

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submittal reviewed by _____

Legistar # _____

RECEIVED

5/4/2020
5:20 p.m.

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: 160 Westgate Mall

Title: Westgate Mall Redevelopment

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested May 27, 2020

- New development Alteration to an existing or previously-approved development
 Informational Initial approval Final approval

3. Project Type

- Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage

- Comprehensive Design Review (CDR)
 Signage Variance (i.e. modification of signage height, area, and setback)

Other

- Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name Jacob Klein

Street address 818 South Park Street

Telephone 612 202 1577

Project contact person Melissa Huggins

Street address 807 E Johnson

Telephone 608 345 0996

Property owner (if not applicant) Hy-vee Inc

Street address 5820 Westown Parkway

Telephone 515 267 2800

Company JT Klein

City/State/Zip Madison, WI 53715

Email _____

Company Urban Assets

City/State/Zip Madison, WI 53703

Email _____

City/State/Zip Des Moines, IA 50266

Email _____

5. Required Submittal Materials

Application Form

NA Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
- For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.

Development plans (Refer to checklist on Page 4 for plan details)

Filing fee NA

Electronic Submittal*

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies **must** be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with TBD Phone call - 04/28/20 on _____
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Jacob Klein Relationship to property Developer/Option holder

Authorizing signature of property owner  Date 4-28-20

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- **Informational Presentation.** Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- **Initial Approval.** Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- **Final Approval.** Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit



To: Urban Design Commission Members and Staff
From: Melissa Huggins, AICP on behalf of JT Klein, Inc.
Re: West Gate Redevelopment Informational Application
Date: Monday, May 4, 2020

JT Klein proposes to redevelop the currently vacant Westgate Mall adjacent to Hyvee. The mixed-use project will consist of a mix of housing types including market rate (234 units), senior affordable (156 units), and workforce housing (70 units) in four to five story buildings; the parking ratio will one to one. A future phase, at the corner of Tokay Boulevard and Whitney Way will include a medical office building or clinic. The proposed density on the site responds to the accessibility of multiple modes of transportation, including Whitney Way and the Beltline, the existing Metro service served by the West Transfer, and the future West/East Bus Rapid Transit Line.

The project includes a new north/south private street (built to city standards), green space and gathering areas for residents and the community to the south, and a direct connection to Segoe Park to the east. JT Klein is working with the City of Madison Parks Department on the development of a new playground within the park, at the developer's expense.

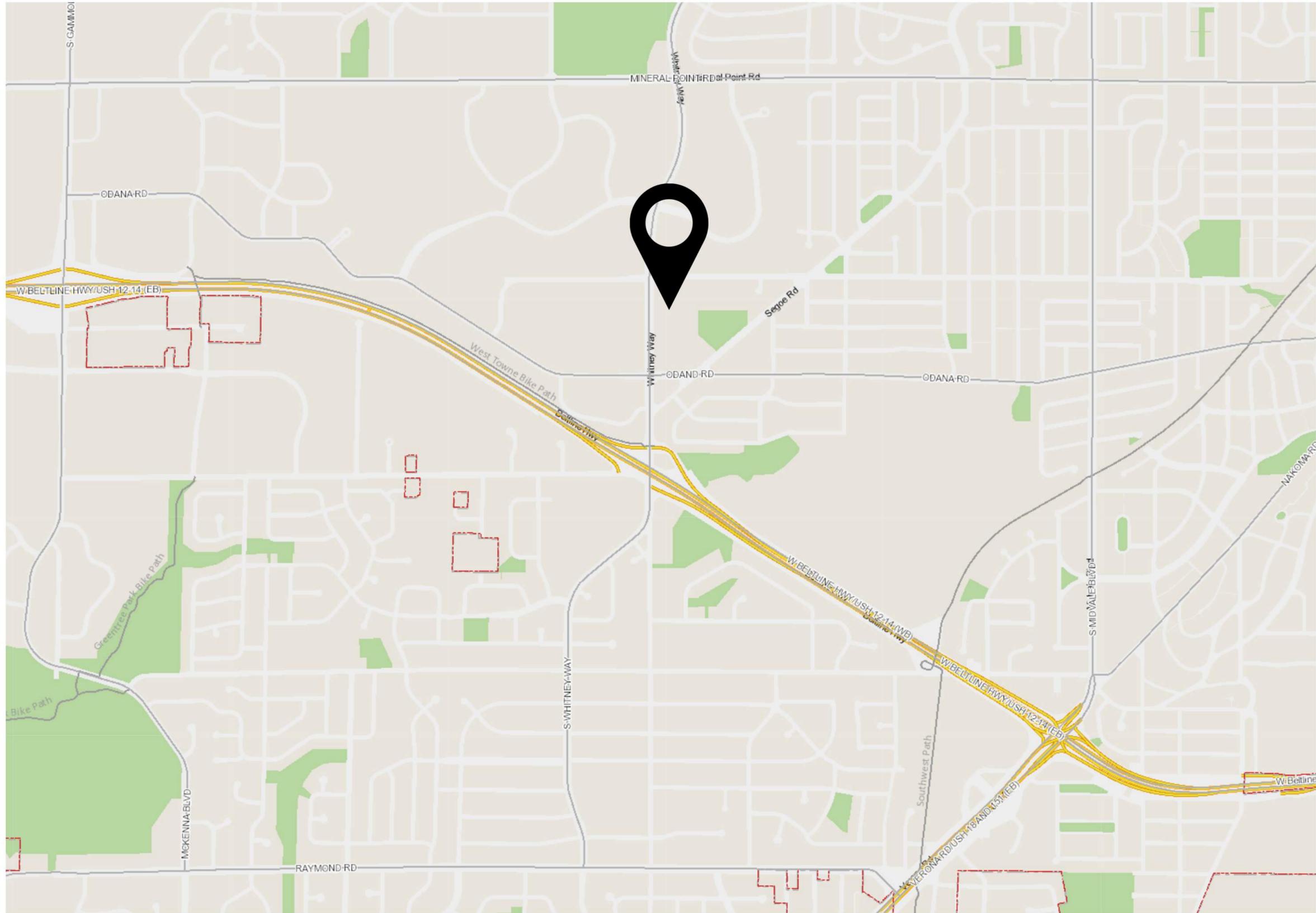
The landscape concept focuses on usable greenspace for residents of the newly constructed buildings, as well as residents of the surrounding neighborhood. A pedestrian corridor, with central lawn panel and public seating areas, is designed to encourage movement through the adjacent neighborhood park as well as the existing Hy-Vee grocery store and local businesses. Tree lined entrance drives and walkways are punctuated with flowering woody shrubs, ornamental grasses and perennial flowers. Emphasis on lower maintenance plantings will be encouraged, as will the use of native species and those offering multi-season interest (see sample palette attached to email).

The intent for the stormwater management is to follow the new City guidelines for redevelopment that will be adopted soon. Overall, this development will introduce close to 20% more greenspace than the current condition which will help lower the amount of runoff generated. Below grade detention chambers will be installed beneath the greenspace to detain, treat and provide infiltration. Buildings will not be at risk of flooding, however, if the storm system becomes overloaded the runoff would be routed south and east towards S Segoe Road and Odana Road.

The project team has held two neighborhood meetings, one in January and a second virtually in April. A third neighborhood meeting will be held via Zoom on May 13th. Results from the first two neighborhood meetings, as well as background information can be accessed on the project's website www.jtkwestgate.com.

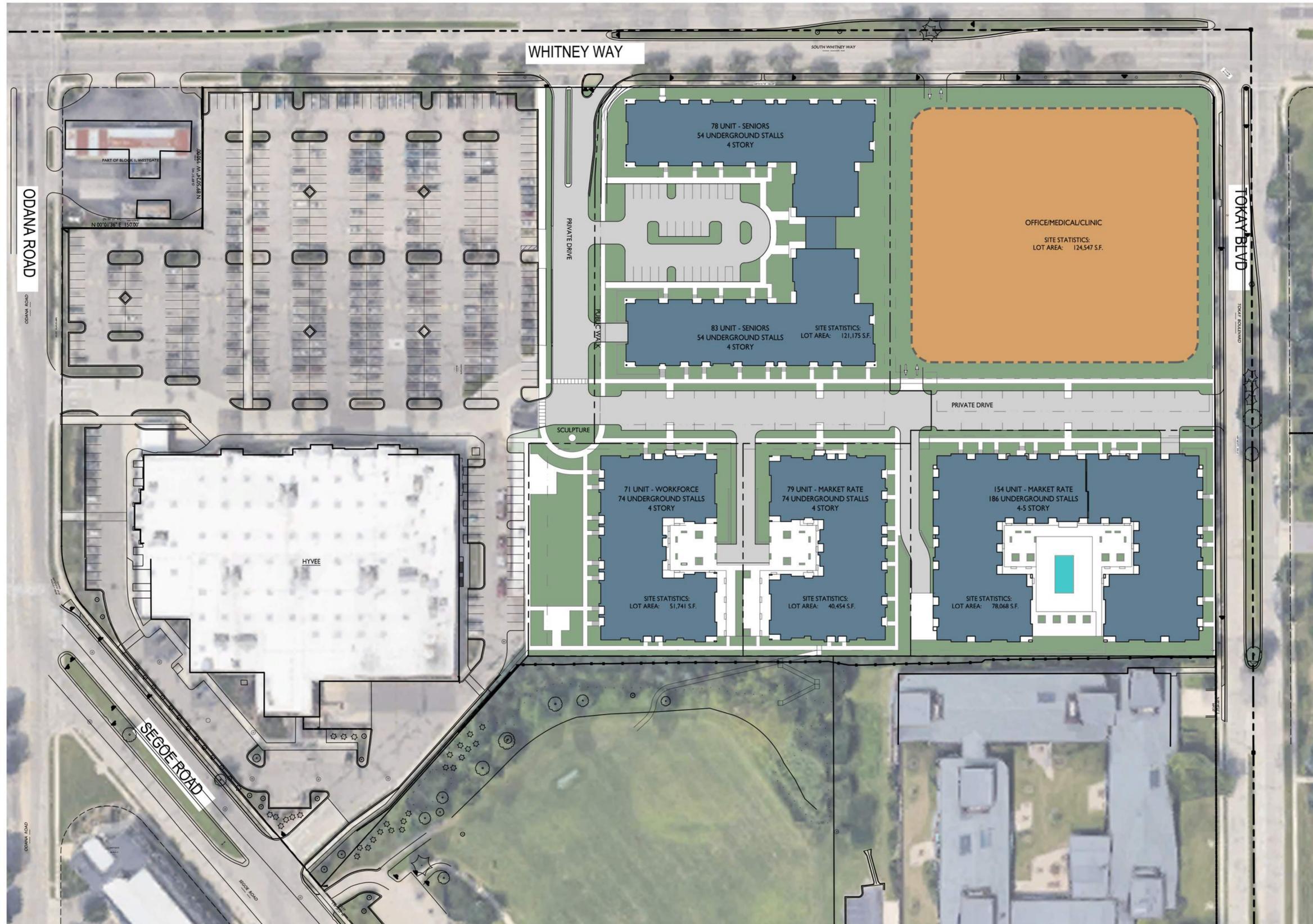
JT Klein hopes to break ground on the first phase of the market rate and second phase of the senior affordable housing in 2021. The workforce housing and third phase of the senior housing will be submitted to WHEDA for 9% tax credits and, if successful, will break ground in 2022.

