY (FOR REMOTE HEADS)
6 = FURNISH WITH SPRING LOADED LATCHES	26 = FURNISH WITH DUST COVER	46 = FURNISH WITH PERFORATED DIFFUSER	66 = FURNISH WITH SELF-DIAGNOSTICS
7 = FURNISH WITH HINGED DOOR	27 = CUSTOM FINISH - SELECTION TBD	47 = FURNISH WITH EGGOGRATE LOUVER	67 = FURNISH WITH AUXILIARY EMERGENCY BATTERY BALLAST/DRIVER
8 = DAMP LOCATION CONSTRUCTION	28 = STANDARD FINISH - SELECTION TBD	48 = FURNISH WITH SOFTENING LENS	68 = SPARE
9 = WET LOCATION CONSTRUCTION	29 = FURNISH WITH HOUSE SIDE SHIELD	49 = FURNISH WITH PRISMATIC LENS	69 = SPARE
10 = IP65 RATING	30 = SPARE	50 = FURNISH WITH LINEAR SPREAD LENS	70 = SPARE
11 = IP66 RATING	31 = SPARE	51 = FURNISH WITH SPREAD LENS	71 = FURNISH WITH ANTI-MICROBIAL FINISH
12 = IP67 RATING	32 = SPARE	52 = CERTIFIED FOR MIL-STD461F	72 = FURNISH WITH RFR NOISE SUPPRESSORS (ADVANCE RIF-1) FOR EACH DRIVER
13 = NEMA 4X RATED	33 = FURNISH WITH CHAIN MOUNTING	53 = SPARE	73 = FURNISH WITH ACRYLIC LENS WITH INTEGRAL RFI SHIELDING
14 = IC RATING	34 = FURNISH WITH RIGID STEM MOUNTING	54 = FURNISH WITH ROCKER SWITCH	74 = FURNISH WITH INTEGRAL AC LENS WITH INTEGRAL RFI SHIELDING
15 = ADA COMPLIANT	35 = FURNISH WITH SWIVEL CANOPY	55 = FURNISH WITH INTEGRAL OCC. SENSOR	75 = FURNISH WITH LOW VOLTAGE CONTROL (LVC)
16 = DOUBLE GASKETED-LENS TO TRIM TO CEILING	36 = FURNISH WITH ADJUSTABLE AIRCRAFT CABLE MOUNTING	56 = FURNISH WITH INTEGRAL DAYLIGHT SENSOR	76 = SPARE
17 = TRIPLE GASKETED-LENS TO DOOR TO HOUSING TO CEILING	37 = FURNISH WITH ADJUSTABLE MOUNTING HARDWARE	57 = FURNISH WITH INTEGRAL PHOTOCCELL	77 = SPARE
18 = FURNISH WITH TAMPER RESISTANT HARDWARE	38 = FURNISH WITH MANUFACTURER'S CUSTOM JUNCTION BOX	58 = FURNISH WITH REMOTE DRIVER	78 = SPARE
19 = SPARE	39 = FURNISH WITH RECESSED SLOPE ADAPTER	59 = SPARE	79 = SPARE
20 = SPARE	40 = SPARE	60 = SPARE	80 = SPARE

GENERAL NOTES:

- VERIFY CEILING T-BAR WIDTH (I.E., 9/16", 15/16", 1.5") WITH THE ARCHITECT/INTERIORS SPECIFICATION PRIOR TO ORDERING LAY-IN FIXTURES.
- IN ALL INSULATED OR FIRE RATED CEILING, THE EC SHALL BE RESPONSIBLE FOR THE PROPER TENTING (OR FIRE BOXING) OF THE RECESSED FIXTURES. FOR PREFAB PRODUCTS REFER TO TENMAT OR SPECIALTY PRODUCTS AND INSULATION.
- VERIFY DIMMING BALLAST / DRIVER COMPATIBILITY WITH DIMMING CONTROL.
- IF SUBMITTING A FIXTURE FOR APPROVAL AS AN EQUAL, PROVIDE CUT SHEET AND IES PHOTOMETRIC FILE PRIOR TO BIDDING. A WORKING SAMPLE OF THE FIXTURE MAY BE REQUIRED FOR APPROVAL BY THE A/E.
- REFER TO ARCHITECTURAL ELEVATIONS FOR EXACT LOCATION AND MOUNTING HEIGHT.

LIGHT FIXTURE SCHEDULE NOTES:

- FIXTURE SHALL BE MOUNTED 30" AFG. EC TO COORDINATE ALL WALL PENETRATIONS PRIOR TO INSTALLATION.
- FIXTURE SHALL BE MOUNTED 16" AFG. LOCATE FIXTURE ON PERMANENT STRUCTURE OF GENERATOR BUILDING.