The project team looks forward to receiving the UDC's comments and suggestions.



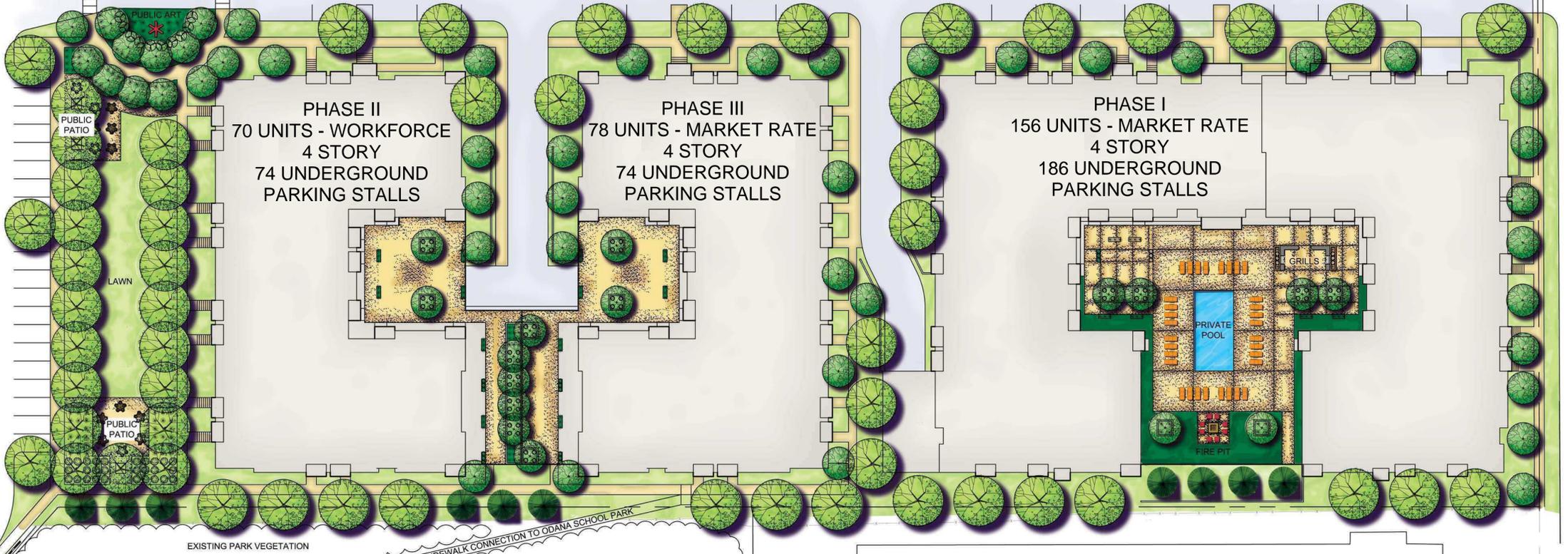
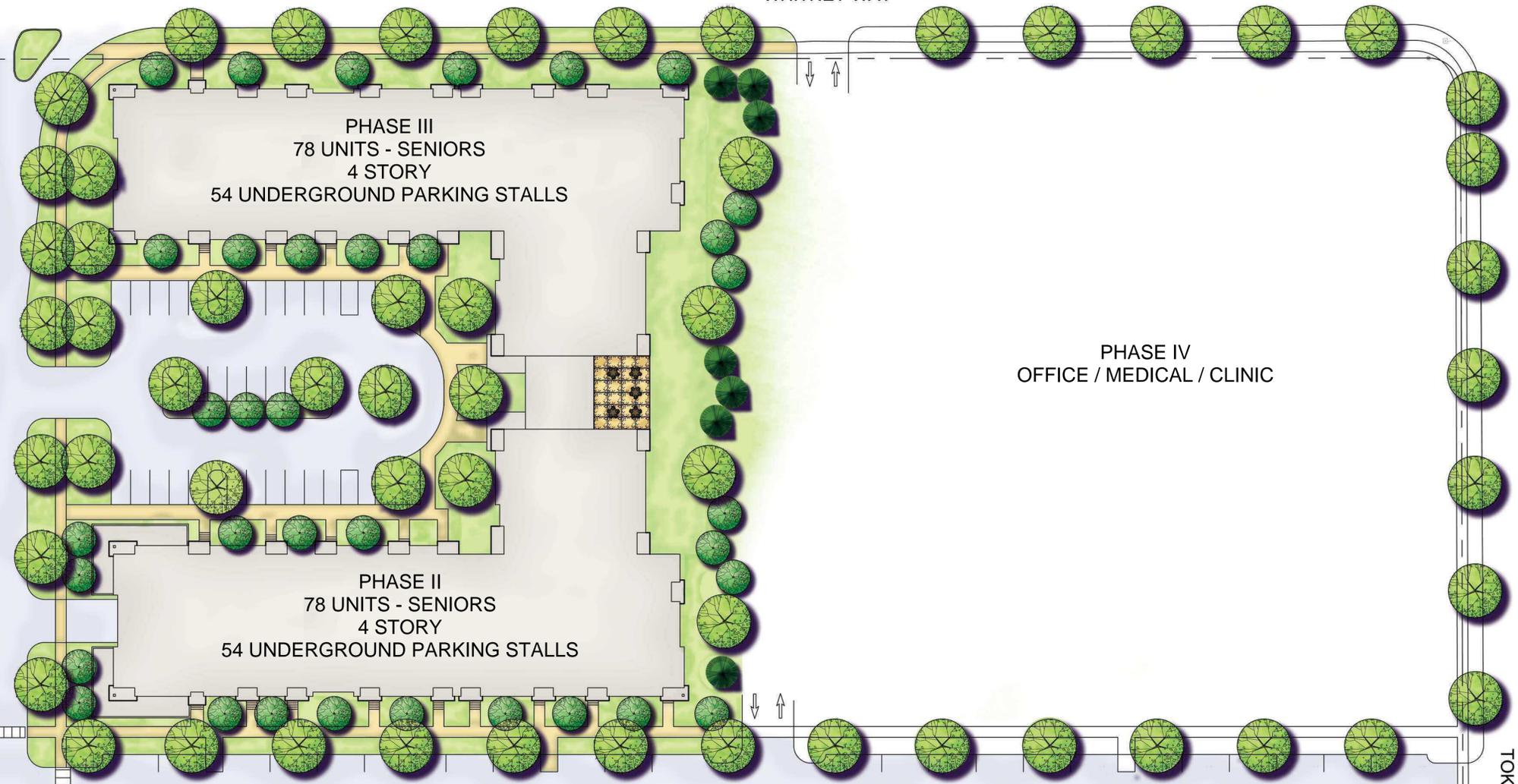
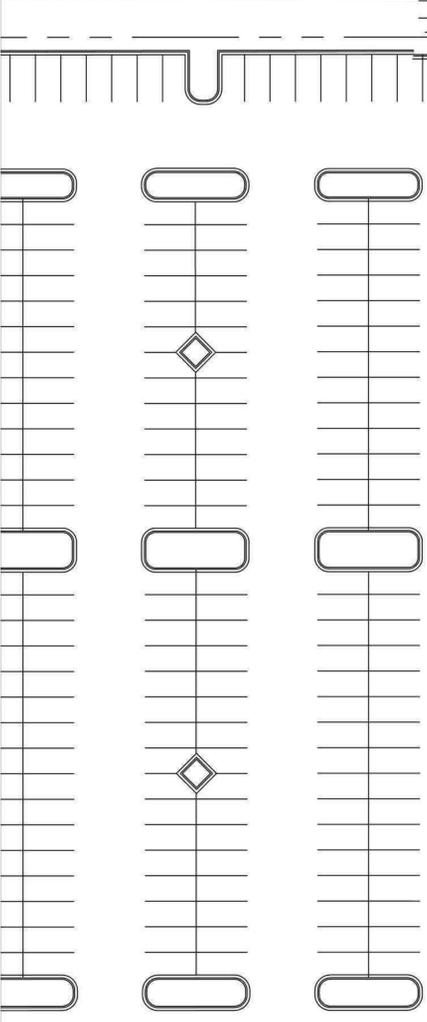
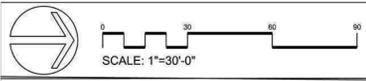
Locator Map
Westgate
Whitney Way
April 29, 2020





Site Plan
 Westgate
 Whitney Way
 April 29, 2020





WHITNEY WAY

TOKAY BLVD

HY-VEE

EXISTING PARK VEGETATION

SIDEWALK CONNECTION TO ODANA SCHOOL PARK

**OLSON & TOON
LANDSCAPING**
3570 Pioneer Road
Verona, WI 53593
PH: (608) 827-9401
FAX: (608) 827-9402
WEB: www.olsontoon.com

WESTGATE REDEVELOPMENT
Whitney Way and Tokay Boulevard
Madison, Wisconsin

Date: 2020.04.03
Scale: 1"=30'-0"
Designer: BNF
Job #

Seal:
To protect against legal liability,
the plans presented herein are
"schematic," and should not be
outsourced as "biddable" or
"construction documents" unless
approved by the Landscape
Designer. This is not an original
document unless stamped in
red, as ORIGINAL.

Revisions:

L 1.0
LANDSCAPE
MASTER PLAN

Reference Name:
JT Klein



WESTGATE REDEVELOPMENT
 Whitney Way and Tokay Boulevard
 Madison, Wisconsin

HYVEE

PRIVATE DRIVE

PUBLIC PATIO

PUBLIC ART

PHASE II
 70 UNITS - WORKFORCE
 4 STORY
 74 UNDERGROUND
 PARKING STALLS

PHASE III
 78 UNITS - MARKET RATE
 4 STORY
 74 UNDERGROUND
 PARKING STALLS

LAWN

PUBLIC PATIO

EXISTING PARK VEGETATION

SIDEWALK CONNECTION TO ODANA SCHOOL PARK



Date: 2020.04.03
 Scale: 1/16"=1'-0"
 Designer: BNF
 Job #

Seal:
 To protect against legal liability,
 the plans presented herein are
 "schematic," and should not be
 outsourced as "biddable" or
 "construction documents" unless
 approved by the Landscape
 Designer. This is not an original
 document unless stamped in
 red, as ORIGINAL.

Revisions:
L 1.1
GREEN SPACE
LANDSCAPE
PLAN
 Reference Name:
 JT Klein



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ARCHITECTS

Phone: 7601 University Ave., Ste 201
608.836.3690 Middleton, WI 53562

ISSUED
Issued for UDC Info - April 29, 2020

PROJECT TITLE
**WESTGATE
REDEVELOPMENT**
JT Klein

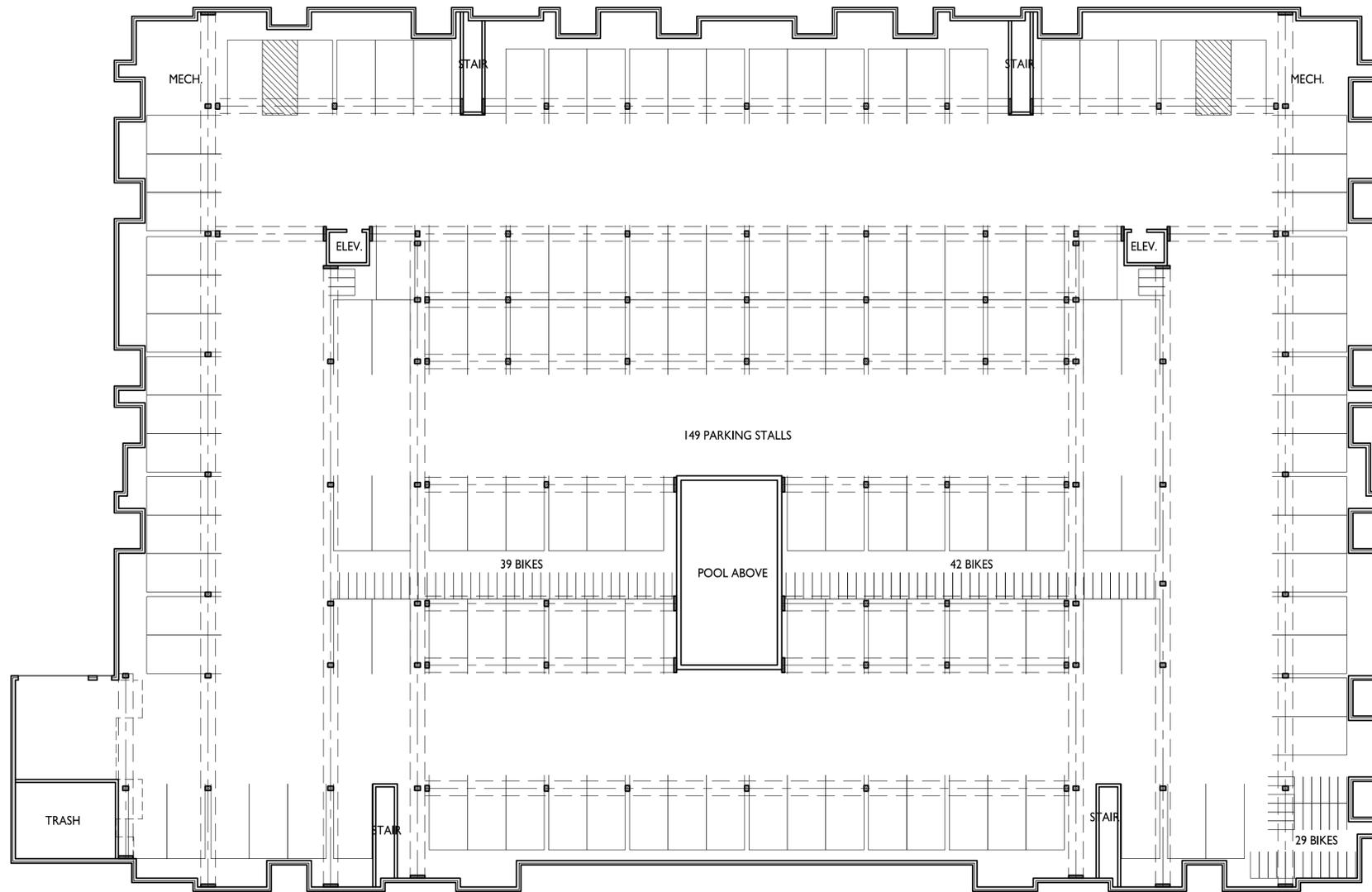
Whitney Way &
Today Blvd.
Madison, Wisconsin
SHEET TITLE
Floor Plans

SHEET NUMBER

A-1.0

PROJECT NO. **1925**

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BASEMENT PLAN

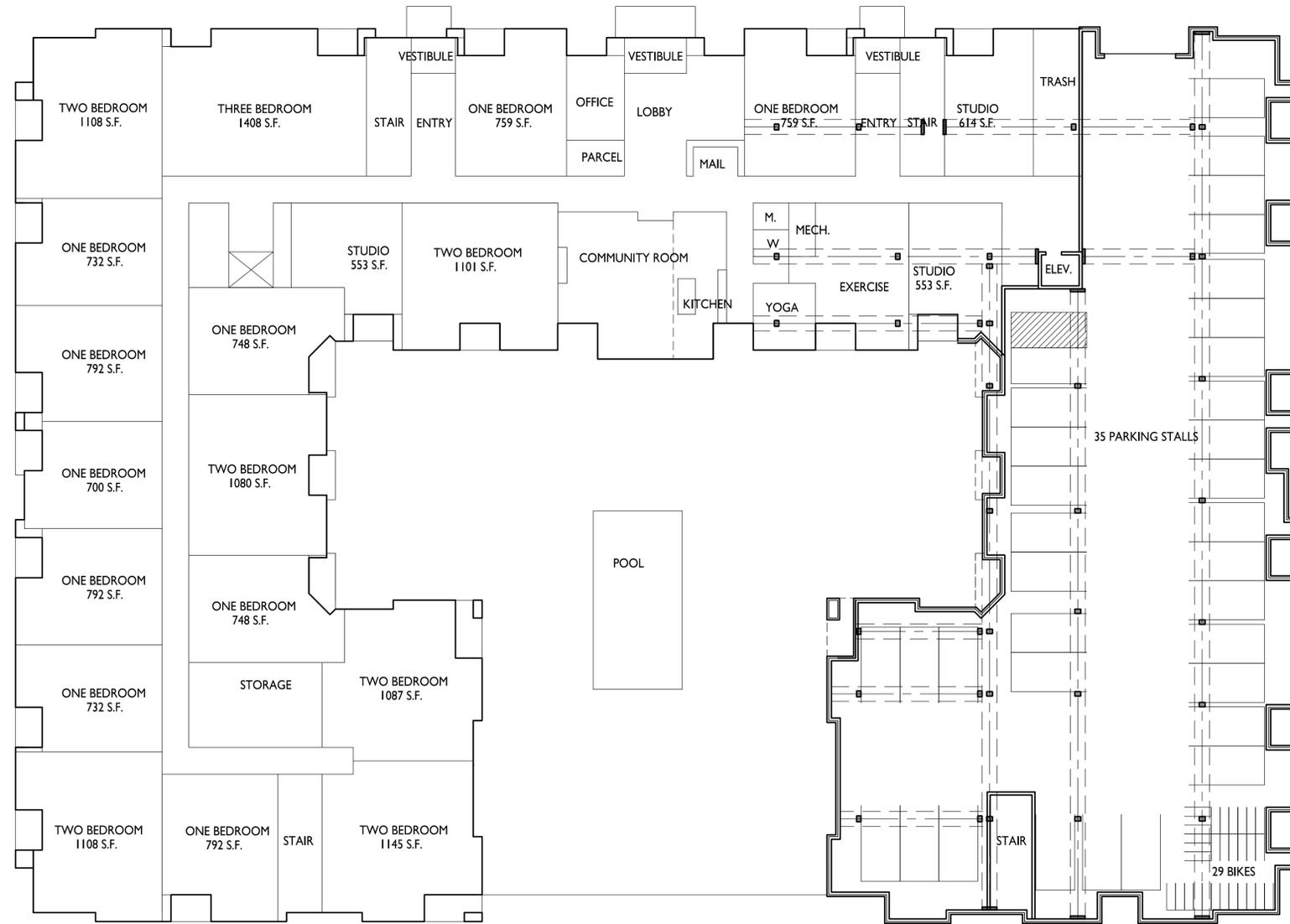
**154 UNIT MARKET RATE HOUSING
FLOOR PLANS**
1/16" = 1'-0"





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FIRST FLOOR

UNIT MIX:	
STUDIO	23
ONE BEDROOM	72
TWO BEDROOM	55
THREE BEDROOM	4
	154

ISSUED
Issued for UDC Info - April 29, 2020

PROJECT TITLE
**WESTGATE
REDEVELOPMENT**
JT Klein

Whitney Way &
Today Blvd.
Madison, Wisconsin
SHEET TITLE
Floor Plans

SHEET NUMBER

**154 UNIT MARKET RATE HOUSING
FLOOR PLANS**



1/16" = 1'-0"