CONTROL OPTIONS

0-10V
This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (P, R and PERT)
Optional buttons photocontrol (P) and photocontrol receptacles (R and PERT) provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PERT receptacle.

After Hours Dim (AHD)
This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dusk-to-dawn" period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

Dimming Occupancy Sensor (MS/DIM-LXX and MS-LXX)
These sensors are factory installed in the luminaire housing. When the MS/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. The MS/LXX is also preset for five minutes and only controls the specified number of light engines to maintain steady output from the remaining light engines.

These occupancy sensors includes an integral photocell that can be activated with the FSR-100 accessory for "dusk-to-dawn" control or daylight harvesting. The factory preset is OFF. The FSR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters.

A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-40".

LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN)
The LumaWatt Pro system is a peer-to-peer wireless network of luminaire-integral sensors for any sized project. Each sensor is capable of motion and photo sensing, metering power consumption and wireless communication. The end-user can securely create and manage sensor profiles with browser-based management software. The software will automatically broadcast to the sensors via wireless gateways for zone-based and individual luminaire control. The LumaWatt Pro software provides smart building solutions by utilizing the sensor to provide easy-to-use dashboard and analytic capabilities such as improved energy savings, traffic flow analysis, building management software integration and more.

For additional details, refer to the LumaWatt Pro product guides.

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OPTICAL DISTRIBUTIONS

Asymmetric Area Distributions:
T2 (Type II) SL2 (Type II with Split Control)
T3 (Type III) SL3 (Type III with Split Control)
T4 (Type IV) T4FT (Type IV Fanout/Flood) T4W (Type IV Wide)
T5 (Type V with Split Control) SL4 (Type V with Split Control)

Symmetric Distributions:
S4 (Type V Square Narrow) S4M (Type V Square Medium)
S6 (Type V Square Wide) SL5 (Rectangular Wide Type II) 180° Split Light Eliminator Left
SLR (180° Split Light Eliminator Right)

LUMEN MAINTENANCE

Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (80,000 Hours)	Projected L70 (Hours)
1.0A to 1.4A	Up to 50°C	>90%	>140,000
1.2A	Up to 40°C	>95%	>200,000

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
30°C	1.01
40°C	1.00
45°C	0.99
50°C	0.97

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McGraw-Edison

DESCRIPTION
The Gallion™ wall LED luminaire's appearance is complementary with the Gallion area and site luminaire bringing a modern architectural style to lighting applications. Flexible mounting options accommodate wall surfaces in both an upward and downward configuration. The Gallion family of LED products deliver exceptional performance with patented, high efficiency AccuLED Optics™, providing uniform and energy conscious lighting for parking lots, building and security lighting applications.

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SPECIFICATION FEATURES

Construction
Driver enclosure thermally isolated from optics for optimal thermal performance. Heavy wall aluminum housing die-cast with integral external heat sinks to provide superior structural rigidity and an IP66 rated housing. Overall construction passes a 1500 lb vibration test to ensure mechanical integrity. UP/LIGHTING: Specify with the LPR option for increased mount upright housing with additional protections to maintain IP rating.

Optics
Choice of thirteen patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (41-275A) CCT and minimum 70 CRI. Optional 3000K, 5000K and 6000K CCT. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 1200mA, 800mA, and 600mA drive currents.

Electrical
LED drivers are mounted for ease of maintenance. 120-277V 50/60Hz, 347V or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Drivers are provided standard with 0-10V dimming. An optional Eaton proprietary surge protection module is available and designed to withstand 10kV of transient line surge. The Gallion Wall LED luminaire is suitable for operation in -30°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Emergency egress options for -30°C ambient environments and occupancy sensor available.

Warranty
Five-year warranty.

Mounting
Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" J-box or wall with the Gallion Wall "Hook-N-Lock" mechanism for quick installation. Secured with black oxide coated allen head set screws which are concealed but accessible from bottom of fixture.