A-1.1

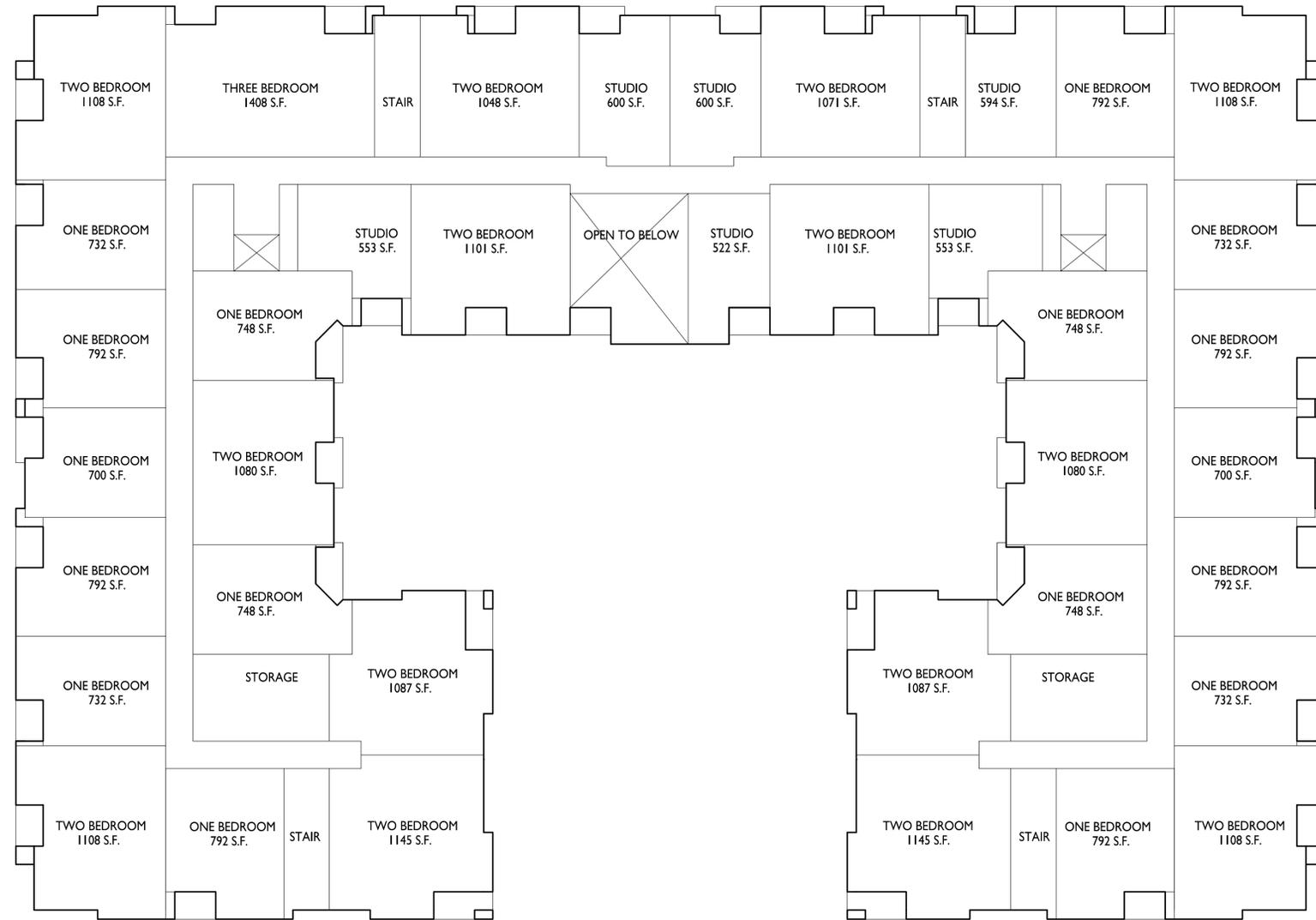
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SECOND FLOOR

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PROJECT TITLE
**WESTGATE
REDEVELOPMENT**
JT Klein

Whitney Way &
Today Blvd.
Madison, Wisconsin
SHEET TITLE
Floor Plans

SHEET NUMBER

A-1.2

PROJECT NO. **1925**

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154 UNIT MARKET RATE HOUSING
FLOOR PLANS



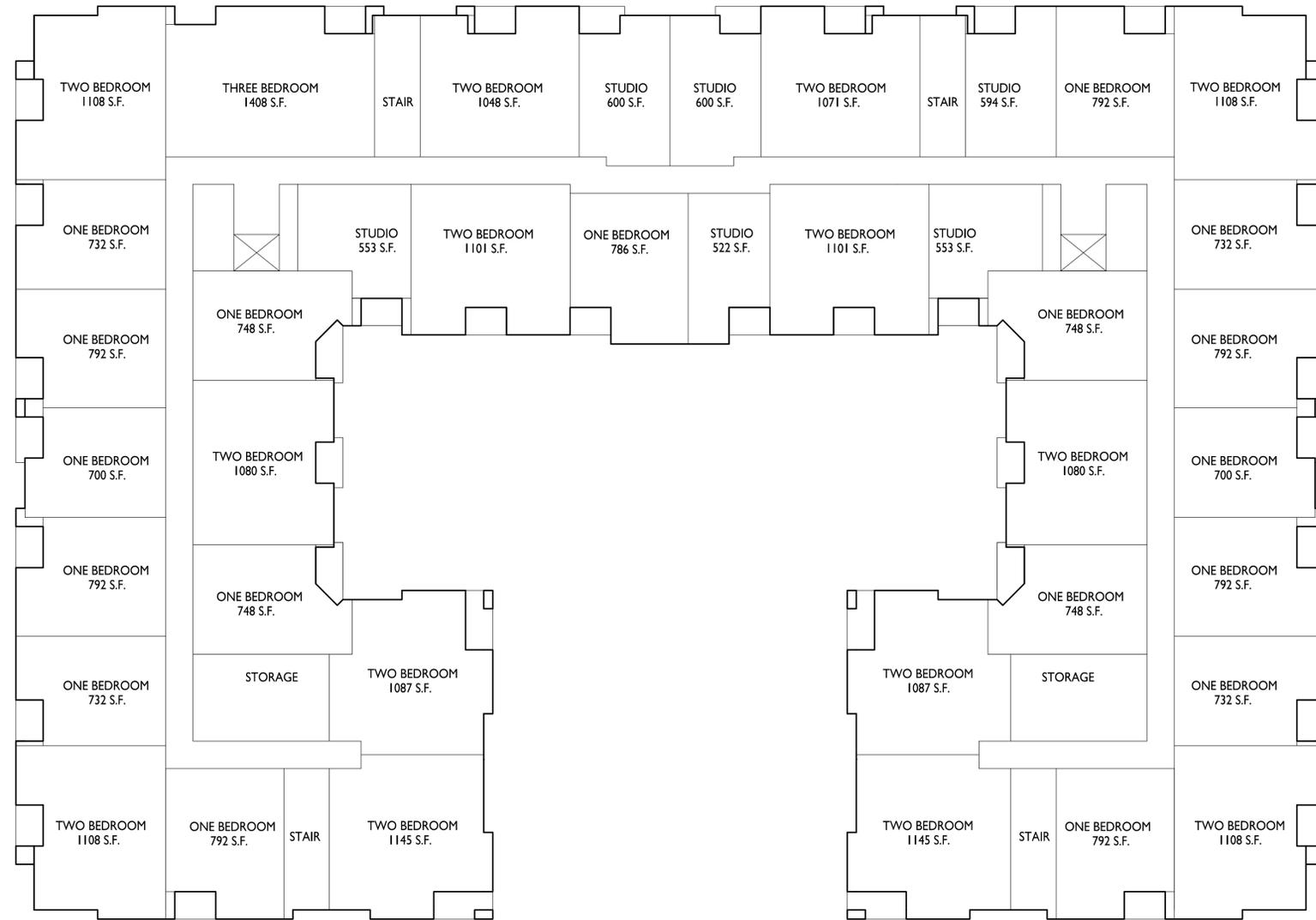
1/16" = 1'-0"





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THIRD & FOURTH FLOOR

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PROJECT TITLE
**WESTGATE
REDEVELOPMENT**
JT Klein

Whitney Way &
Today Blvd.
Madison, Wisconsin
SHEET TITLE
Floor Plans

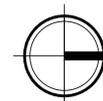
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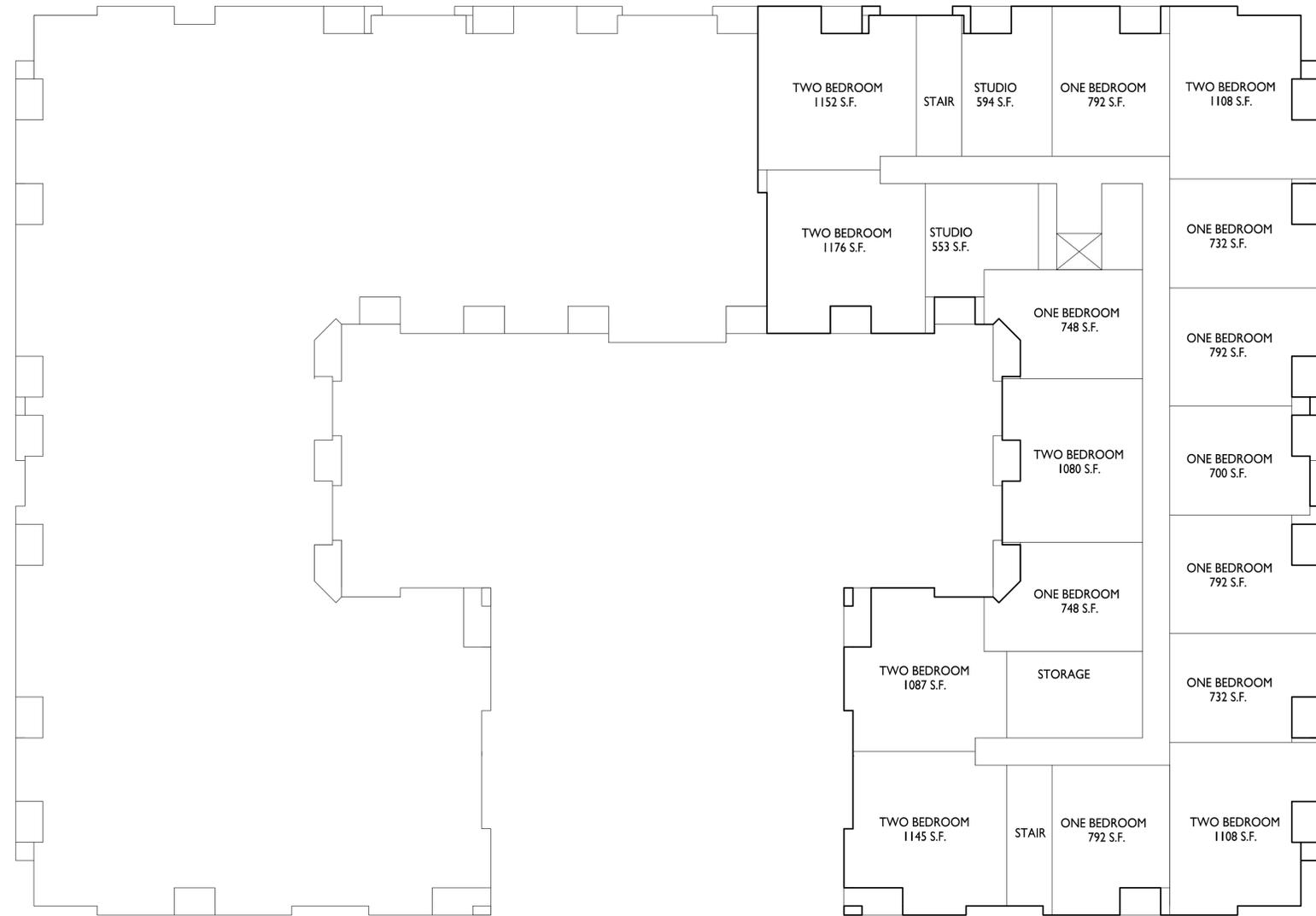
**154 UNIT MARKET RATE HOUSING
FLOOR PLANS**
1/16" = 1'-0"