Finish
Housing finished in super durable TIGC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

1-2 Light Squares Solid State LED WALL MOUNT LUMINAIRE

DIMENSIONS
15-1/16" (380mm) x 8-1/2" (216mm)
12-1/8" (305mm)

HOOK-N-LOCK MOUNTING
16-5/16" (388mm)

BATTERY BACKUP AND THRU-BRANCH BACK BOX

CERTIFICATION DATA
UL Listed
LMV/LAMB Compliant
IP66 Housing
ISO 9001
DesignLights Consortium® Qualified*

ENERGY DATA
Electronic LED Driver
->8 Power Factor
->95 Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz, 480V/60Hz
30°C Minimum Temperature
40°C Ambient Temperature Rating

SHIPPING DATA
Approximate Net Weight:
27 lbs. (12.2 kg)

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ELECTRICAL SHEET INDEX	
No.	TITLE
E000a	ABBREVIATIONS, SYMBOLS, CUT SHEETS & SCHEDULES
E011a	SITE PLAN - SITE LIGHTING
E011b	SITE PLAN - PHOTOMETRICS

Notes: _____

PRELIMINARY
NOT FOR CONSTRUCTION

**EMERGENCY POWER FACILITY
UNITY POINT MERITER**

MILTON STREET
MADISON, WISCONSIN

2017.14.00

Date: 10/11/17 Issuance/Revisions: City Submittal

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Notes: _____
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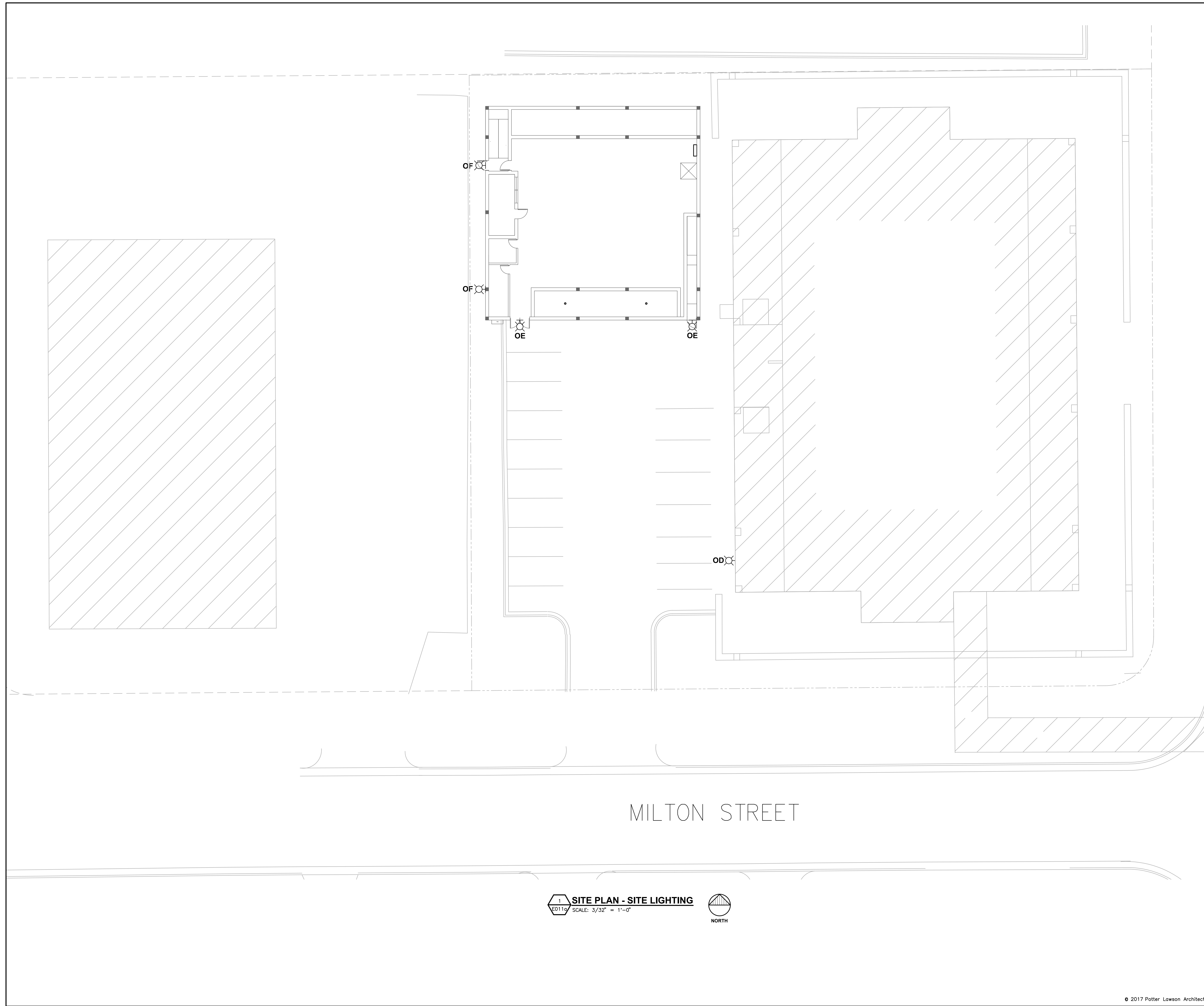
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SITE PLAN
SITE LIGHTING

E011



1 SITE PLAN - SITE LIGHTING
E011 SCALE: 3/32" = 1'-0"
NORTH

Notes: _____

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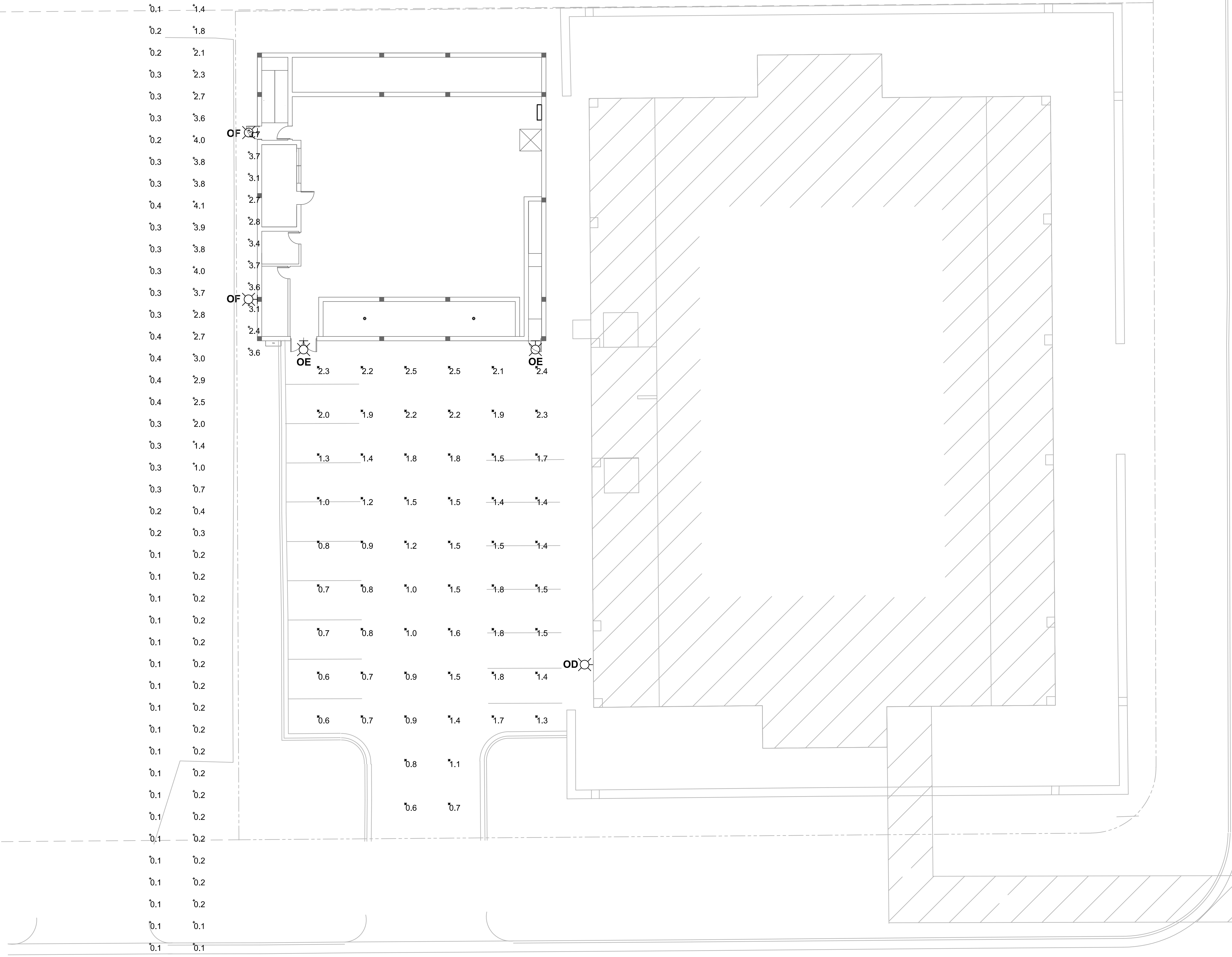
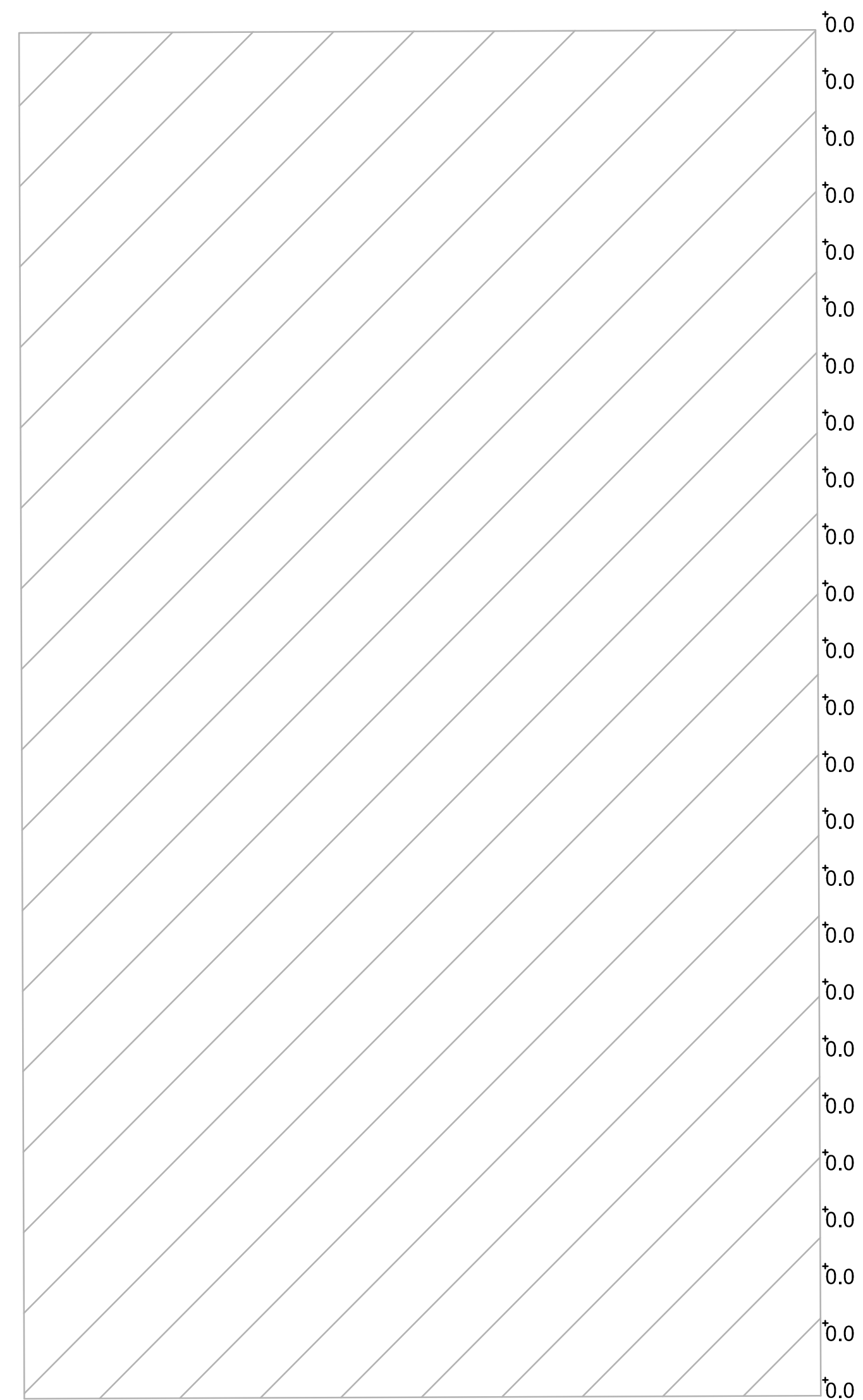
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SITE PLAN
PHOTOMETRICS

E011



MILTON STREET

1 SITE PLAN - PHOTOMETRICS
E011b SCALE: 3/32" = 1'-0"
NORTH

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
4' AFG 10' From Prop Line	+	1.6 fc	4.1 fc	0.1 fc	41.0:1	16.0:1
4' AFG 20' From Prop Line	+	0.2 fc	0.4 fc	0.1 fc	4.0:1	2.0:1
4' AFG - Adjacent Building	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Drive	X	1.4 fc	2.5 fc	0.6 fc	4.2:1	2.3:1
Gen Building Egress Path	+	3.3 fc	3.7 fc	2.4 fc	1.5:1	1.4:1
Parking - East	X	1.7 fc	2.4 fc	1.3 fc	1.8:1	1.3:1
Parking - West	X	1.1 fc	2.3 fc	0.6 fc	3.8:1	1.8:1

Power Statistics				
Description	# Luminaires	Total Watts	Area	Density
Power Density	5	249.00 W	6529.44 ft²	0.04 W/ft²