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FIFTH FLOOR

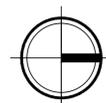
ISSUED
Issued for UDC Info - April 29, 2020

PROJECT TITLE
**WESTGATE
REDEVELOPMENT**
JT Klein

Whitney Way &
Today Blvd.
Madison, Wisconsin
SHEET TITLE
Floor Plans

SHEET NUMBER

**154 UNIT MARKET RATE HOUSING
FLOOR PLANS**
1/16" = 1'-0"



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PROJECT TITLE
**WESTGATE
REDEVELOPMENT**
JT Klein

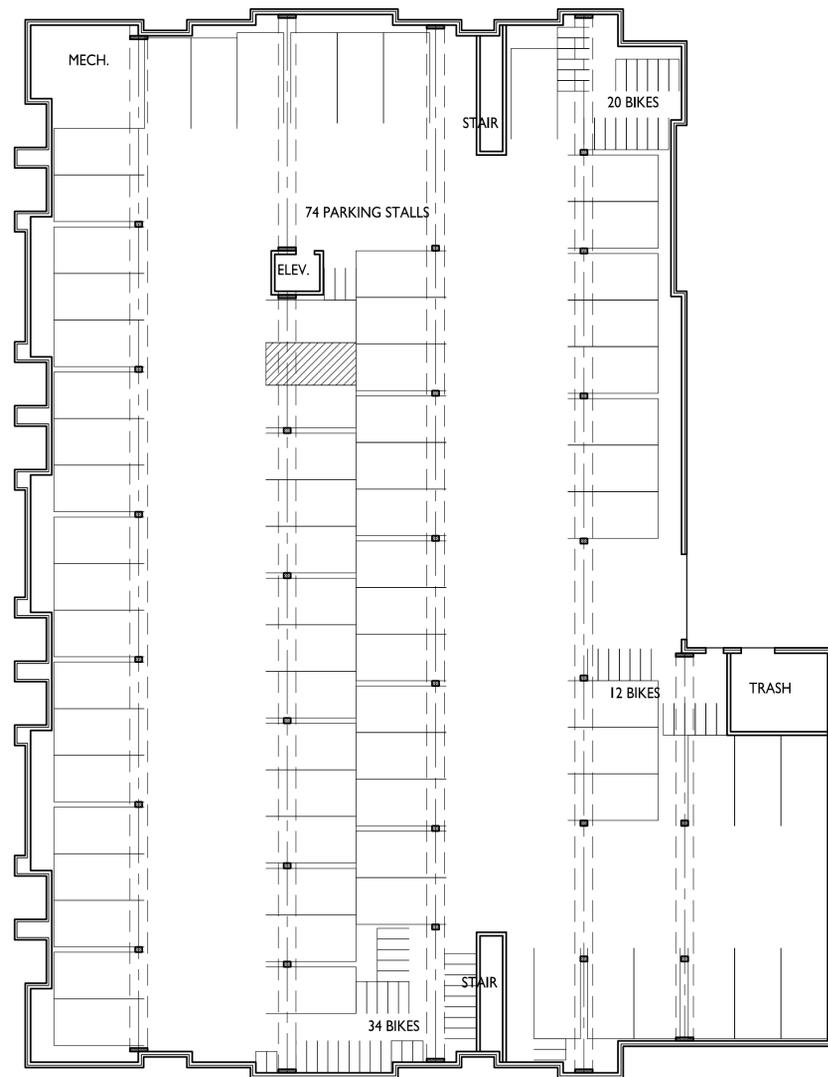
Whitney Way &
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Madison, Wisconsin
SHEET TITLE
Floor Plans

SHEET NUMBER

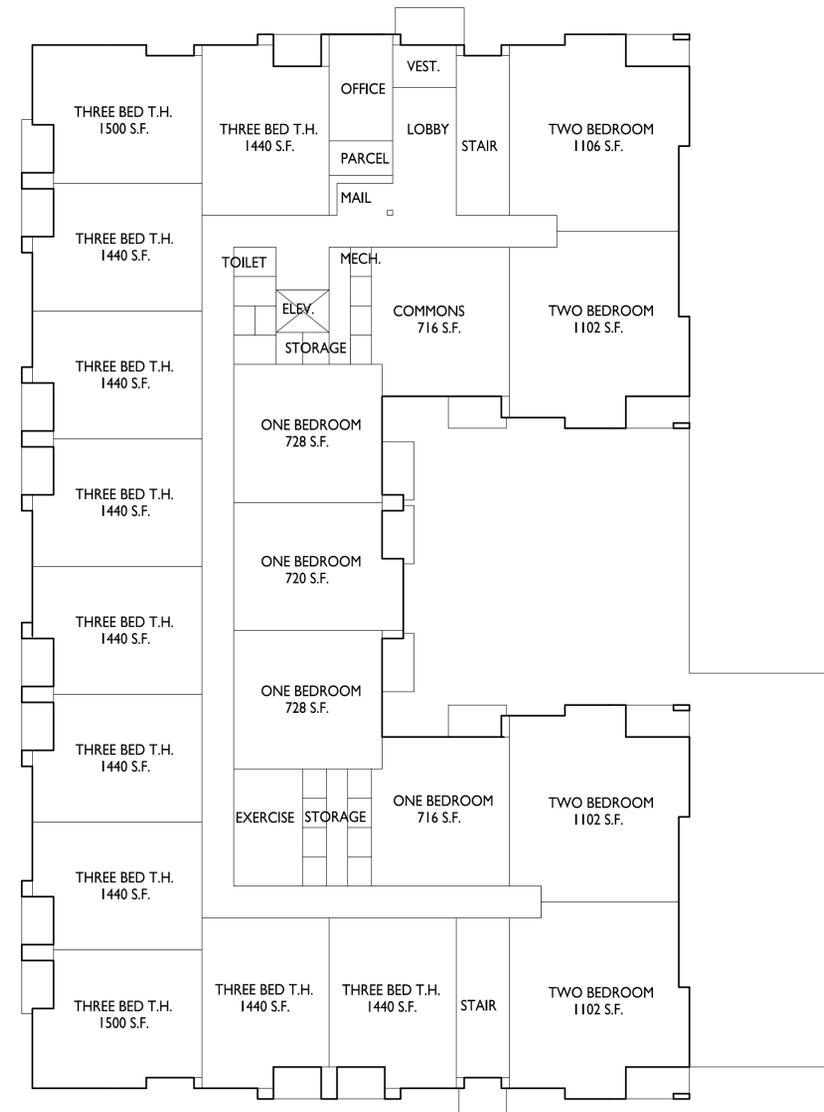
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BASEMENT PLAN



FIRST FLOOR

UNIT MIX:
ONE BEDROOM 44
TWO BEDROOM 16
THREE BED T.H. 11
71

**71 UNIT WORKFORCE HOUSING
FLOOR PLANS**
1/16" = 1'-0"

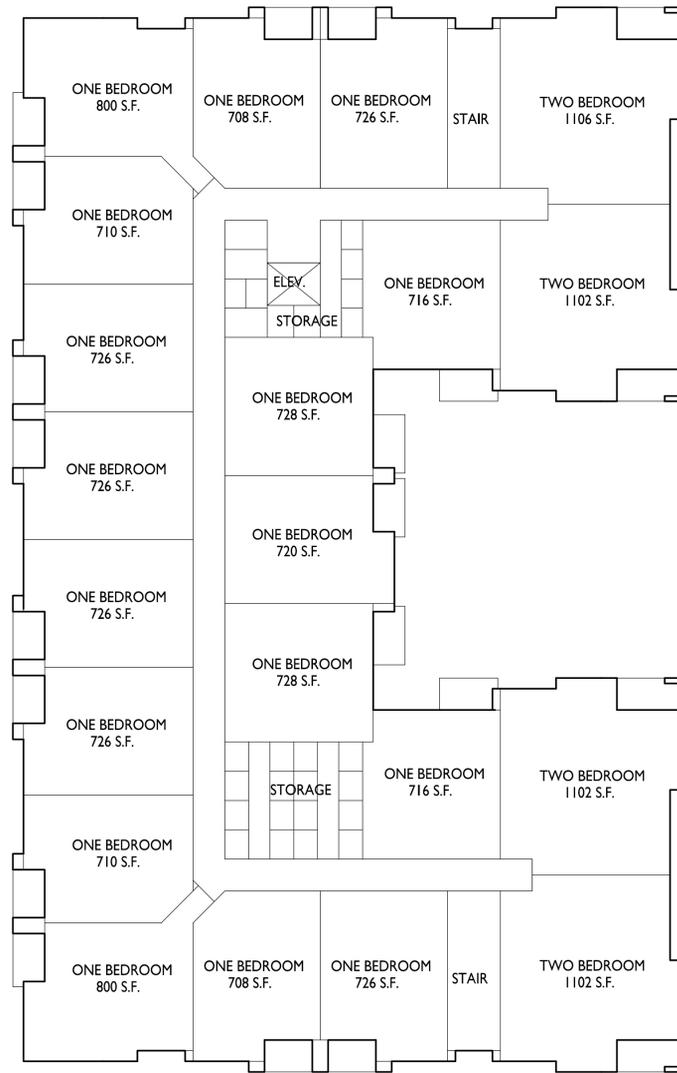


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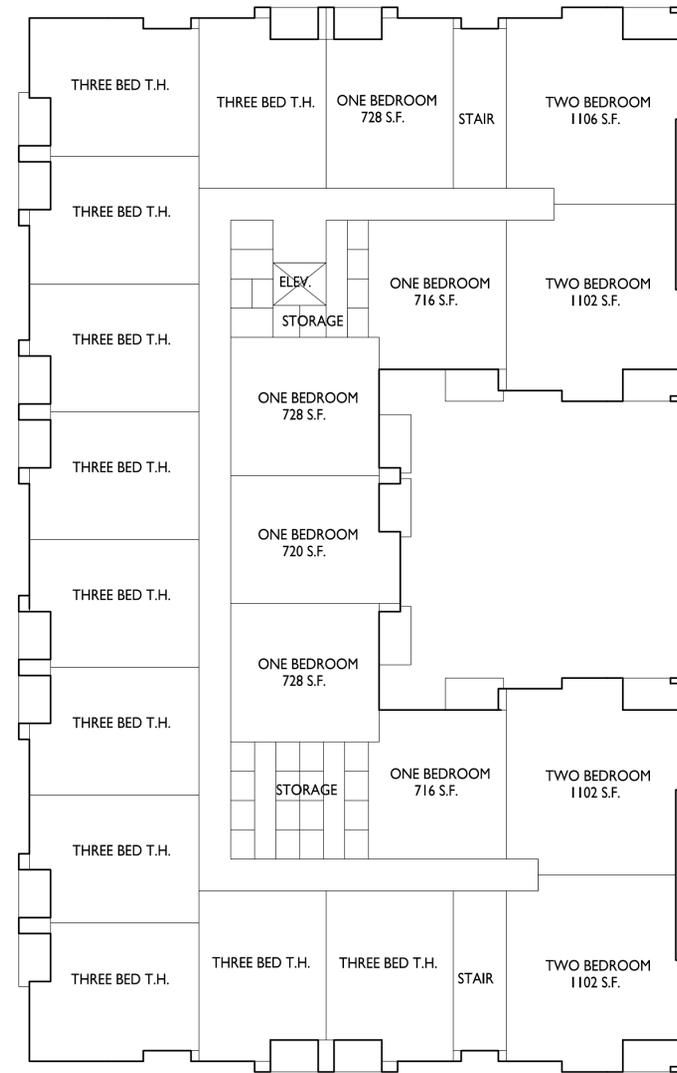


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THIRD & FOURTH FLOOR



SECOND FLOOR

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PROJECT TITLE
**WESTGATE
REDEVELOPMENT**
JT Klein

Whitney Way &
Today Blvd.
Madison, Wisconsin
SHEET TITLE
Floor Plans

SHEET NUMBER

71 UNIT WORKFORCE HOUSING
FLOOR PLANS
1
A-1.6 1/16" = 1'-0"



A-1.6

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REDEVELOPMENT**
JT Klein

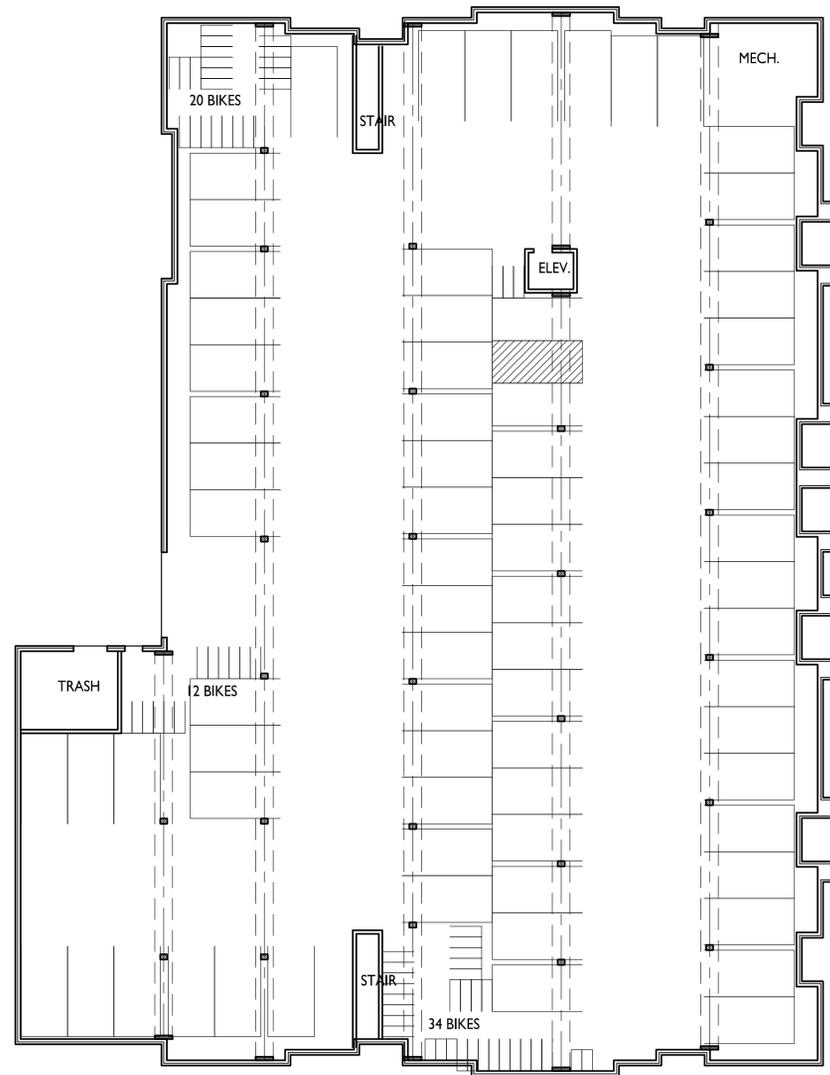
Whitney Way &
Today Blvd.
Madison, Wisconsin
SHEET TITLE
Floor Plans

SHEET NUMBER

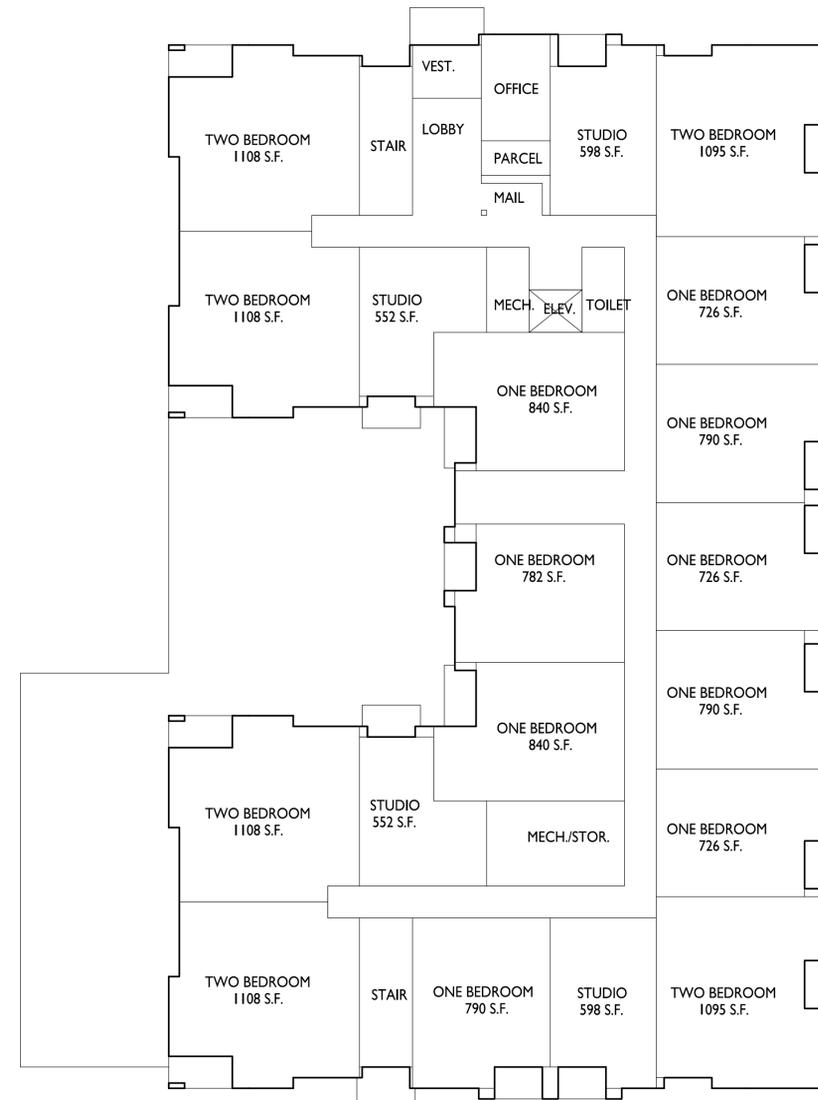
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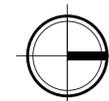
BASEMENT PLAN



FIRST FLOOR

UNIT MIX:	
STUDIO	16
ONE BEDROOM	36
TWO BEDROOM	27
	79

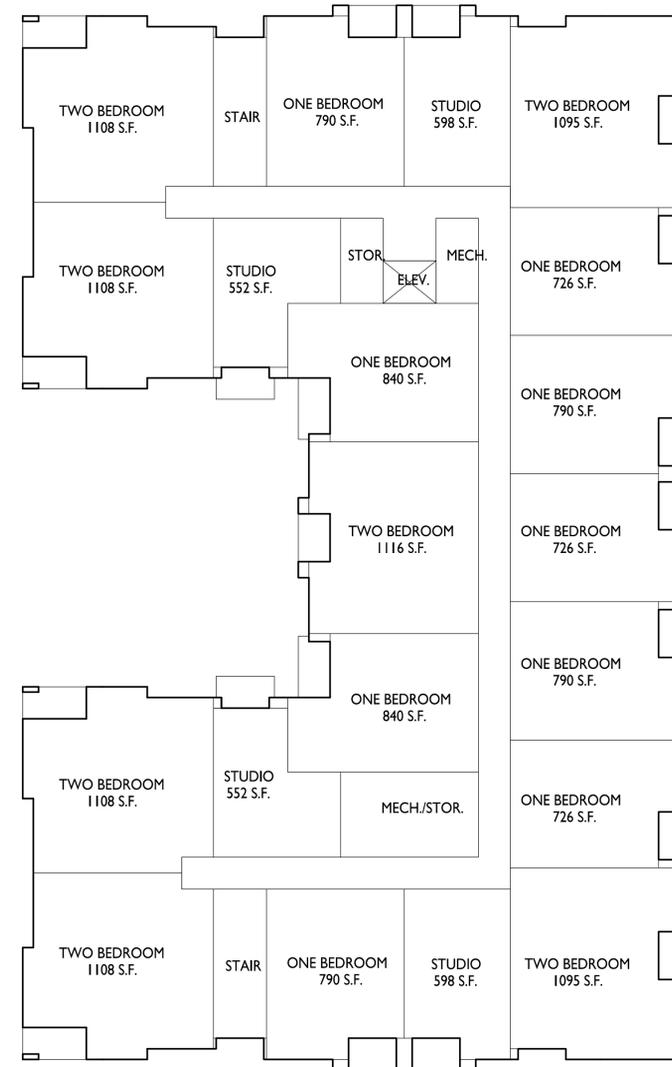
**79 UNIT MARKET RATE HOUSING
FLOOR PLANS**
1/16" = 1'-0"





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SECOND - FOURTH FLOOR

ISSUED
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PROJECT TITLE
**WESTGATE
REDEVELOPMENT**
JT Klein

Whitney Way &
Today Blvd.
Madison, Wisconsin
SHEET TITLE
Floor Plans

**79 UNIT MARKET RATE HOUSING
FLOOR PLANS**
1/16" = 1'-0"



SHEET NUMBER

A-1.8

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**WESTGATE
REDEVELOPMENT**
JT Klein

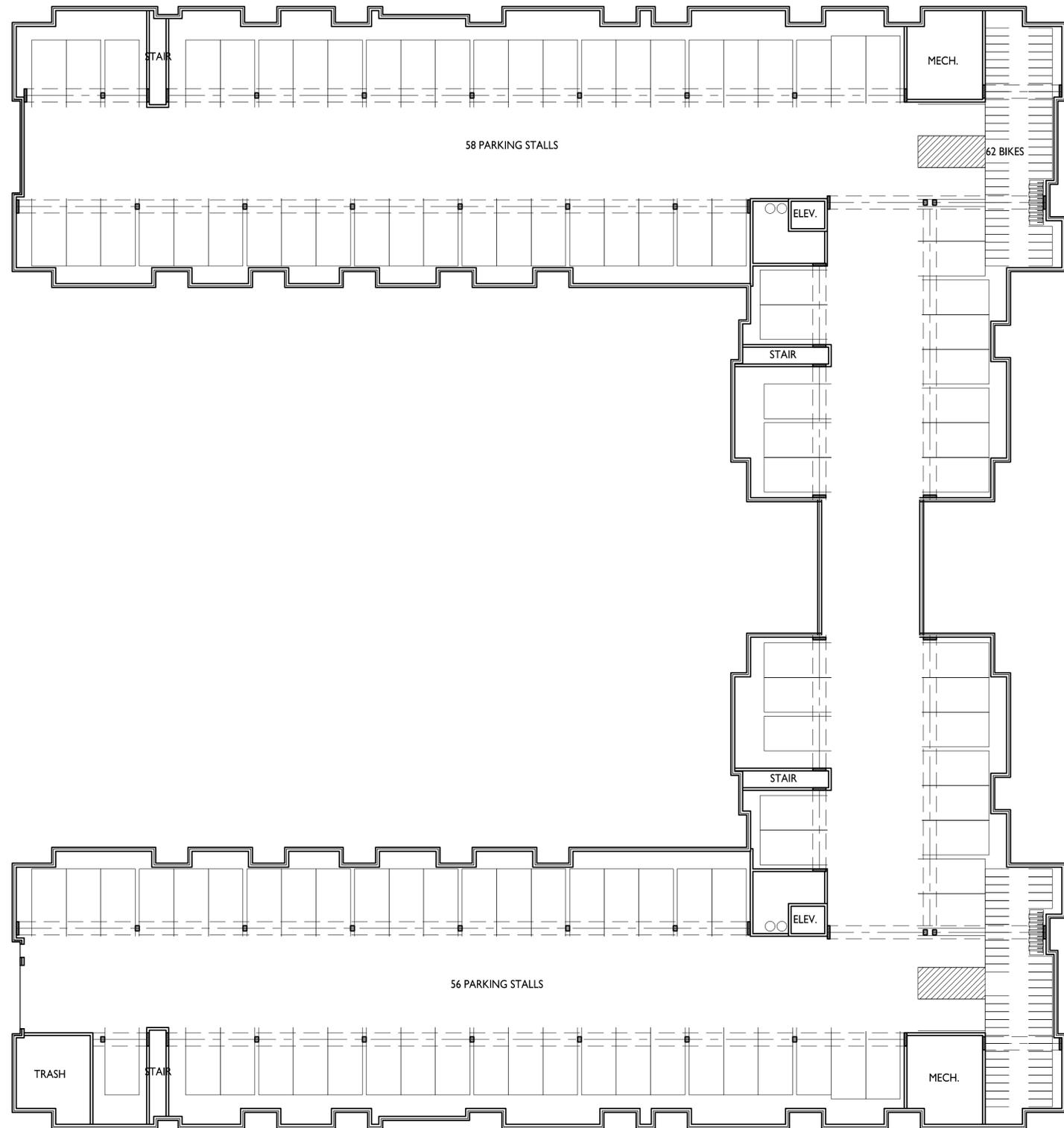
Whitney Way &
Today Blvd.
Madison, Wisconsin
SHEET TITLE
Floor Plans

SHEET NUMBER

A-1.9

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BASEMENT PLAN

1
A-1.9
SENIOR HOUSING
FLOOR PLANS
1/16" = 1'-0"





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ISSUED
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PROJECT TITLE
**WESTGATE
REDEVELOPMENT**
JT Klein

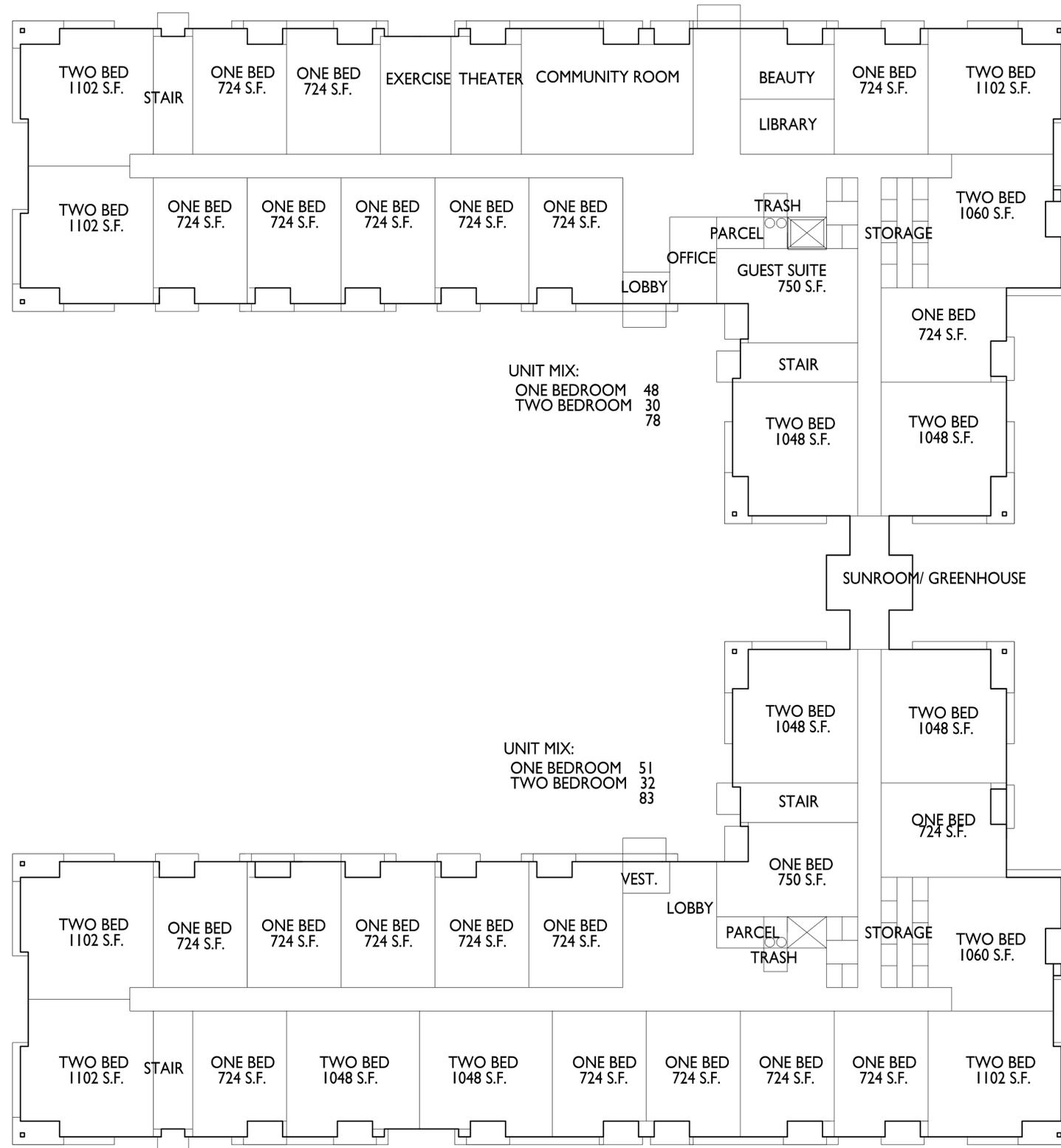
Whitney Way &
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SHEET TITLE
Floor Plans

SHEET NUMBER

A-1.10

PROJECT NO. **1925**

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UNIT MIX:
ONE BEDROOM 48
TWO BEDROOM 30
78

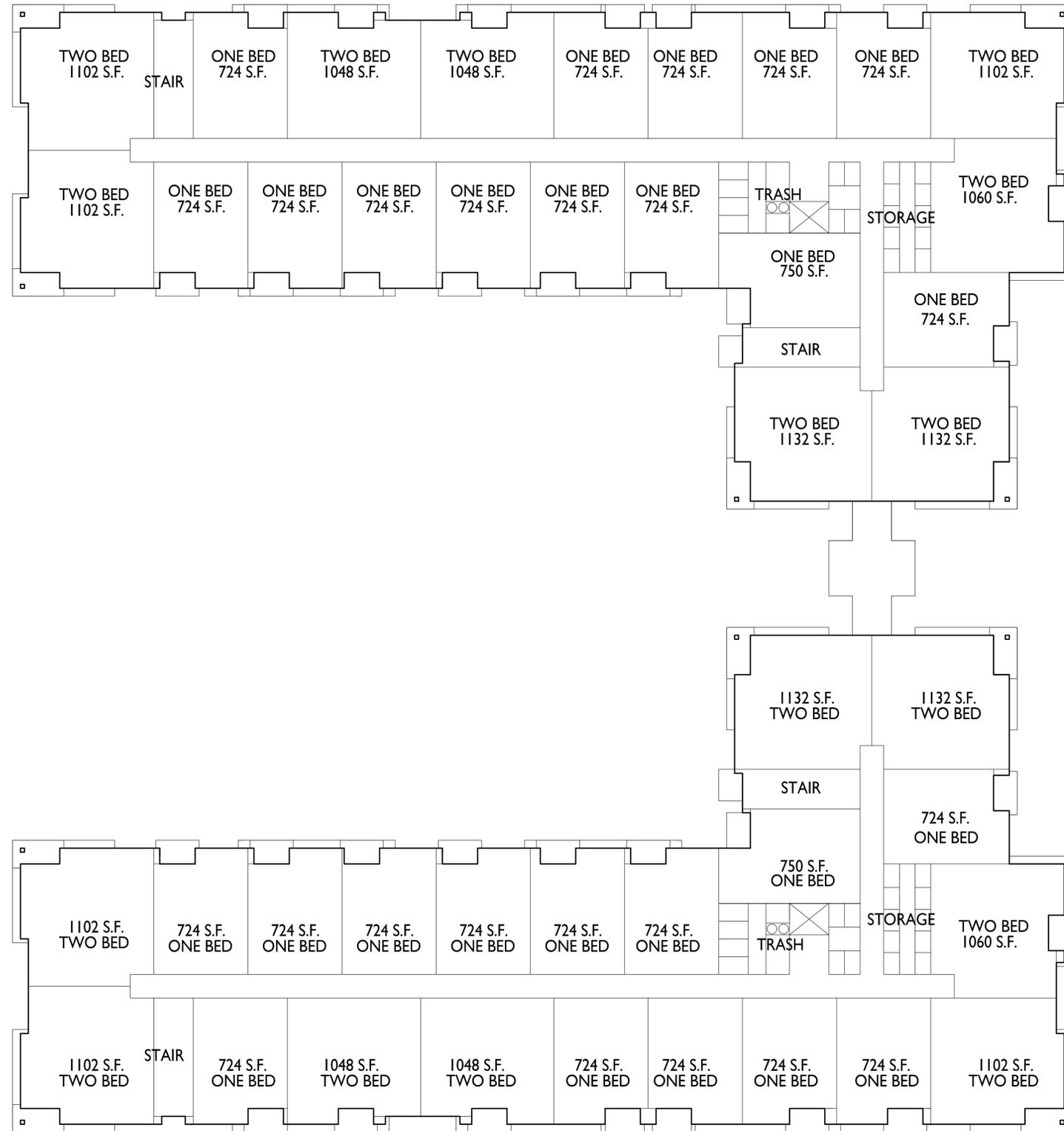
UNIT MIX:
ONE BEDROOM 51
TWO BEDROOM 32
83

FIRST FLOOR

1
A-1.10
1/16" = 1'-0"

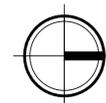


**SENIOR HOUSING
FLOOR PLANS**



SECOND-FOURTH FLOOR

1
A-1.11
1/16" = 1'-0"



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Issued for UDC Info - April 29, 2020

PROJECT TITLE
**WESTGATE
REDEVELOPMENT**
JT Klein

Whitney Way &
Today Blvd.
Madison, Wisconsin
SHEET TITLE
Floor Plans

SHEET NUMBER

A-1.11

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View of Residential Buildings looking South



View of Residential Buildings looking East



View of Residential Buildings looking North



View of Residential Buildings looking Southeast

WESTGATE REDEVELOPMENT





View of Residential Buildings & Public Art looking East



View of Residential Buildings & new street looking North



View of Residential Buildings & Public Patio looking North



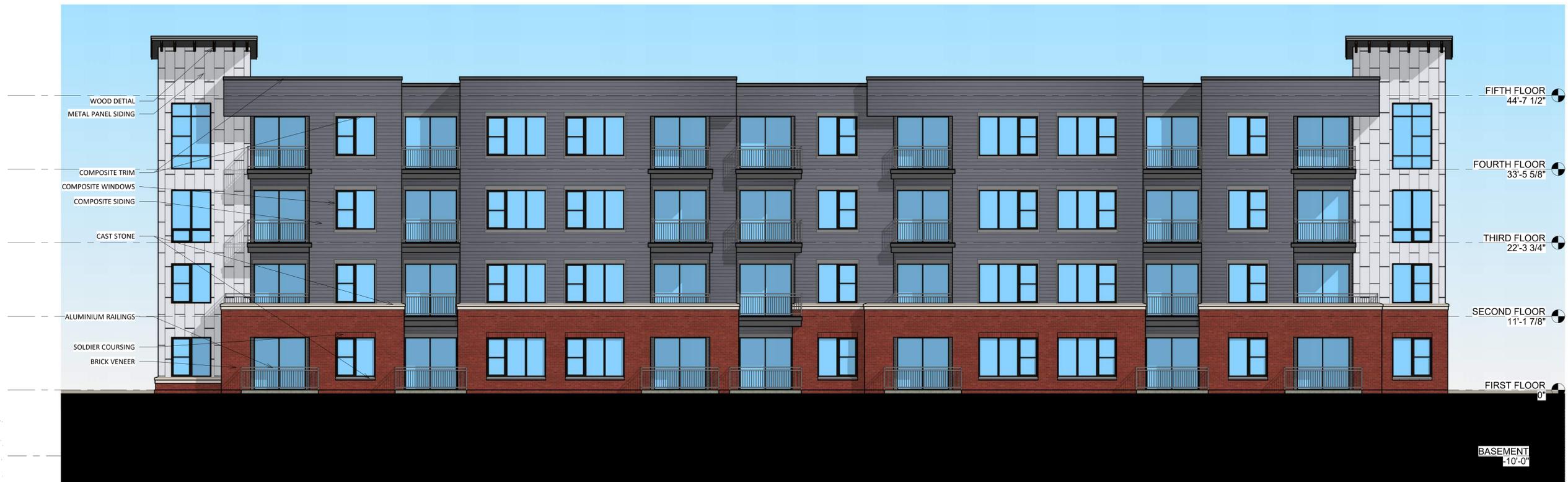
View of Public Patio adjacent to Odana School Park

WESTGATE REDEVELOPMENT





1 **COLORED - East**
A-2.3 1/8" = 1'-0"



2 **COLORED - West**
A-2.3 1/8" = 1'-0"



1
A-2.4
COLORED - North
1/8" = 1'-0"



2
A-2.4
COLORED - North 2
1/8" = 1'-0"

PROJECT TITLE
**WESTGATE
REDEVELOPMENT**

Whitney Way &
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SHEET TITLE
**EXTERIOR
ELEVATIONS -
COLORED**

SHEET NUMBER

A-2.4

PROJECT NUMBER 1925

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1
A-2.3
COLORED - North
1/8" = 1'-0"



2
A-2.3
COLORED - South
1/8" = 1'-0"





1
A-2.3
COLORED - North
1/8" = 1'-0"



2
A-2.3
COLORED - South
1/8" = 1'-0"



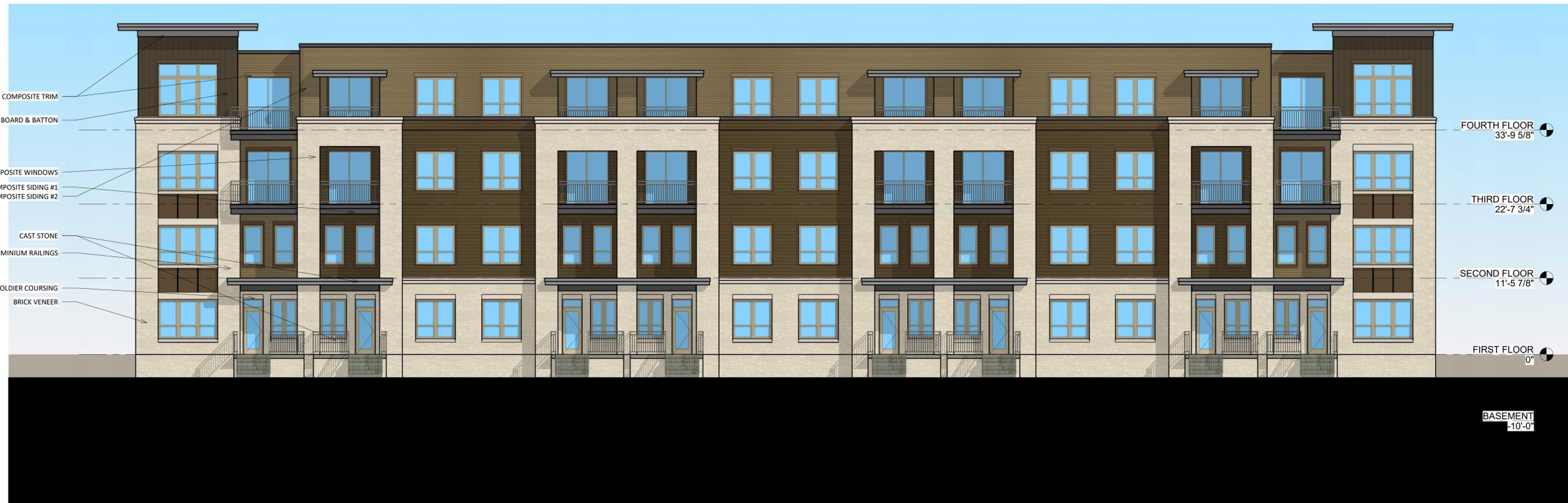
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ARCHITECTS

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KEY PLAN



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1
A-2.4
COLORED - West
1/8" = 1'-0"

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1
A-2.3
COLORED - South
1/8" = 1'-0"



2
A-2.3
COLORED - South 2
1/8" = 1'-0"



1
A-2.4
COLORED - East
1/8" = 1'-0"



2
A-2.4
COLORED - West
1/8" = 1'-0"

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Site Context

